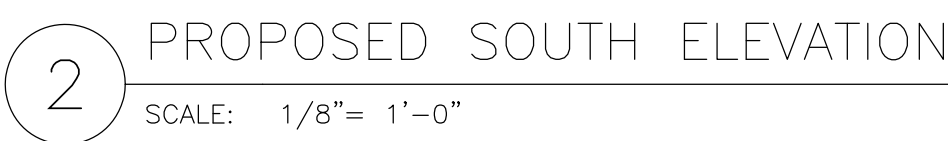
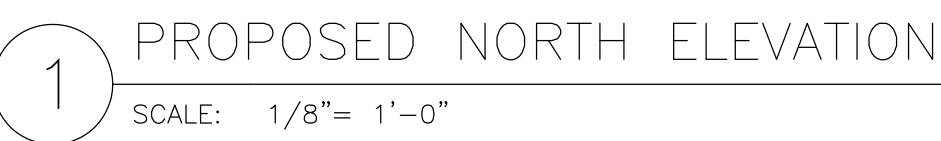


- |    |   |
|----|---|
| 1A | PAINTED ALUMINUM PANELS, DRI-DESIGN TAPERED SERIES RAINSCREEN SYSTEM                        |
| 1B | PAINTED ALUMINUM PANELS, DRI-DESIGN FLAT PANEL EN-V RAINSCREEN SYSTEM. 2 FINISHES           |
| 2  | PAINTING ALUMINUM PANELS PERFORATED AT GUARDRAIL CONDITION                                  |
| 3  | CEMENT PLASTER OR DRYVIT SYSTEM, LIGHT SAND FINISH  |
| 4  | ANNOZED ALUMINUM WINDOWS  |
| 5  | ANNOZED ALUMINUM STOREFRONT SYSTEM  |
| 6  | CERAMIC TILE OR NATURAL STONE TILE WITH LINEAR PATTERN                                      |
| 7  | PERFORATED METAL PANEL IN POWDERCOATED STEEL FRAME  |
| 8  | STANDING SEAM METAL ROOF  |
| 9  | WOOD SCREEN OR WOOD ENCLOSURE, THERMALLY MODIFIED FOR EXTERIOR USE                          |
| 10 | METAL CANOPY WITH INTEGRATED DRAIN. POWDERCOATED BOTTOM AND SIDE PANEL                      |
| 11 | PAINTED WOOD SIDING   |
| 12 | LASERCUT PERFORATED PANEL, POWDERCOATED. SPACED FROM WALL WITH INTEGRATED LED BACK LIGHTING |



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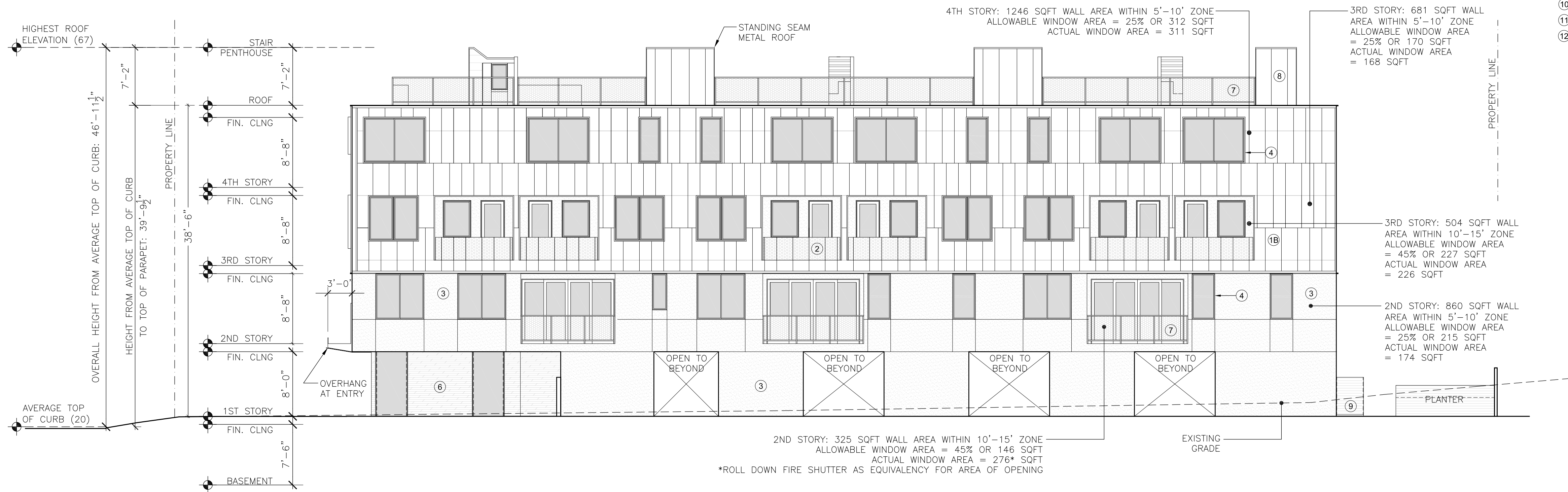
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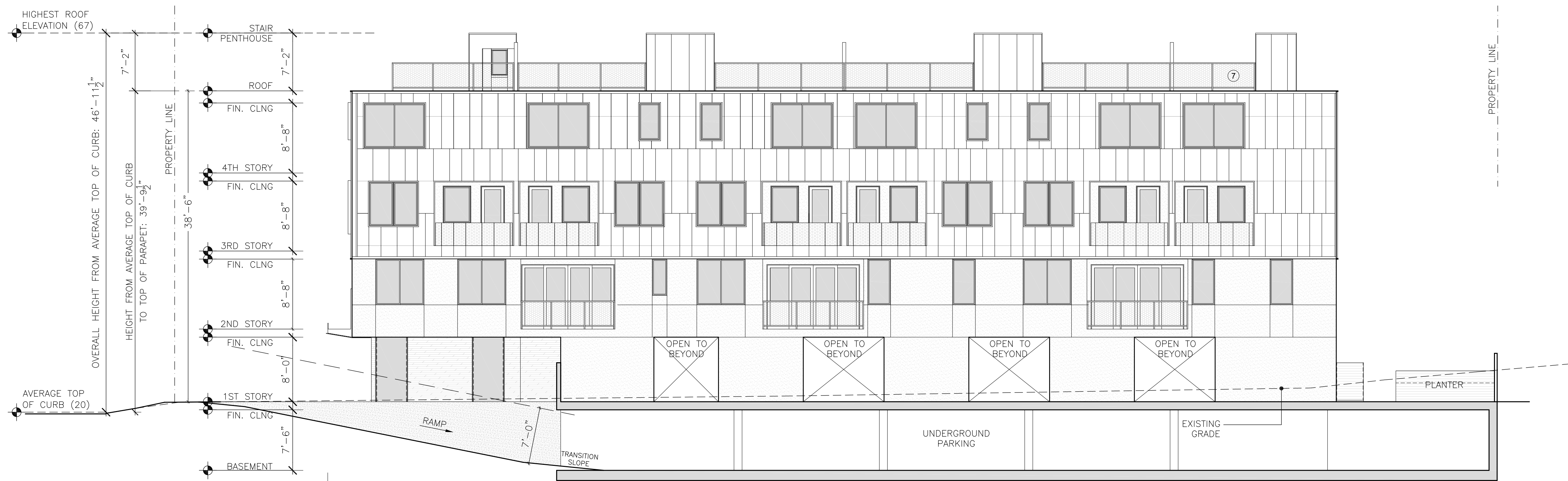
TROY KASHANIPUR ARCHITECTURE  
2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL



- EXTERIOR FINISHES
- 1A PAINTED ALUMINUM PANELS, DRI-DESIGN TAPERED SERIES RAINSCREEN SYSTEM
  - 1B PAINTED ALUMINUM PANELS, DRI-DESIGN FLAT PANEL EN-V RAINSCREEN SYSTEM. 2 FINISHES
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  - 3 CEMENT PLASTER OR DRYVIT SYSTEM, LIGHT SAND FINISH
  - 4 ANNOIDIZED ALUMINUM WINDOWS
  - 5 ANNOIDIZED ALUMINUM STOREFRONT SYSTEM
  - 6 CERAMIC TILE OR NATURAL STONE TILE WITH LINEAR PATTERN
  - 7 PERFORATED METAL PANEL IN POWDERCOATED STEEL FRAME
  - 8 STANDING SEAM METAL ROOF
  - 9 WOOD SCREEN OR WOOD ENCLOSURE, THERMALLY MODIFIED FOR EXTERIOR USE
  - 10 METAL CANOPY WITH INTEGRATED DRAIN, POWDERCOATED BOTTOM AND SIDE PANEL
  - 11 PAINTED WOOD SIDING
  - 12 LASERCUT PERFORATED PANEL, POWDERCOATED. SPACED FROM WALL WITH INTEGRATED LED BACK LIGHTING

2 PROPOSED WEST ELEVATION  
SCALE: 1/8"= 1'-0"



1 PROPOSED BUILDING SECTION THROUGH RAMP  
SCALE: 1/8"= 1'-0"

OWNER:  
RABIH S. BALLOUT &  
AMAL D. BALLOUT  
361-367 BEACH ROAD  
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CONSULTANT

APPROVAL

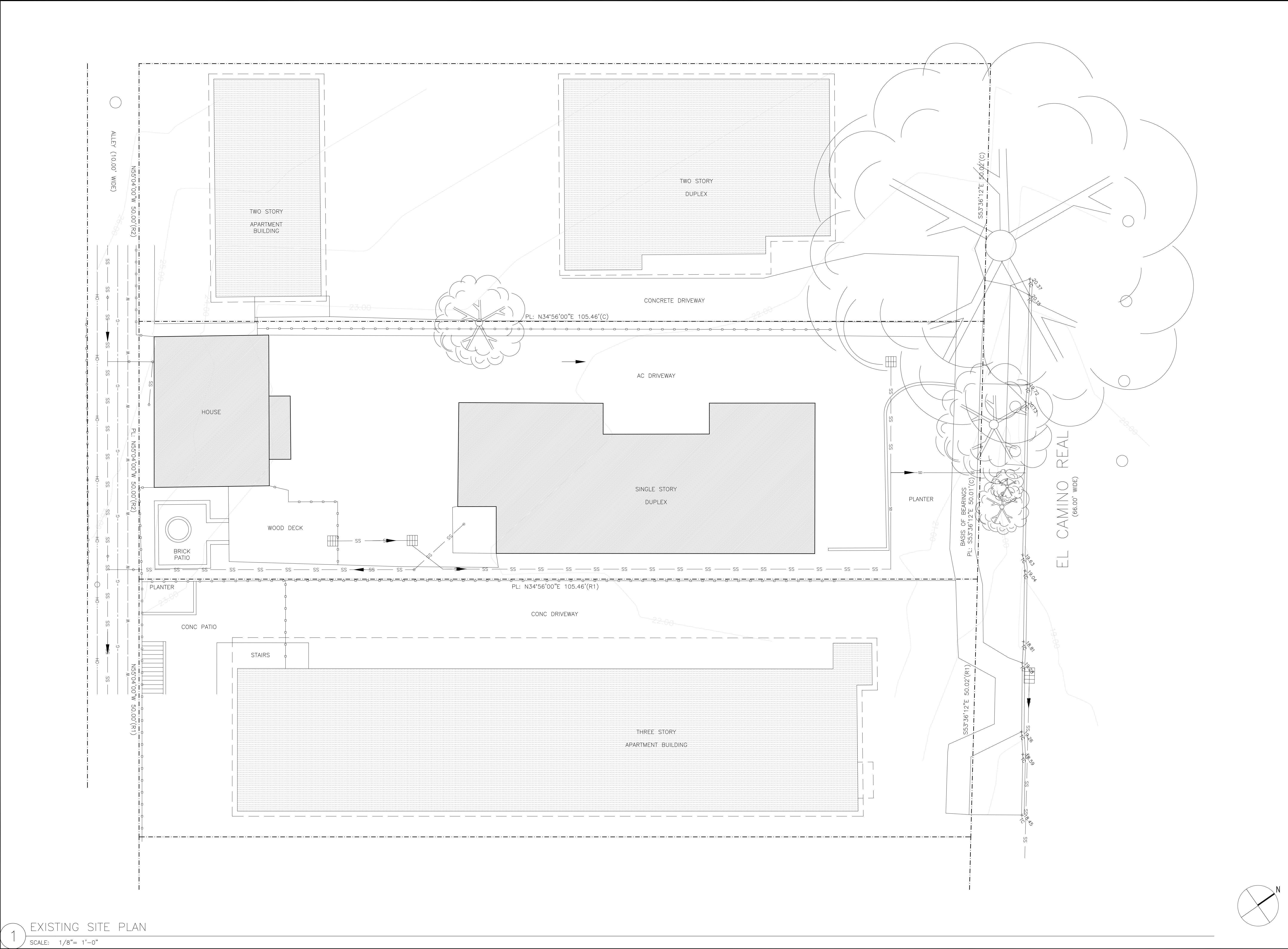
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PROPOSED ELEVATION  
& BUILDING SECTIONS

A3.1

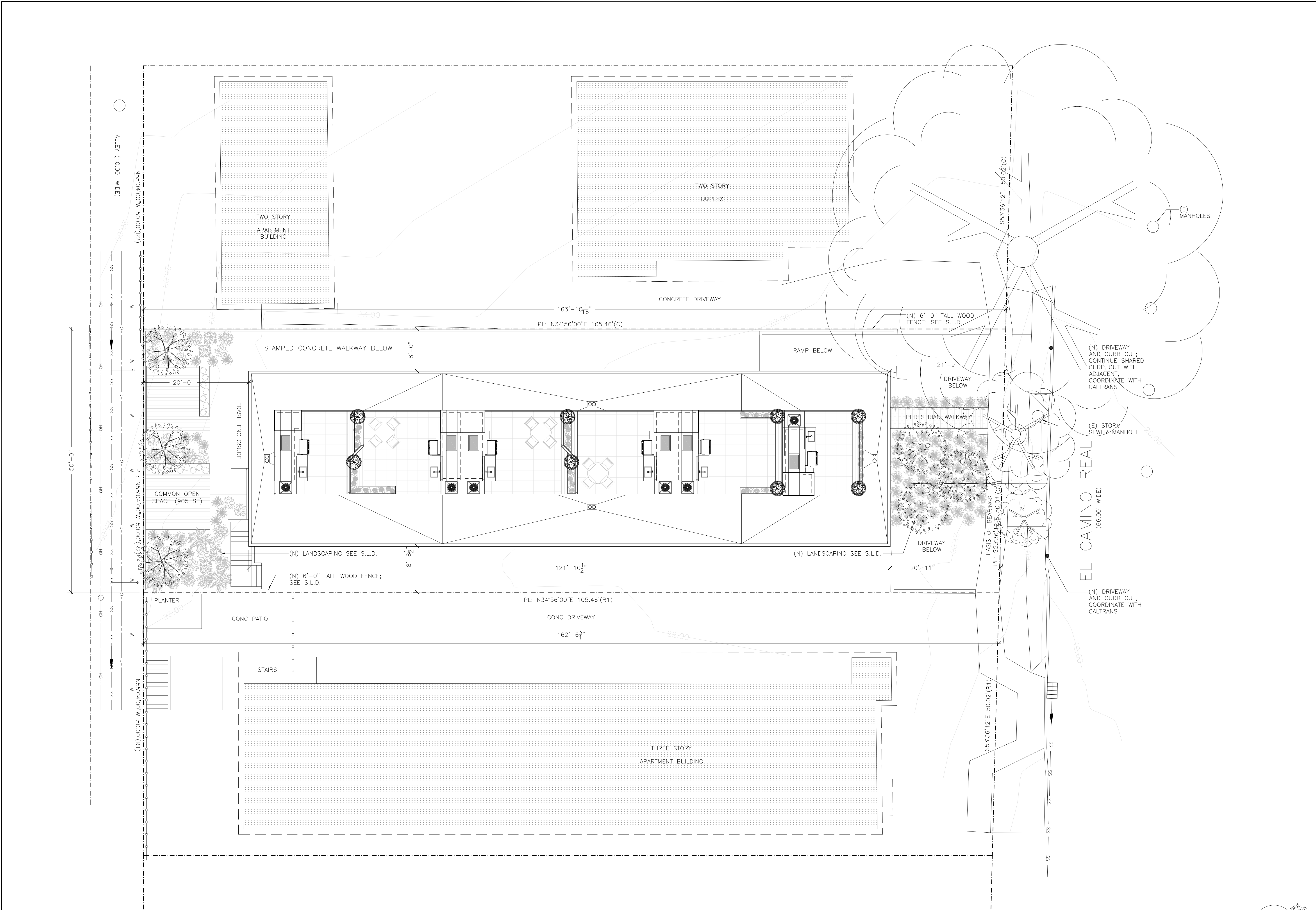
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1 4 5 7 EL CAMINO REAL



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	CHECKED: TK
	SCALE: 1/4"=1'-0"
EXISTING SITE PLAN	
A1.0	





1 PROPOSED SITE PLAN  
SCALE: 1/8"= 1'-0"

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1457 EL CAMINO REAL

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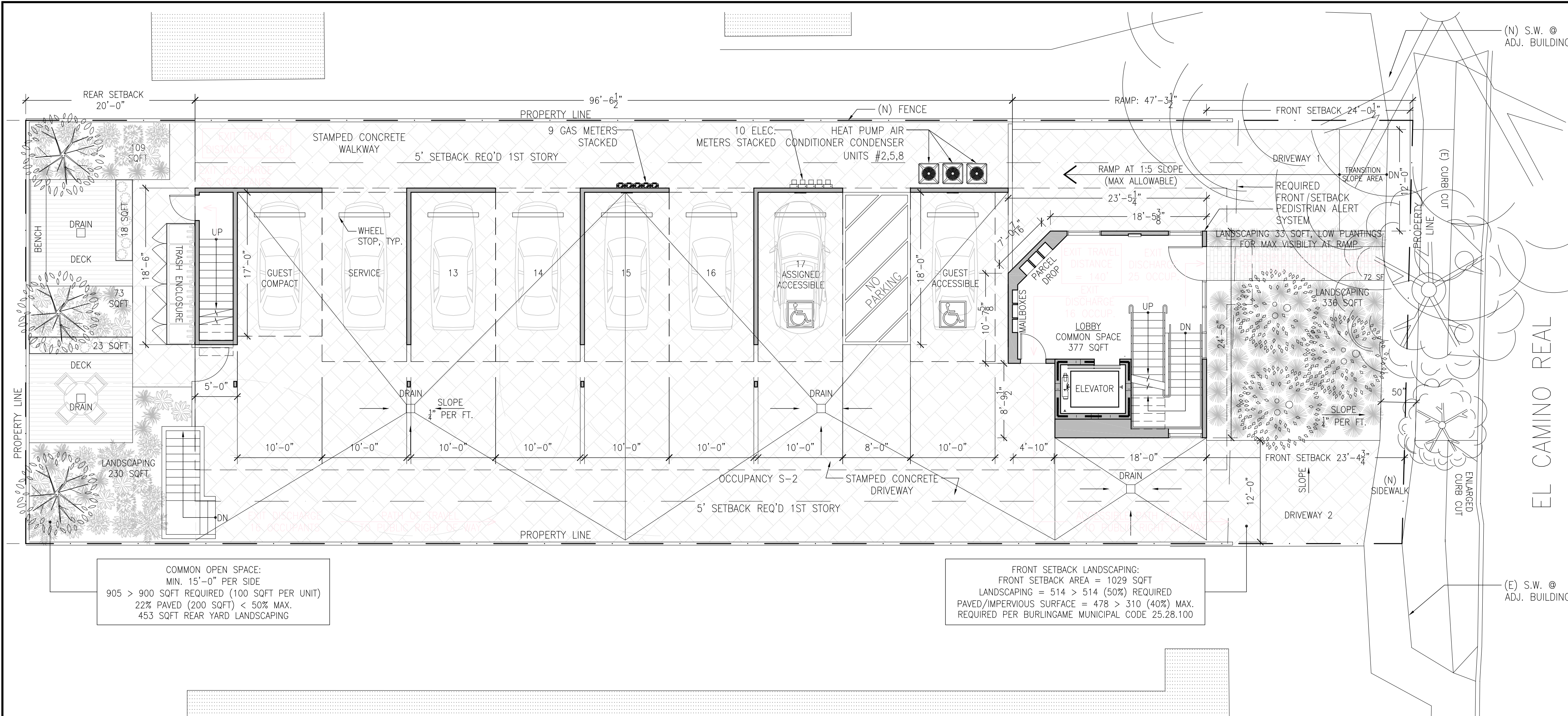
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TK

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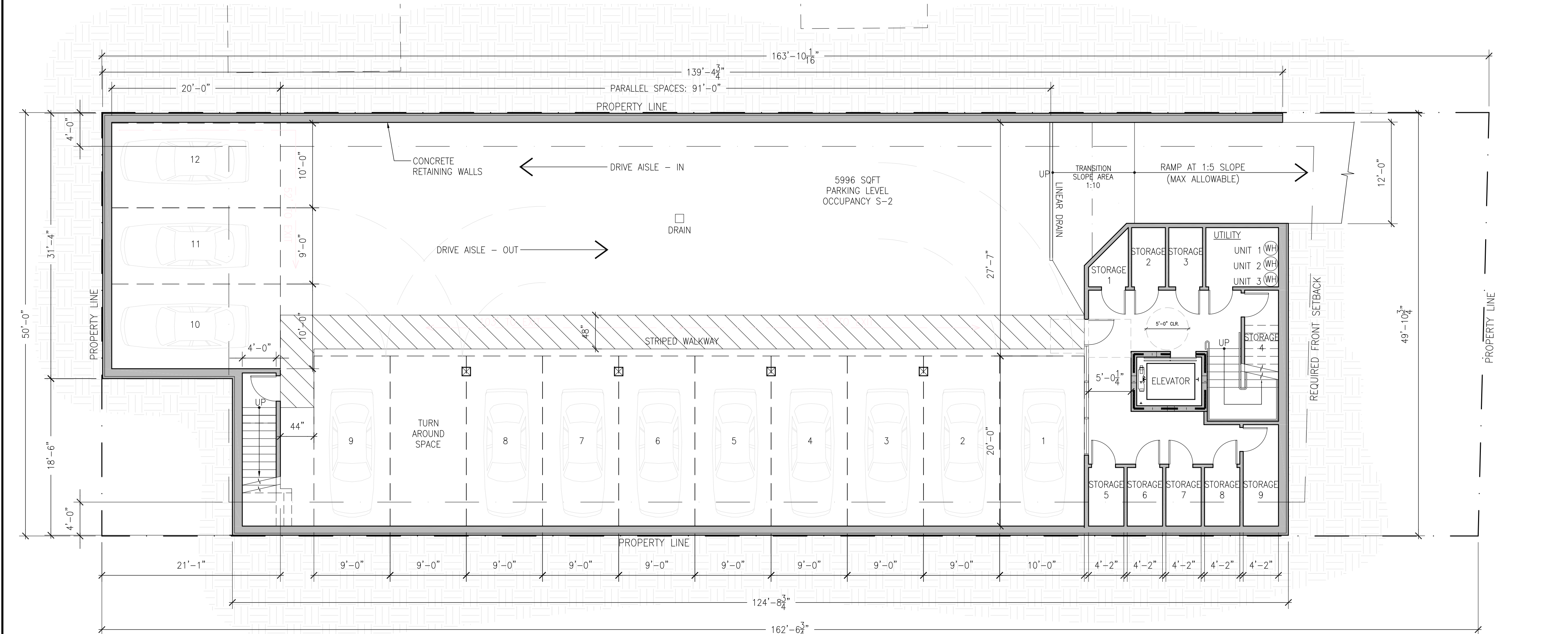
PROPOSED SITE PLAN

A1.1





2 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 PROPOSED BASEMENT LEVEL  
SCALE: 1/8" = 1'-0"

KEYNOTES:

1 ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.

2 MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.

3 (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.

4 WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.

5 PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFCB 406.3.7.

6 PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.

7 (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3

8 EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT OUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).

9 HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.

10 PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.

11 DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFCB 802.2.4 GAS VENT TERMINATION PER CMC 802.6. & SFCB 802.6.2 THROUGH WALL VENT TERMINATION PER SFCB 802.8

12 STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3

13 PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.

14 WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" Ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.

15 1-HR FIRE RATED CEILING UNDER STAIR.

16 AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:

• THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.

• THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.

• THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.

• OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.

17 PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.

18 DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.

19 SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.

20 ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1

21 HEATING VENT LOCATIONS TO BE COORDINATED BY G.C. & MECHANICAL CONTRACTOR. VERIFY WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.

22 G.C. AND PLUMBING CONTRACTOR TO CONFIRM DEPTH OF (E) SANITARY SEWER LINE AS STREET, REPLACE UP TO POINT OF CONNECTION AS NEEDED, OR PROVIDE SUMP AND EJECTOR PUMP WHERE PERMITTED BY CODE.

23 2016 CALIFORNIA RESIDENTIAL CODE 18.10.100 APPENDIX C, FIGURE C AMENDED - EXIT TERMINALS OF MECHANICAL DRAFT AND DIRECT VENT VENTING SYSTEMS.

24 WHERE THE PROPERTY LINE IS LESS THAN 10 (10) FEET FROM THE EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN (10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3") OR, AS AN ALTERNATIVE, MANUFACTURER-APPROVED BAFFLES MUST BE INSTALLED.

25 PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2

5

10

TRUE NORTH

N

TROY KASHANIPUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL

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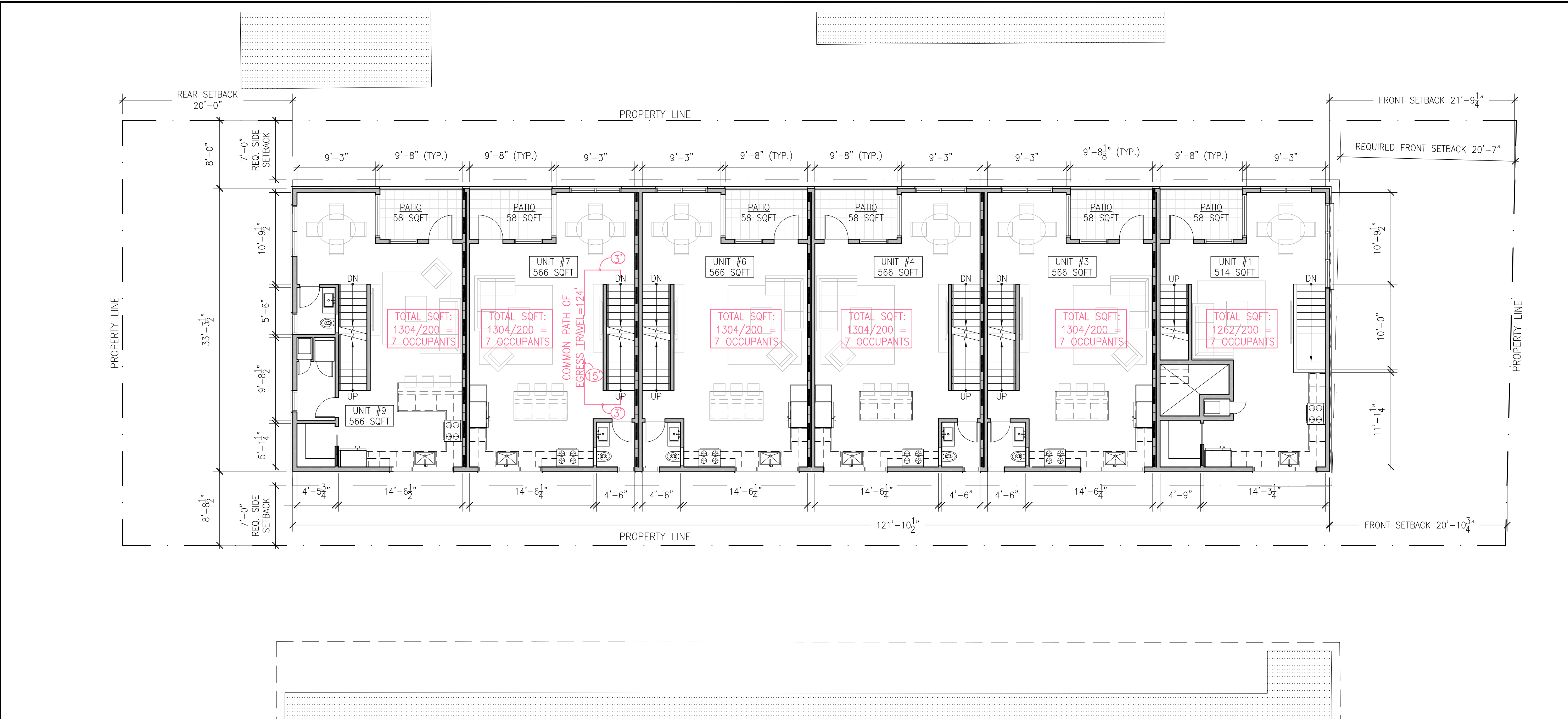
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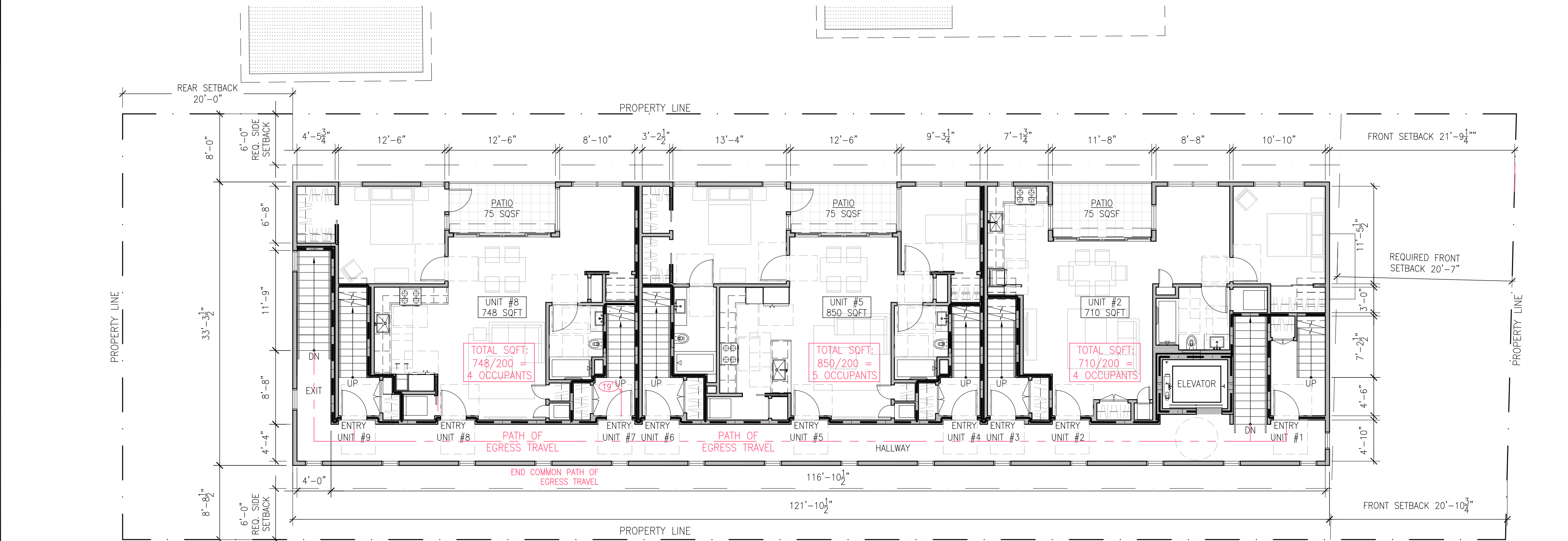
PROPOSED FLOOR PLAN & EXIT PLAN

A2.0





2 PROPOSED THIRD FLOOR  
SCALE: 1/8"= 1'-0"



1 PROPOSED SECOND FLOOR  
SCALE: 1/8"= 1'-0"

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- MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
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- PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
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CONSULTANT	
APPROVAL	
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DRAWING LEGEND:

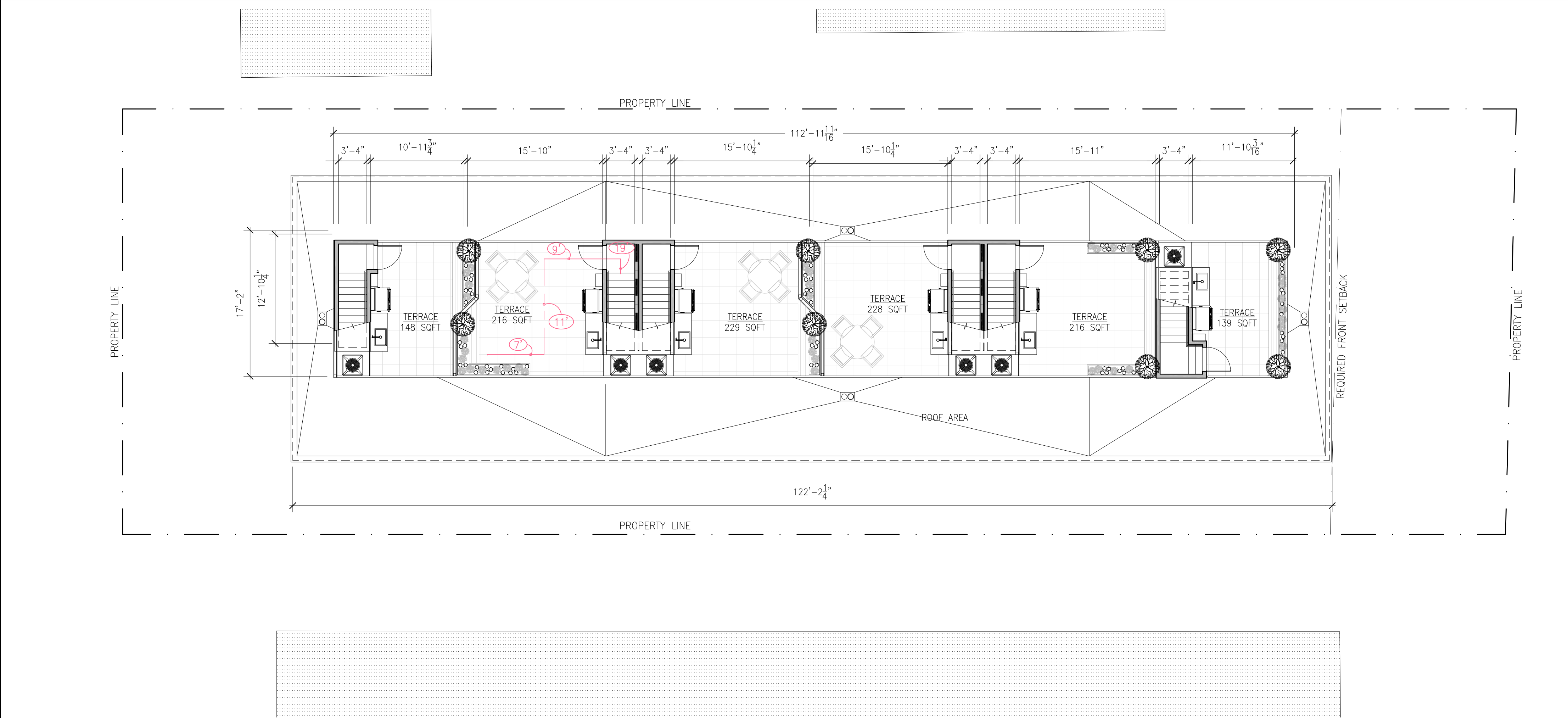
EXISTING WALLS
NEW WALL
1-HR RATED WALL

GRAPHIC SCALE

2	5	10
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TRUE NORTH





2 PROPOSED ROOF PLAN  
SCALE: 1/8"= 1'-0"



1 PROPOSED FOURTH FLOOR  
SCALE: 1/8"= 1'-0"

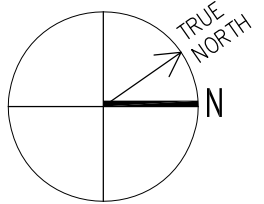
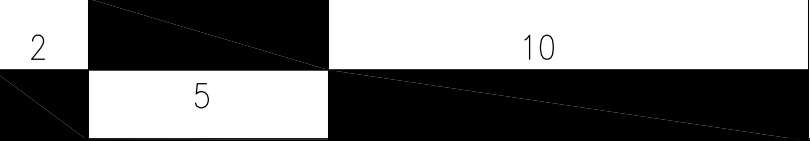
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- PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



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1 4 5 7 EL CAMINO REAL

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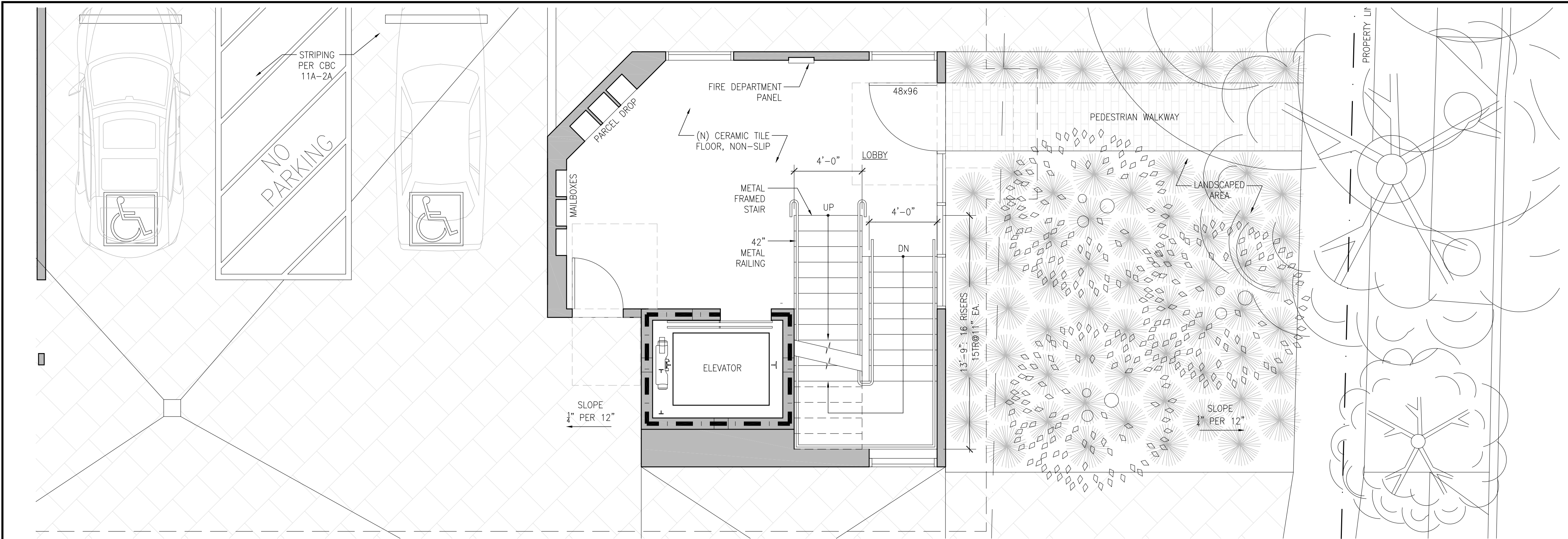
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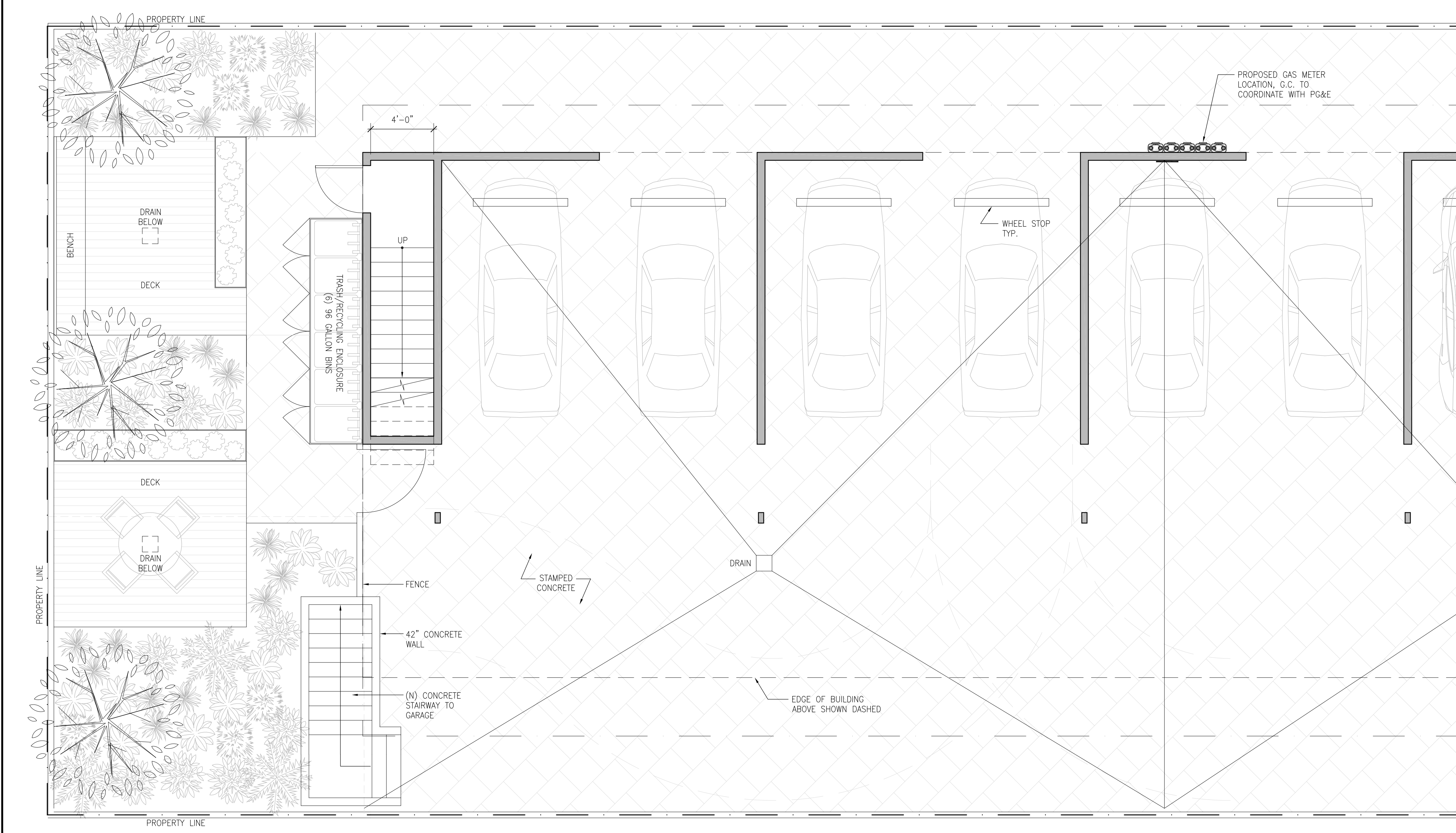
PROPOSED FLOOR PLANS

A2.2





1 ENLARGED PLAN: FIRST FLOOR LOBBY  
SCALE: 1/4"= 1'-0"



2 ENLARGED PLAN: COMMON OPEN SPACE AT REAR YARD  
SCALE: 1/4"= 1'-0"

KEYNOTES:

- ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY, PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
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- (N) WINDOW, MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
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- PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
- PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
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APPROVAL

DRAWN:  
SC

CHECKED:  
TK

SCALE:  
1/4"=1'-0"

ENLARGED PLANS

A4.0

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

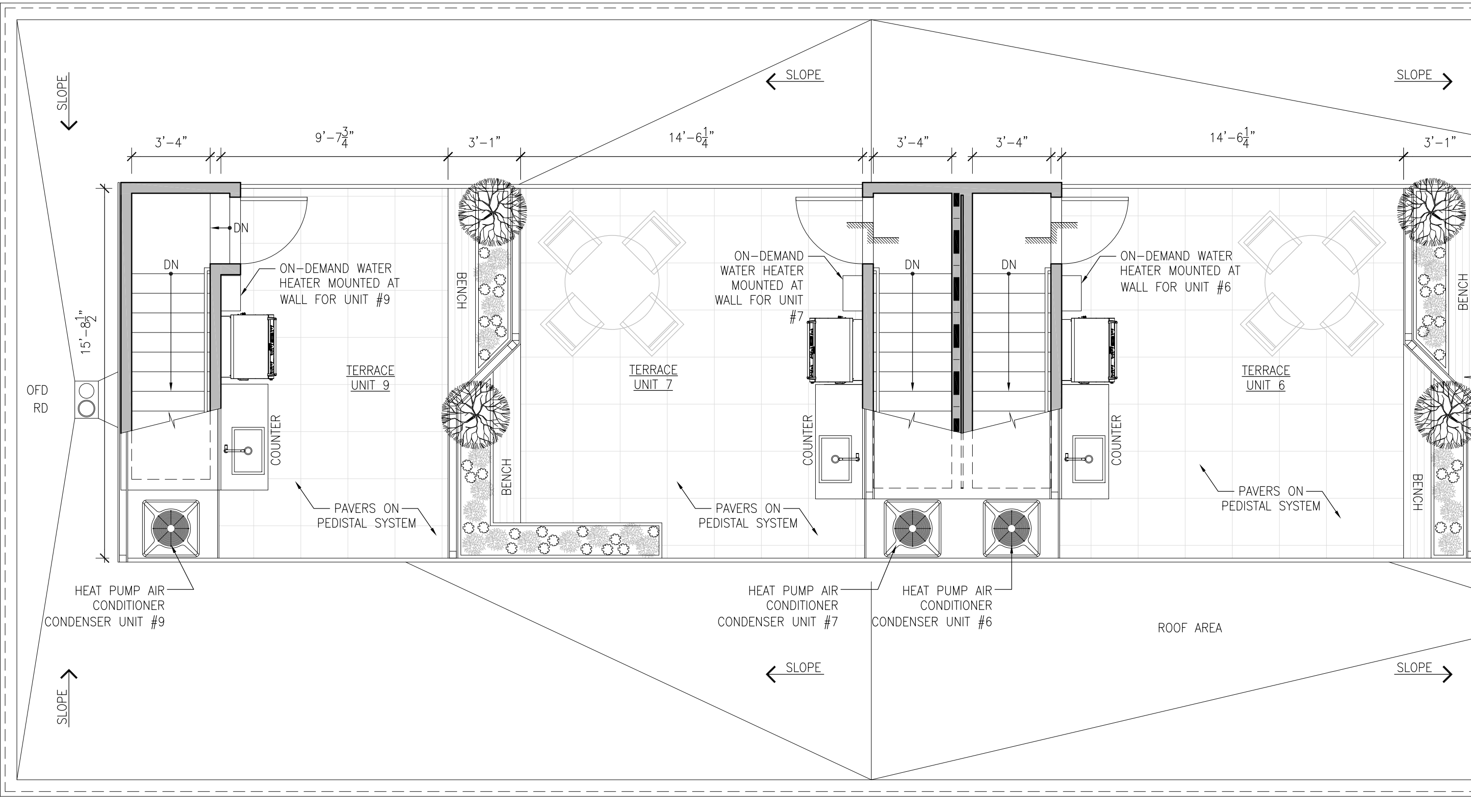
1-HR RATED WALL

GRAPHIC SCALE

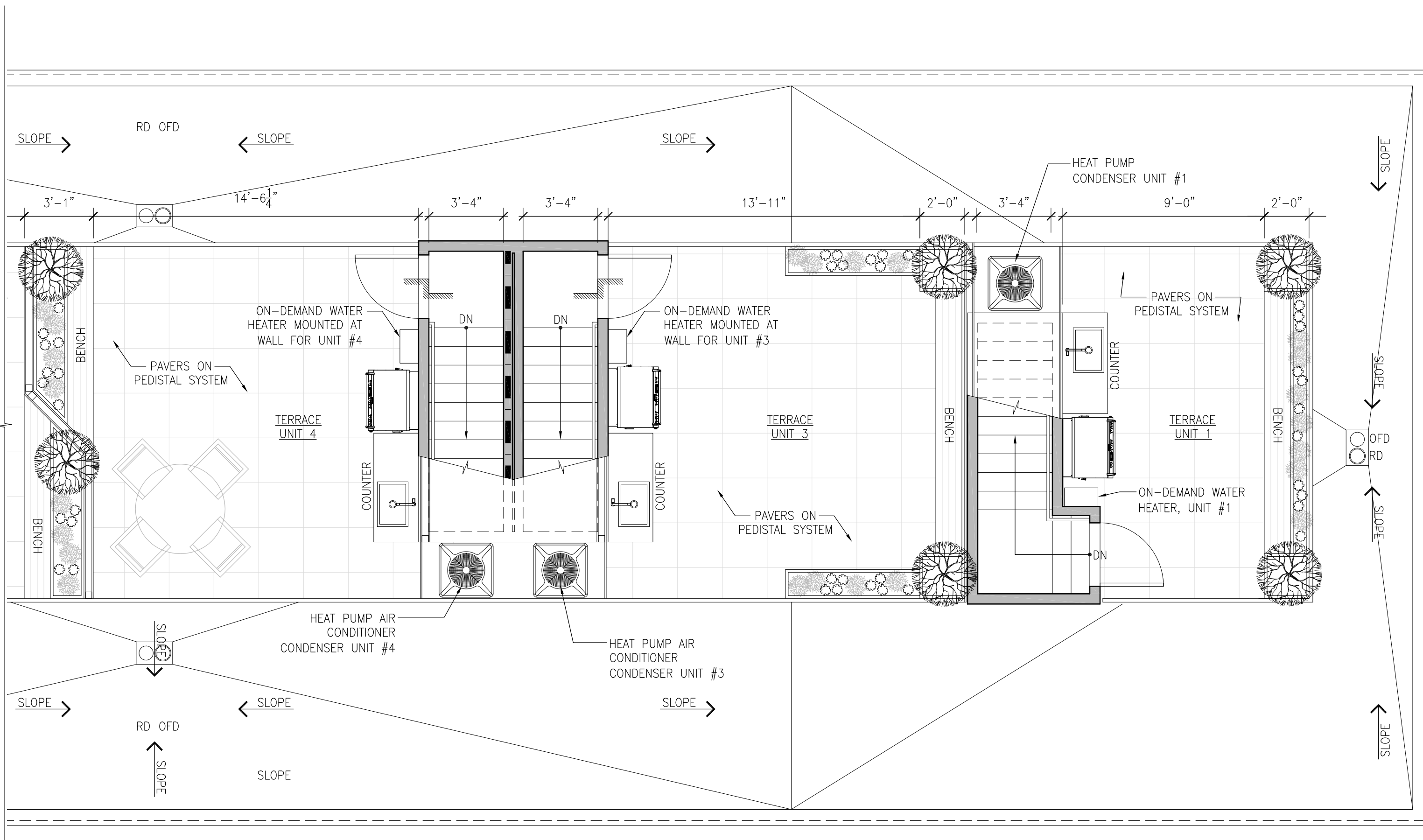
2 5 10

TRUE NORTH





1 ENLARGED FLOOR PLAN: ROOF  
SCALE: 1/4"= 1'-0"



2 ENLARGED FLOOR PLAN: ROOF  
SCALE: 1/4"= 1'-0"

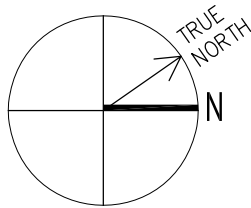
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DRAWING LEGEND:

- EXISTING WALLS
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GRAPHIC SCALE



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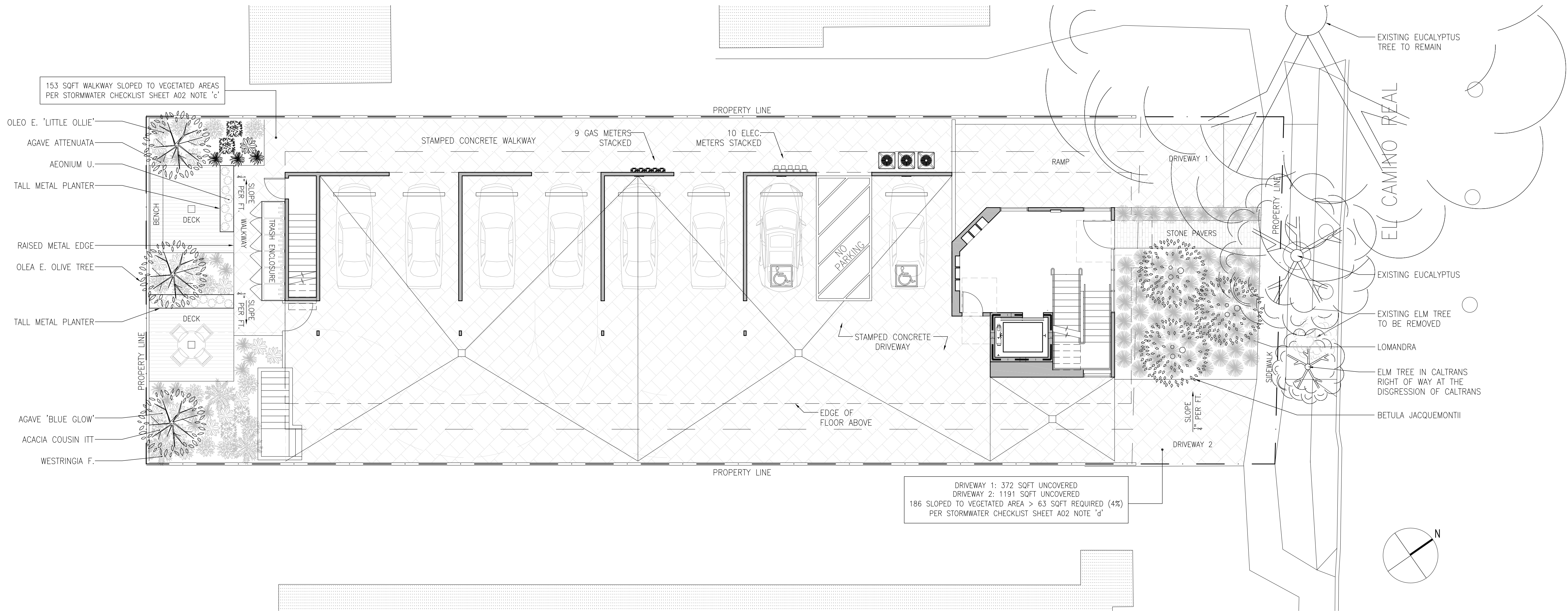
CONSULTANT

APPROVAL

	DRAWN:
	SC
	CHECKED:
	TK
	SCALE:
	1/4"=1'-0"

ENLARGED FLOOR PLANS

A4.4



2 FIRST FLOOR LANDSCAPE PLAN (AT GRADE)  
SCALE: 1/8" = 1'-0"

### PLANTING NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
- ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
- REMOVAL OF EXISTING TREES SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT AND OWNER IN THE FIELD PRIOR TO REMOVAL. EACH TREE TO BE REMOVED SHALL HAVE A RED OR ORANGE TAPE SECURED TO A BRANCH, AND THE TRUNK SHALL BE CLEARLY MARKED WITH PAINT OF THE SAME COLOR. THE CONTRACTOR SHALL SUPPLY THE MATERIALS FOR MARKING THE TREES AND COORDINATE WITH THE LANDSCAPE ARCHITECT. THE TREE STUMPS AND ROOTS SHALL ALSO BE REMOVED, AND SURROUNDING SURFACE RE-GRADED AND RESTORED.
- SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
- SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
- PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
- SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE.
- ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
- ROOT BARRIERS FOR ALL TREES WITHIN EIGHT FEET OF PAVEMENT SHALL BE INSTALLED. BARRIERS SHALL BE PLASTIC AND EXTEND COMPLETELY AROUND THE ROOT BALL. THE DIAMETER OF THE BARRIER SHALL BE 42". THE BARRIER SHALL EXTEND TO A DEPTH OF 24".
- ESPALIER PLANTS SHALL BE FURNISHED WITH A PREMANUFACTURED WOOD TRELLIS. THE TRELLIS SHALL BE SECURELY FASTENED TO TWO PRESSURE TREATED 2" DIAMETER POLES.
- PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.

### PLANT LIST: (USDA HARDINESS ZONE 10a)

BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	WUCOLS FACTOR
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	13	5 GAL. @ 24" O.C.	PERENNIAL SHRUB	.2 (LOW)
AGAVE ATTENUATA	FOXTAIL AGAVE	17	5 GAL. @ 30" O.C.	PERENNIAL SHRUB	.2 (LOW)
OLEA E. 'LITTLE OLLIE'	LITTLE OLLIE DWARF OLIVE	13	5 GAL. @ 36" O.C.	EVERGREEN SHRUB	.2 (LOW)
WESTRINGIA FRUTICOSA 'SMOKEY'	SMOKEY COAST ROSEMARY	3	5 GAL. @ 48" O.C.	EVERGREEN SHRUB	.2 (LOW)
ACACIA COGNATA 'LIMELIGHT' RIVER WATTLE	COUSIN ITT RIVER WATTLE	5	1 GAL. @ 30" O.C.	EVERGREEN SHRUB	.2 (LOW)
AEONIUM ARBOREUM	TREE AEONIUM	17	1 GAL. @ 15" O.C.	SUCCULENT	.2 (LOW)
OLEA E. 'SWAN HILL'	SWAN HILL OLIVE TREE	3	24" BOX	EVERGREEN TREE	.2 (LOW)
BETULA JACQUEMONTII MULTI STEM	WHITE BARKED HIMALAYAN BIRCH	3	24" BOX	DECIDUOUS TREE	.85 (HIGH)
LOMANDRA LONGIFOLIA	BASKET GRASS	53	1 GAL @ 30" O.C.	DECIDUOUS PERENNIAL	.2 (LOW)

\*NOTE: CONTRACTOR TO VERIFY QUANTITIES

AVERAGE WUCOLS FACTOR:  
[(125 x .2) + (3 x .85)] / 128 = .2 WUCOLS AVERAGE FOR PROJECT  
2 < .3 MAXIMUM ALLOWED

75% OF LANDSCAPE CONSISTS OF PLANTS THAT AVERAGE A WUCOLS PLANT FACTOR OF .3

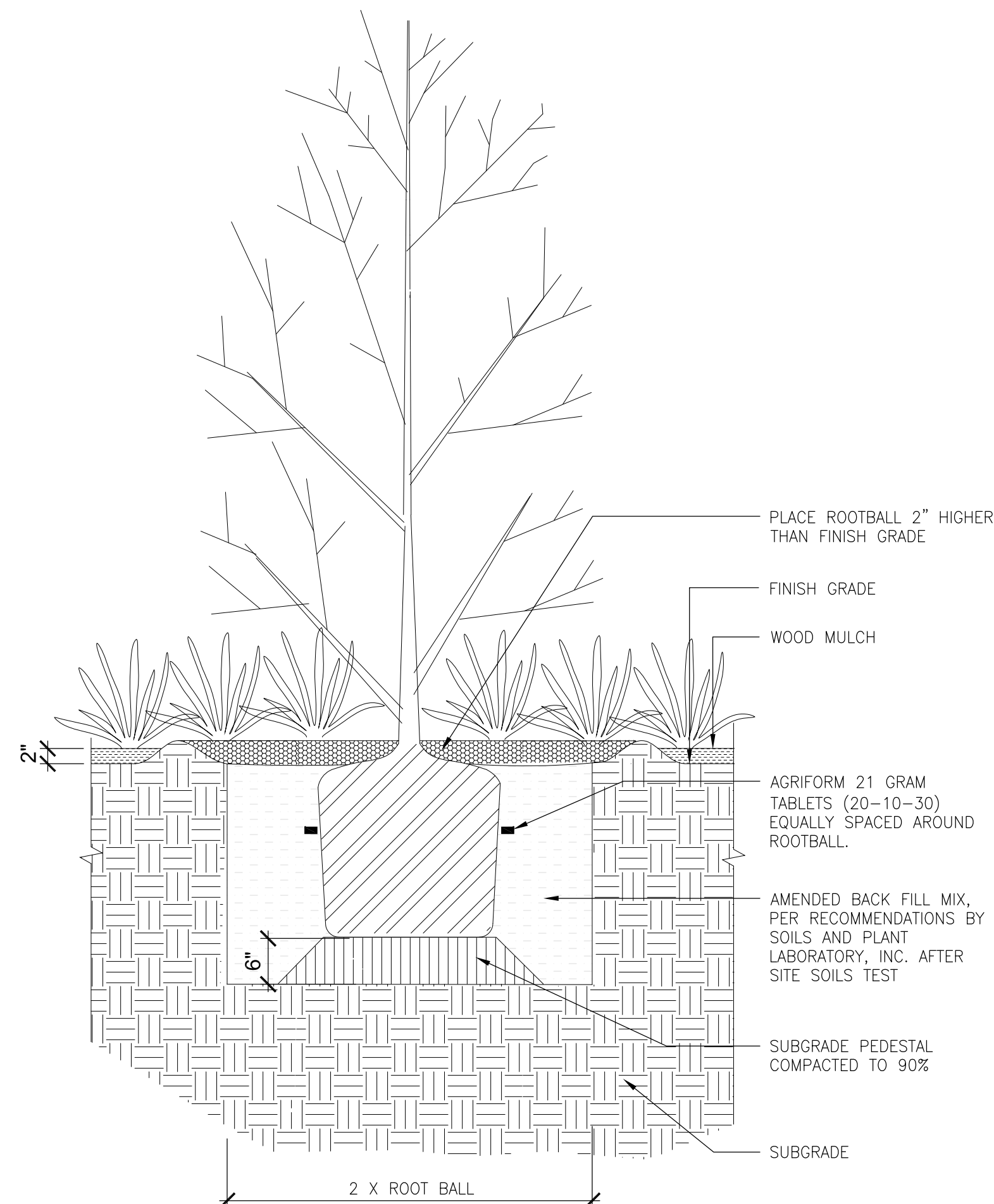
### LANDSCAPING & IRRIGATION NOTES:

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OF ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS. NO TURF PERMITTED IN NON-RESIDENTIAL AREAS. TURF NOT PERMITTED ON SLOPES GREATER THAN 25%. TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.

AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.

MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY. AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ.FT OR MORE, PRIVATE SUB-METERS(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



1 TREE PLANTING, TYPICAL  
SCALE: 3/4" = 1'-0"

OWNER:  
RABIH S. BALLOUT &  
AMAL D. BALLOUT  
361-367 BEACH ROAD  
BURLINGAME, CA 94010  
PHONE: 650.208.3686  
RABIH@OSCARTEK.COM

ISSUE:	DATE:
ISSUED FOR PLANNING REVIEW	07.13.2018
PLANNING COMMENTS	11.16.2018
PLANNING COMMENTS	12.20.2018
PLANNING COMMENTS	05.24.2019
PLANNING COMMENTS	01.15.2020

CONSULTANT

APPROVAL

DRAWN:	SCALE:
SC	3/4" = 1'-0"
CHECKED:	
TK	

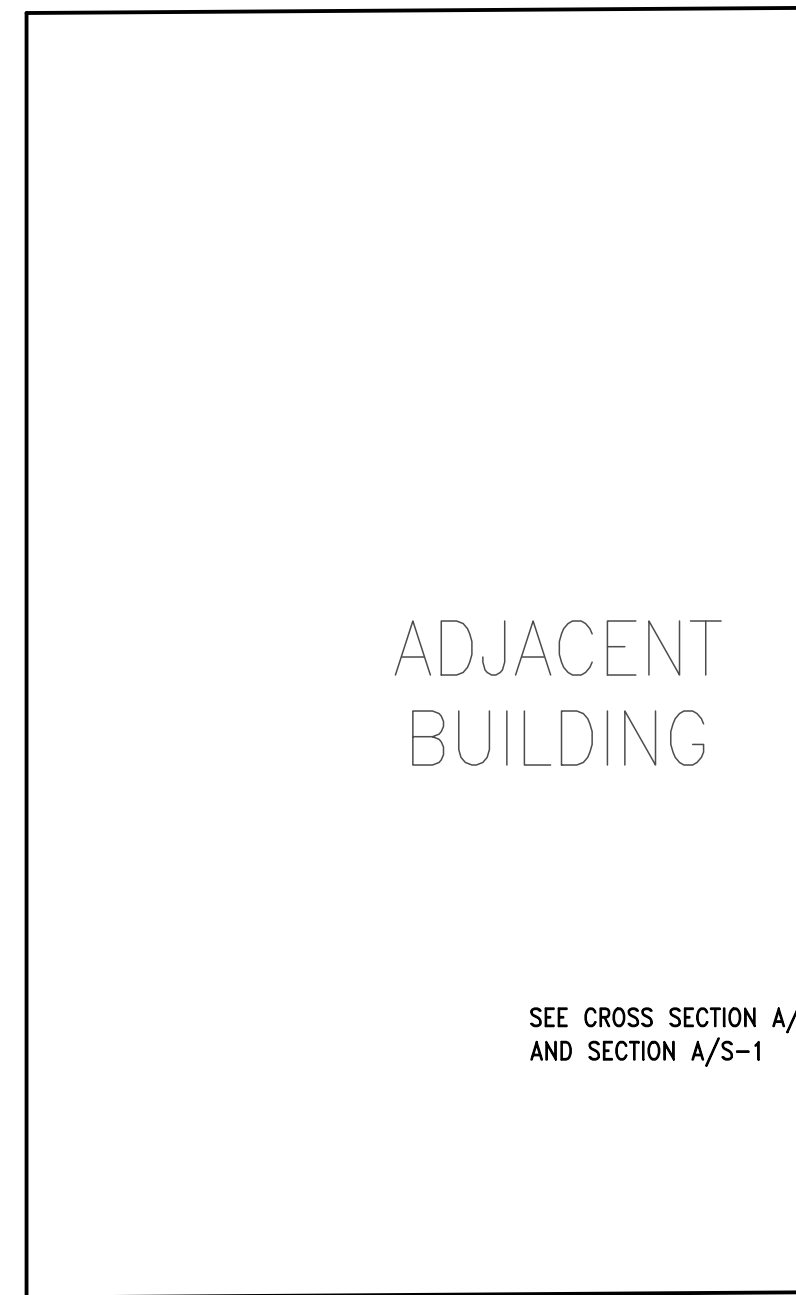
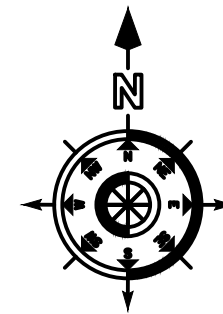
LANDSCAPE PLAN

L1.0

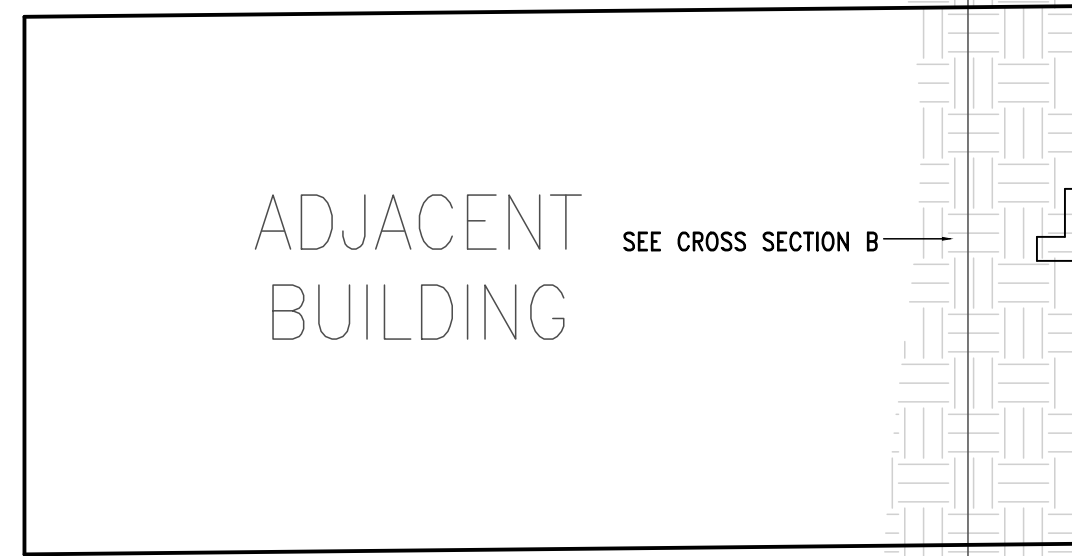
TROY KASHANIPUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL



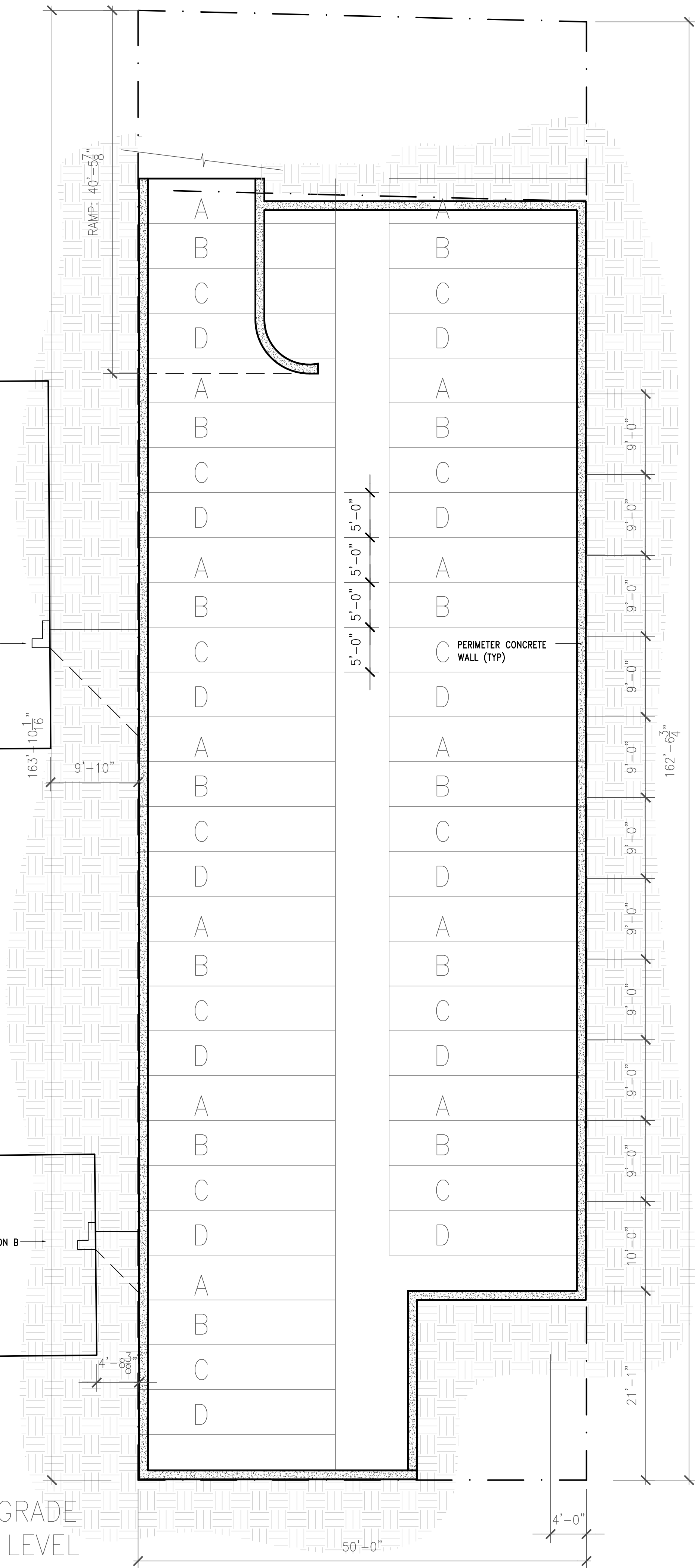


\*SECTIONS WITH THE SAME LETTER CAN BE DONE SIMULTANEOUSLY

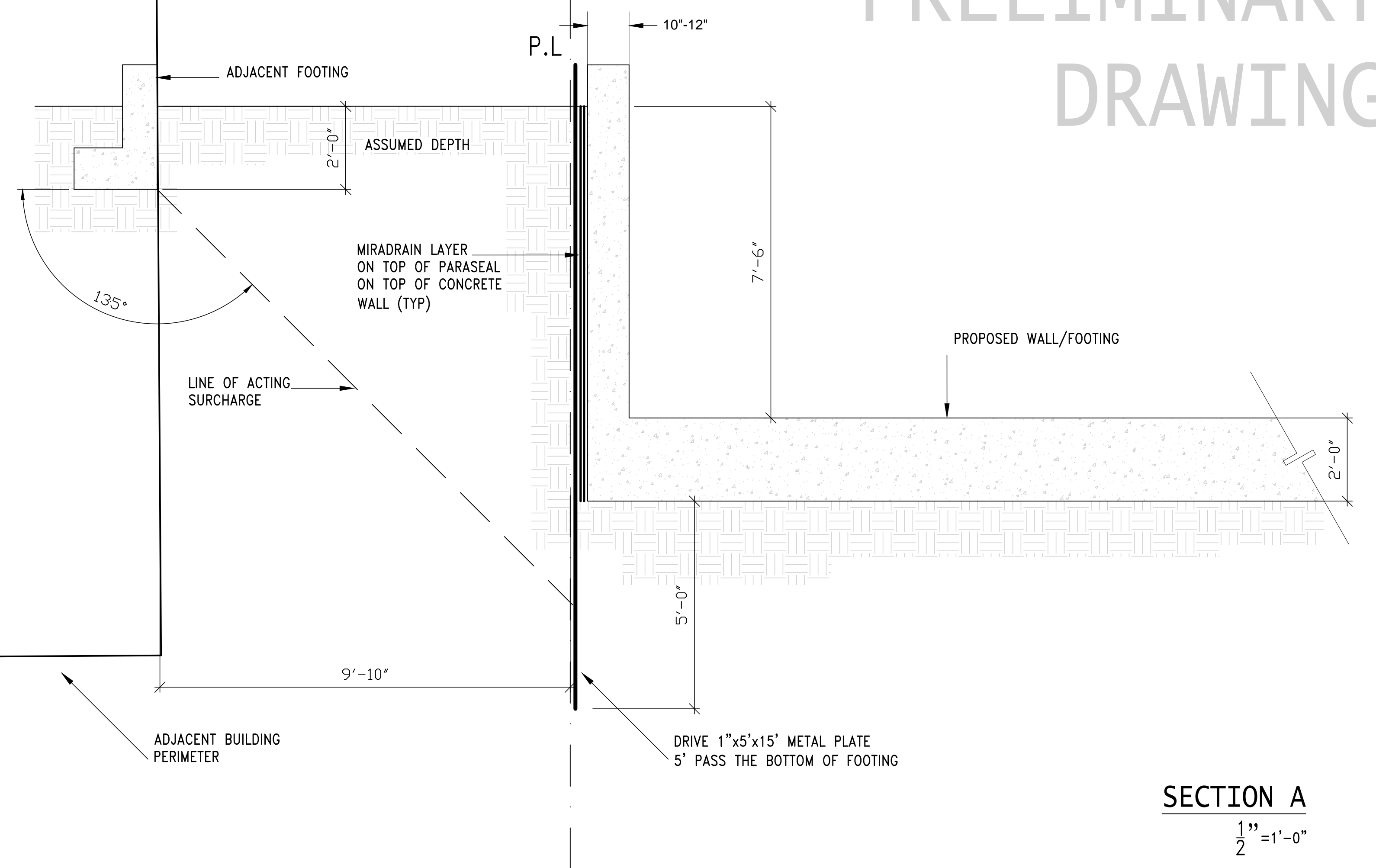


BELOW GRADE  
GARAGE LEVEL

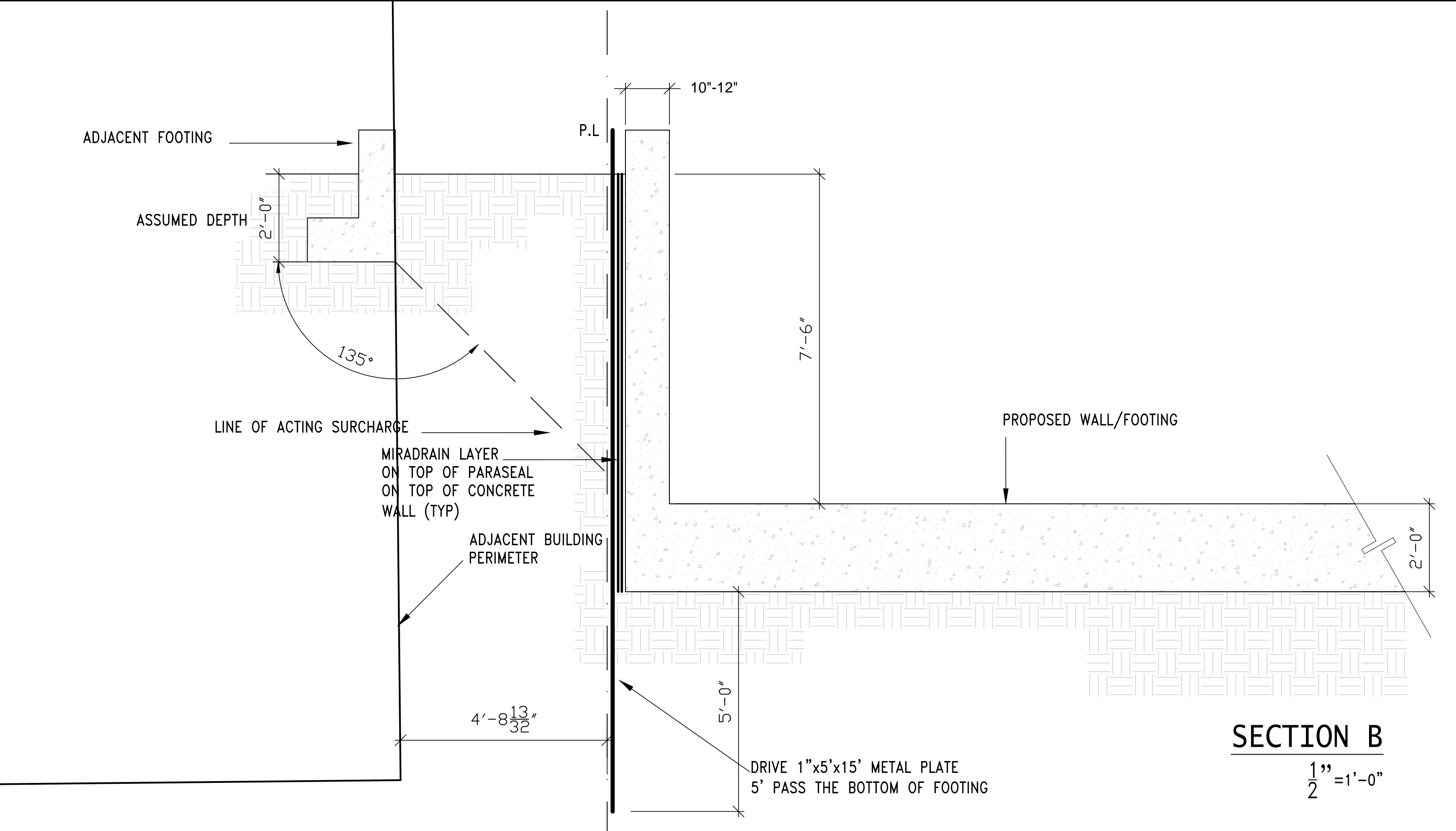
EXCAVATION  
SEQUENCE  
1/8"=1'-0"



PRELIMINARY  
DRAWING



SECTION A  
1/2\"/>



SECTION B  
1/2\"/>



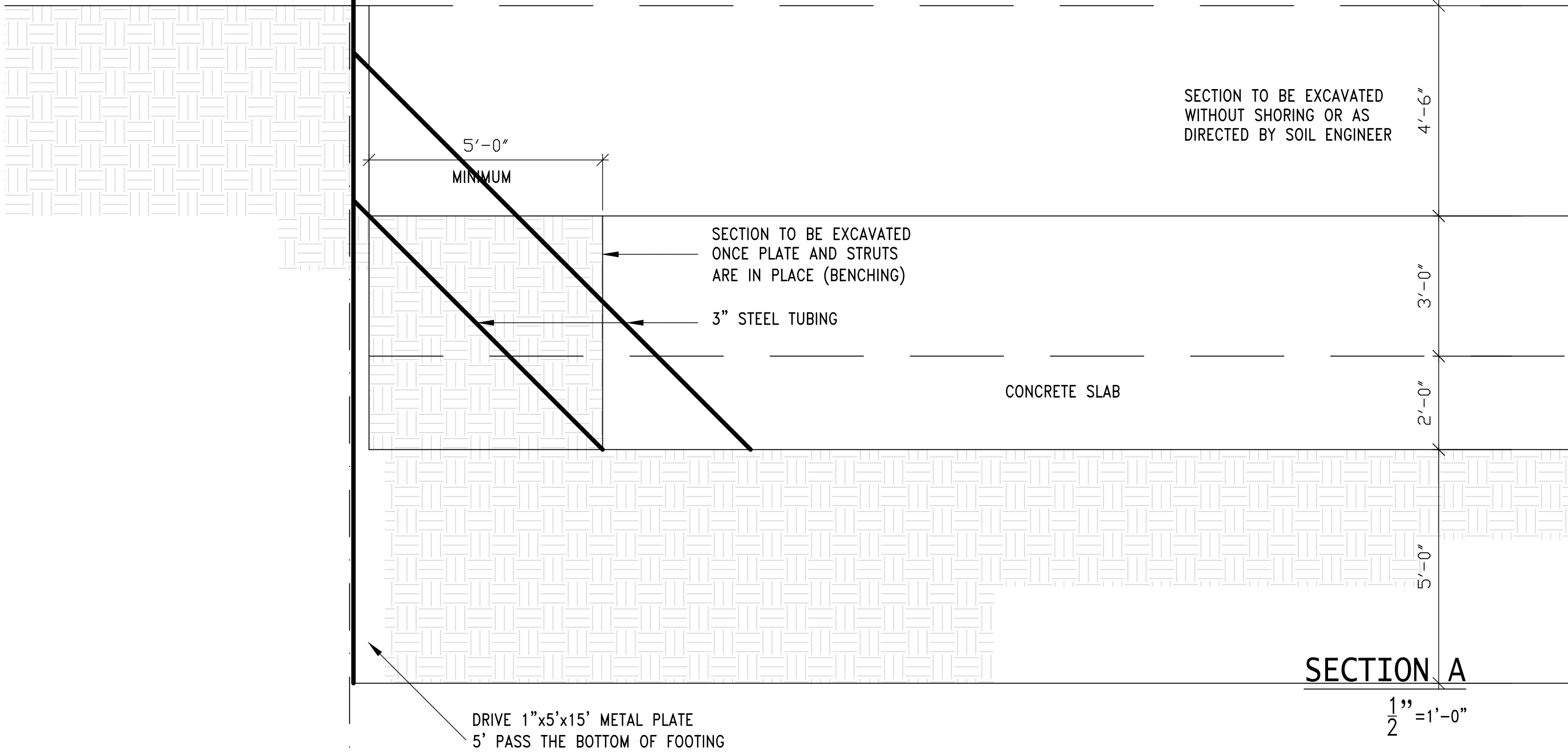
AZ DESIGN AND ENGINEERING, INC.  
255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com  
RESIDENTIAL CONDOMINIUM BUILDING  
1457 EL CAMINO REAL, BURLINGAME CA 94010  
A.P.N 026-013-050 LOT SIZE 8,160 SQ



REVISION/DATE	
1. PRELIM SHORING	1/14/2020
SCALE: AS SHOWN	DRAWN / REVIEWED RD AZ
DATE: JAN/2020	JOB No: AM1081

S-0

PRELIMINARY  
DRAWING



AZ DESIGN AND ENGINEERING, INC.  
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RESIDENTIAL CONDOMINIUM BUILDING  
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REVISION/DATE	
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S-1