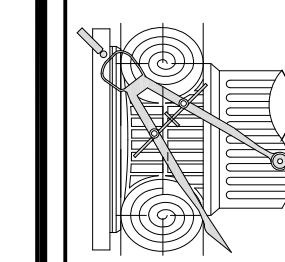


EE : EMERGENCY EGRESS

[illegible]

**CHU DESIGN ASSOCIATES INC.**  
55 W. 43rd AVENUE  
SAN MATEO, CALIFORNIA 94403  
TEL: (650) 345-9286  
FAX: (650) 345-0787

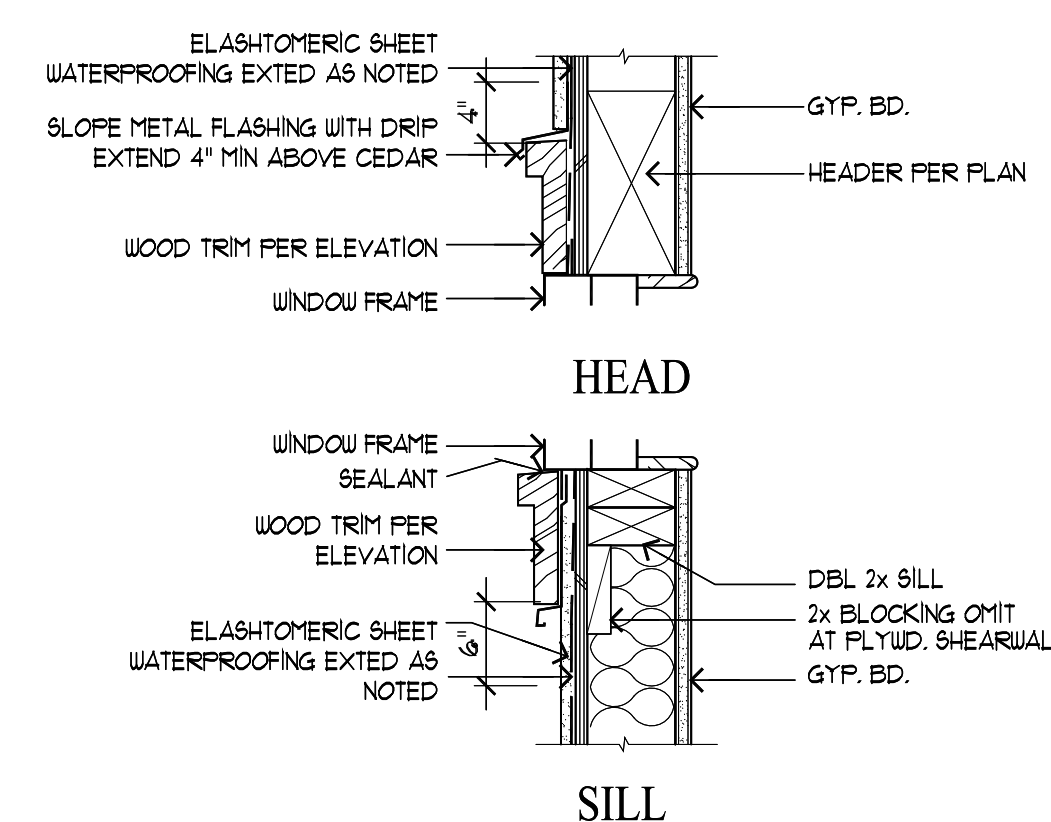
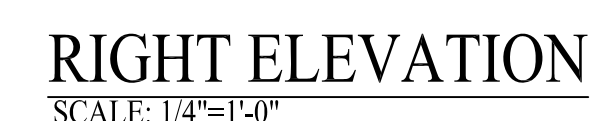
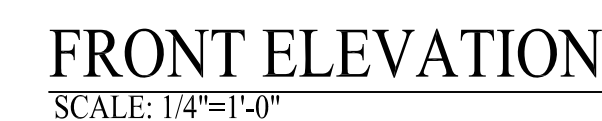


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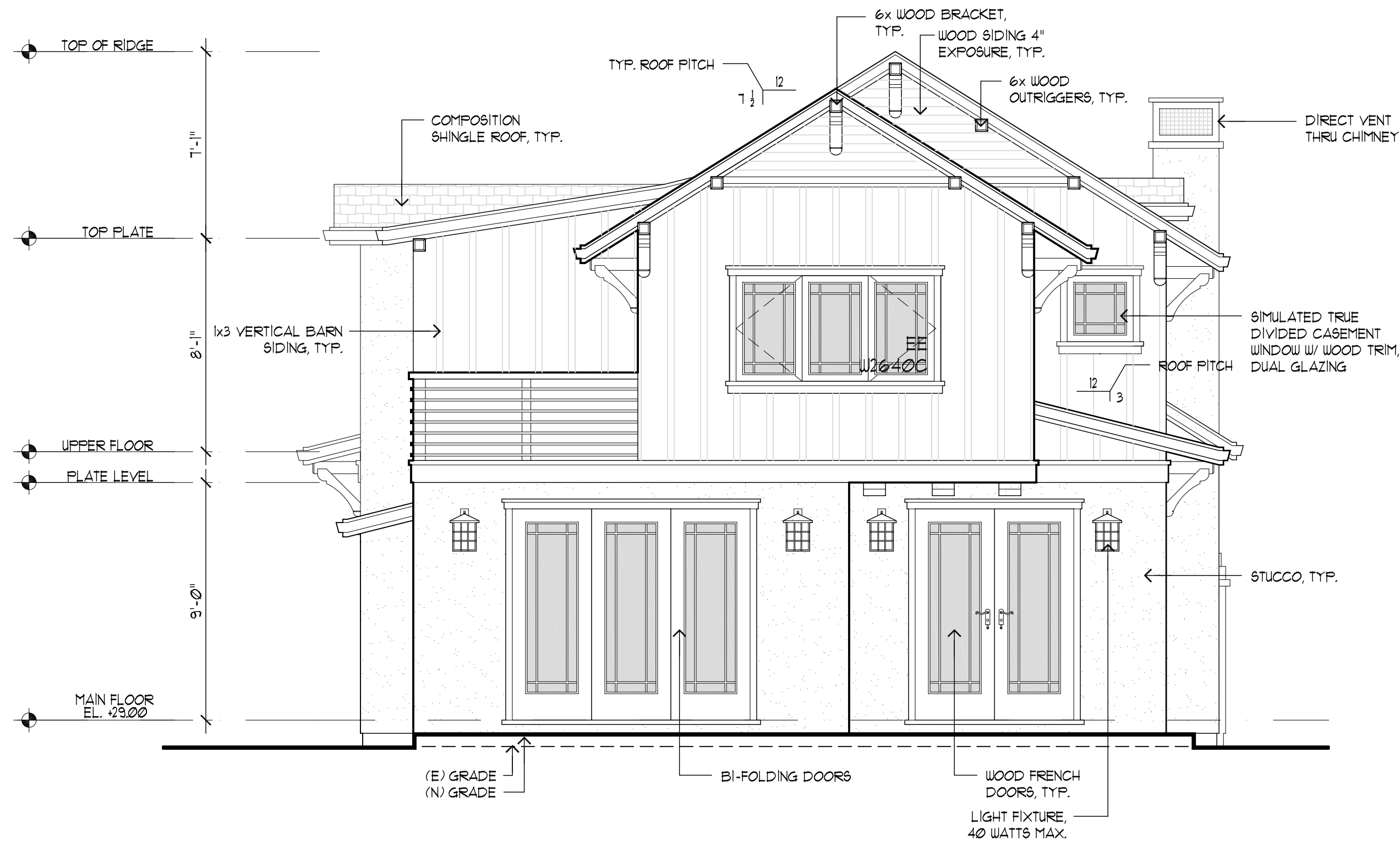
NEW RESIDENCE  
1445 BALBOA AVE.  
BURLINGAME, CA  
A.P.N. : 026-014-100

DATE:	SEPT. 23, 2019
SCALE:	AS NOTED
DRAWN:	PU
JOB:	
SHEET NO.	

## A.4



1 TYP. HEAD + SILL DETAIL  
SCALE: 1"=1'-0"



REAR ELEVATION  
SCALE: 1/4"=1'-0"



LEFT ELEVATION  
SCALE: 1/4"=1'-0"

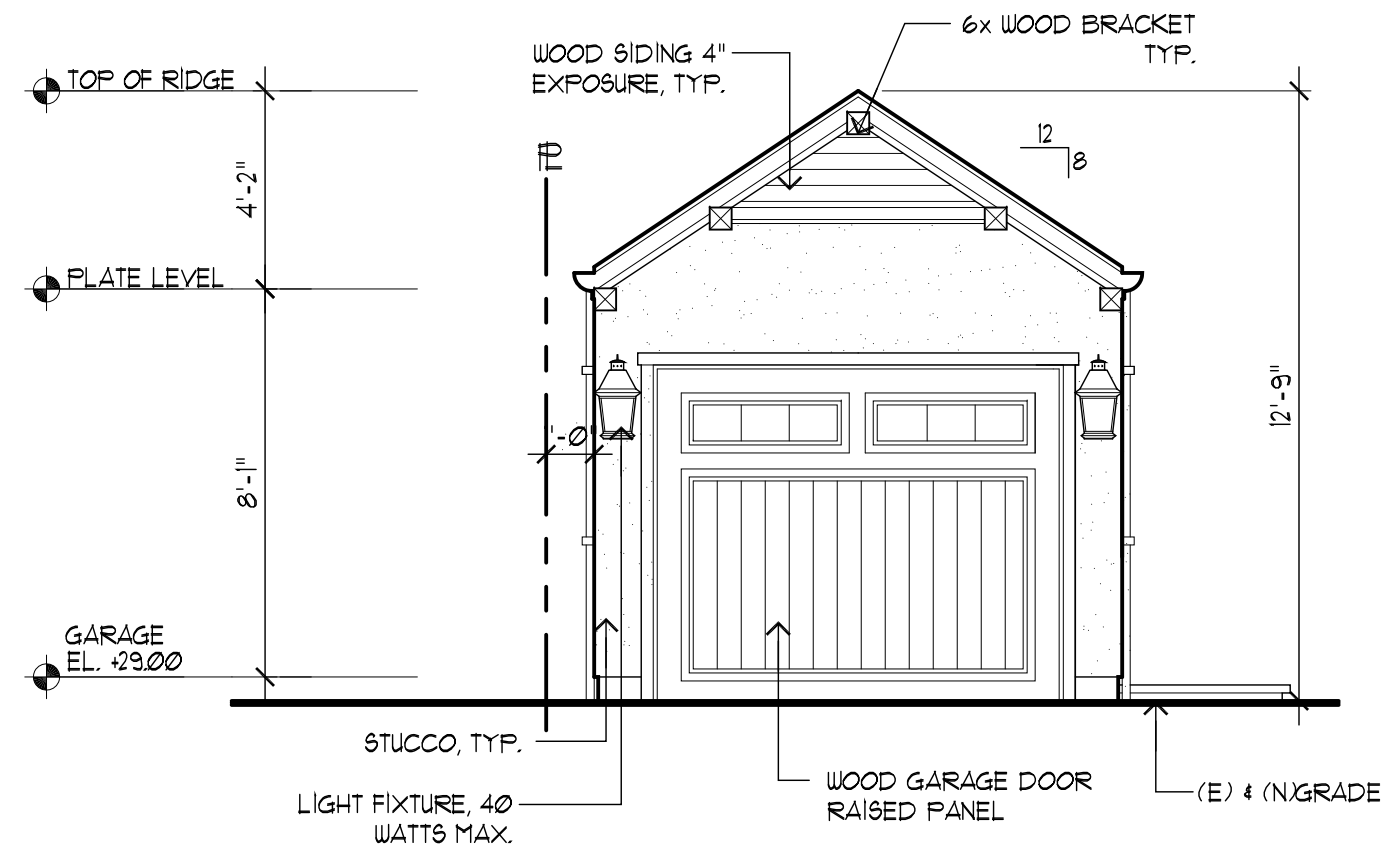
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SAN MATEO, CALIFORNIA 94403  
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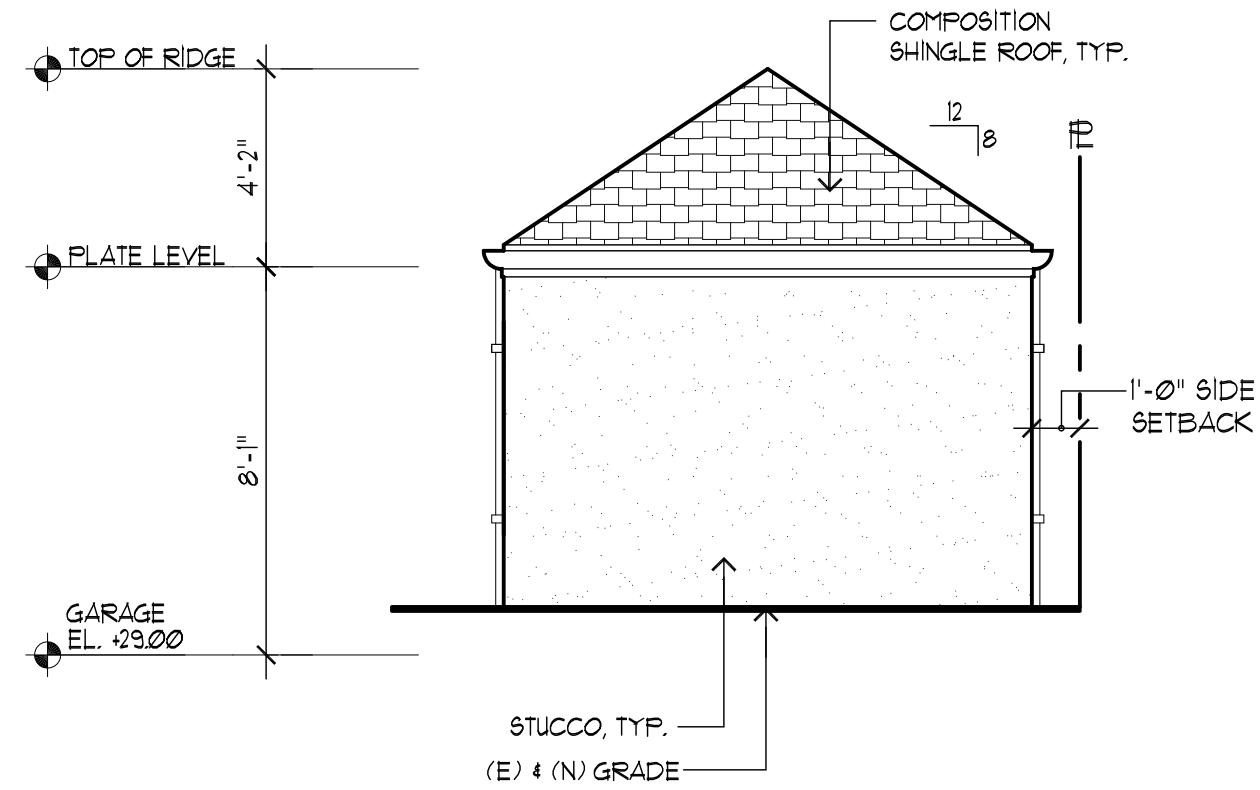
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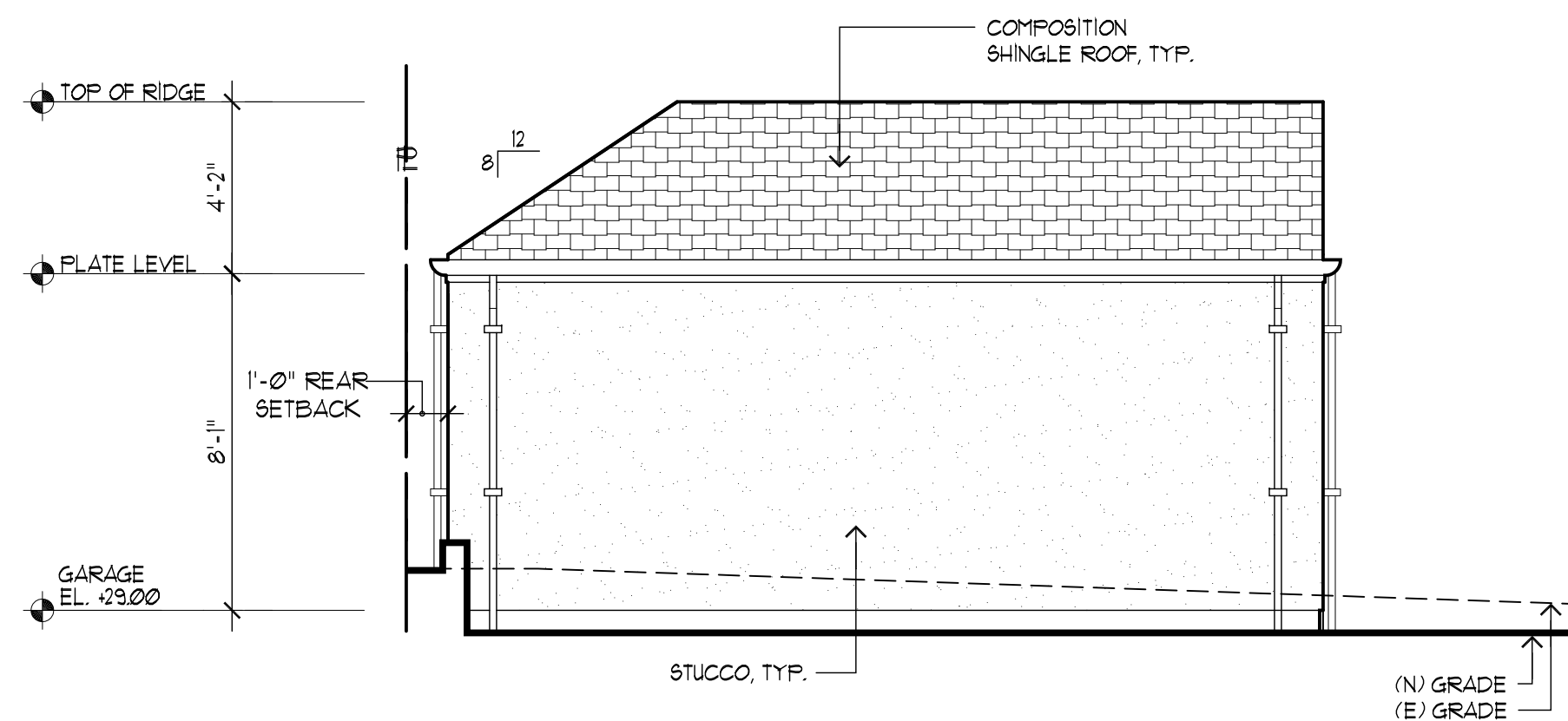
DATE:	SEPT. 23, 2019
SCALE:	AS NOTED
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CHK:	
SHEET NO.	



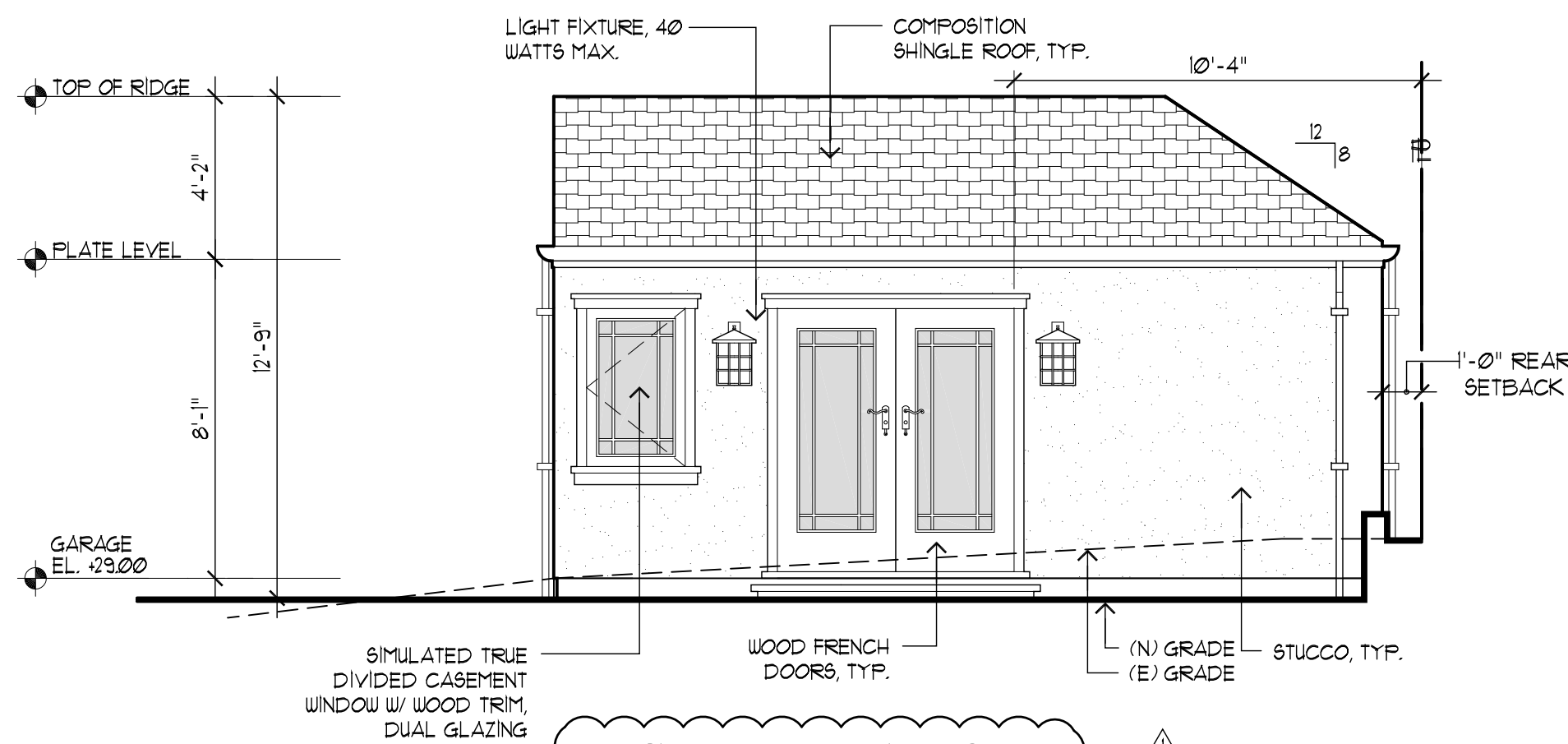
FRONT ELEVATION  
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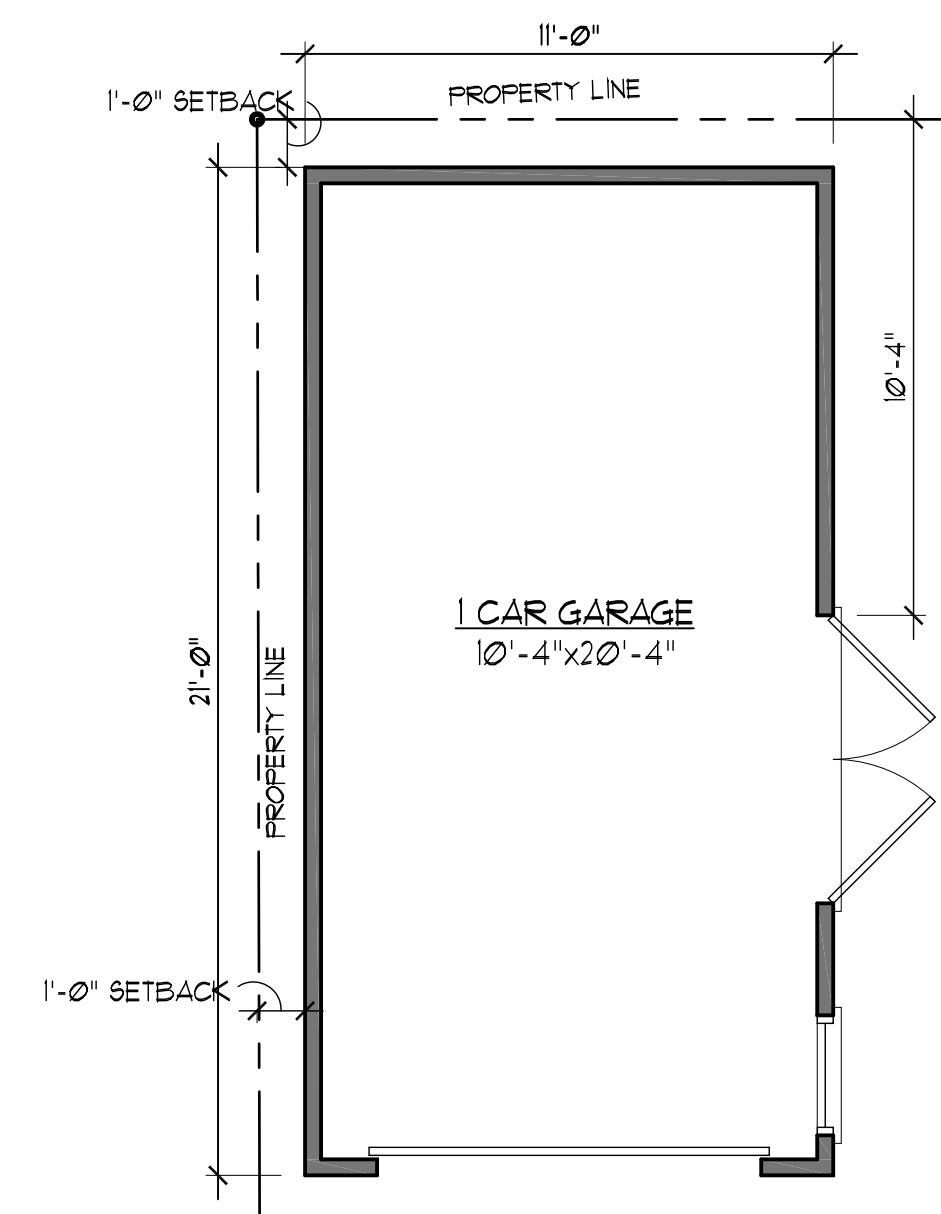
REAR ELEVATION  
SCALE: 1/4"=1'-0"



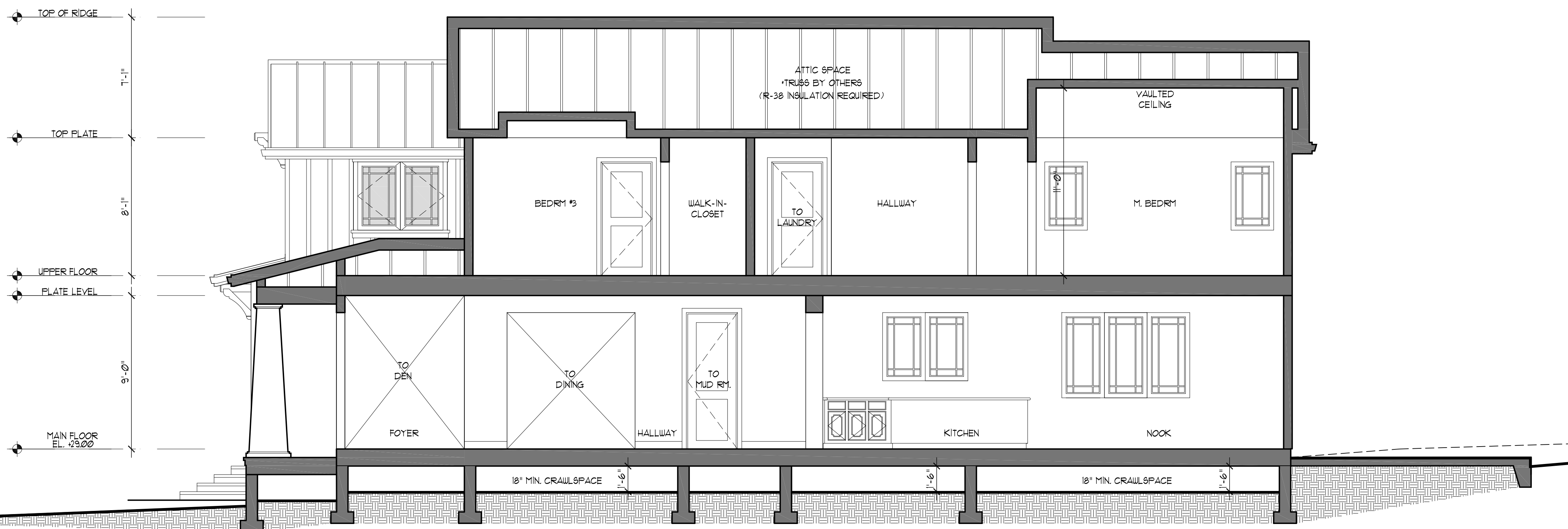
LEFT ELEVATION  
SCALE: 1/4"=1'-0"



RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

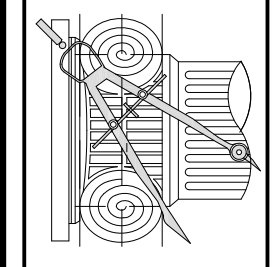


GARAGE FLOOR PLAN  
SCALE: 1/4"=1'-0"



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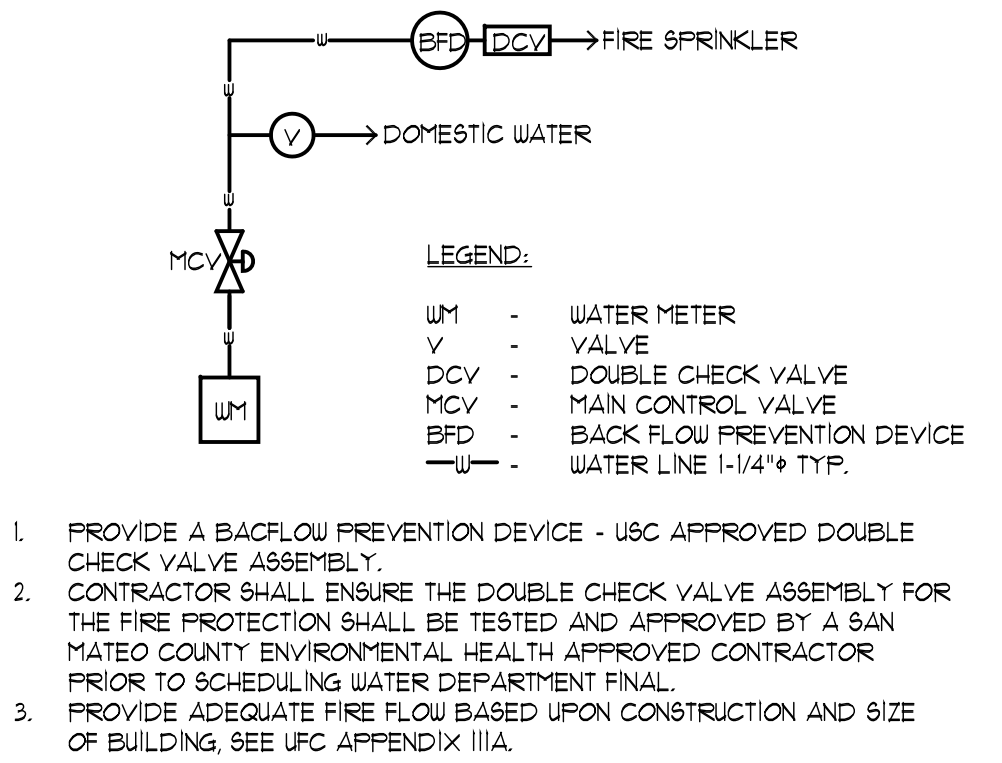
DATE:	SEPT. 23, 2019
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FOR:	
SHEET NO.	

GENERAL NOTES:

- SEE LANDSCAPE PLAN FOR DETAIL INFORMATION
- MAXIMUM DRIVEWAY SLOPES SHALL NOT EXCEED FIFTEEN (15) PERCENT AT ANY POINT WITHOUT SPECIAL APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS. SLOPES IN EXCESS OF TWENTY (20) PERCENT SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION. TRANSITIONAL SLOPES ARE REQUIRED FOR DRIVEWAYS WHICH EXCEED TEN (10) PERCENT MAXIMUM SLOPE. NO TRANSITIONAL SLOPE SHALL EXTEND INTO A REQUIRED PARKING SPACE.
- TOPOGRAPHY IS PREPARED BY:  
QUIET RIVER LAND SERVICES INC.  
6141 SIERRA COURT, SUITE K  
DUBLIN, CA 94568  
TEL: (925) 734-6188
- A DEMOLITION PERMIT IS REQUIRED FOR SIDEWALK, SEWER AND WATER REPLACEMENT
- REQUIRED PROTECTIVE FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO DEMO PERMIT ISSUE
- SEWER BACKFLOW PROTECTION CERTIFICATE IS REQUIRED PER ORDINANCE NO. 1110. A DRAFT CERTIFICATION SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- THE SURVEYOR RECOMMENDS THE CITY VERIFY THAT THE PERTINENT RESIDENCES WERE USED IN THE CALCULATION
- GARAGE FOOTING SHALL NOT EXTEND INTO ONE FOOT SETBACK WITHOUT A LICENSED SURVEY AND FIELD STAKING REVIEWED BY INSPECTOR
- NEW WATER METER SHALL NOT ON PRIVATE PROPERTY. IT MUST BE LOCATED ON PUBLIC PROPERTY FOR ACCESS BY METER READER
- NEW SEWER LINE WITH CLEANOUT FOR NEW HOUSE. CLEANOUT AT SEWER MAIN LINE TO BE IN PUBLIC EASEMENT FOR CITY ACCESS
- CONTRACTOR SHALL ENSURE THE DOUBLE VALE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL
- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING. SEE UPC APPENDIX IIIA. MINIMUM 500 GPM REQUIRED. SEE TABLE NO. A-III-A-1.
- MINIMUM 1" WATER METER REQUIRED
- IF BACKWATER PROTECTION IS REQUIRED, CONTRACTOR SHALL PROVIDE AN ISOMETRIC DIAGRAM OF THE BUILDING SEWER INCLUDING ALL BACKWATER VALVES, RELIEF VALVES, AND ANY SEWER INJECTION SYSTEM DETAILS. CITY OF BURLINGAME MUNICIPAL CODE ORDINANCE 1110.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES
- PROVIDE A PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES THAT WILL ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF QUICK-ACTING VALVES. CPC SECTION 609.10

PUBLIC WORK NOTES & CONDITIONS:

- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED:
  - REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE.
  - PLUG ALL EXISTING SANITARY CONNECTIONS AND INSTALL A NEW 6" LATERAL.
  - ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION.
  - ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT OF WAY.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FUTURE PER ORDINANCE NO. 1110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY.
- A SURVEY BY A LICENSED SURVEYOR OR ENGINEER IS REQUIRED. THE SURVEY SHALL SHOW HOW THE PROPERTY LINES WERE DETERMINED AND THAT THE PROPERTY CORNERS WERE SET WITH SURVEYORS LICENSE NUMBERSON DURABLE MONUMENTS. THIS SURVEY SHALL BE ATTACHED TO THE CONSTRUCTION PLANS. ALL CORNERS NEED TO BE MAINTAINED OR REINSTALLED BEFORE THE BUILDING FINAL. ALL PROPERTY CORNERS SHALL BE MAINTAINED DURING CONSTRUCTION OR RE-ESTABLISHED AT THE END OF THE PROJECT.
- ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY.
- CONSTRUCTION AND BUILDING USE SHALL CONFORM TO CONDITIONS AS DESCRIBED BY PLANNING COMMISSION AND/OR CITY COUNCIL ACTIONS.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- NO STORM WATERS, UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING, OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY." MUNICIPAL CODE SECTION 18.08.010 (1).
  - STORM WATER SHALL BE DRAINED THROUGH A CURB DRAIN OR TO THE STORM DRAINAGE SYSTEM. SEE CITY STANDARDS FOR CURB DRAIN DESIGN.
  - FLOOD ZONE 'C' REQUIRES FLOOD ZONE CONFIRMATION AND/OR PROTECTION OF HABITABLE SPACE.
  - PROVIDE ELEVATIONS TO CONFIRM DRAINAGE AND SITE DESIGN.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.



1 SCHEMATIC WATER LATERAL LINE NOT TO SCALE

DRAINAGE NOTES:

**RAINWATER COLLECTION**  
ALL NEW ROOF RAINWATER SHALL BE COLLECTED BY MEANS OF GALVANIZED METAL GUTTERS, UNLESS NOTED OTHERWISE. LOCATED AT THE EAVES. PAINT TO MATCH COLOR SCHEME OF RESIDENCE. GUTTER SHALL LEAD TO 2\"/>

PROVIDE A BACKFLOW PREVENTER/DEVICE AT A LOCATION NEAR THE TERMINATION OF THE SOLID PIPE THROUGH THE FACE OF CURB AS REQUIRED TO PREVENT RAINWATER FROM THE GUTTER SYSTEM ENTERING THE SUMP PUMP SYSTEM.

SUMP PUMP AT A MINIMUM SHALL BE A 1/4 HP AUTOMATIC SUBMERSIBLE SUMP PUMP WITH PERFORMANCES AS LISTED BELOW (MINIMUM). INSTALL AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

DISCHARGE FEET OF HEAD	5	10	15
PERFORMANCE (GALLONS PER HOUR)	2280	1620	660

SUMP PIT - INSTALL PUMP IN SUMP PIT (CATCH BASIN) WITH THE MINIMUM CLEARANCES AND DEPTHS AS PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

FIRE NOTES:

CONTRACTOR SHALL OBTAIN SEPARATE FIRE SPRINKLER PERMIT FOR THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 1104.030 OF THE BURLINGAME MUNICIPAL CODE. THE MINIMUM SIZE SYSTEM FOR FIRE SPRINKLER SYSTEM SHALL CONFORM TO NFPA 13 OR DR IS 2". FOR NFPA 13D SYSTEMS THE MINIMUM SIZE IS 1".

FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED DIRECTLY TO THE BURLINGAME FIRE DEPARTMENT AT 1999 ROLLING ROAD, BURLINGAME, ONLY. AFTER FIRE SPRINKLER UNDERGROUNDS HAVE BEEN SUBMITTED TO THE BURLINGAME BUILDING DEPARTMENT.

GREEN BUILDING NOTES:

- PROJECTS THAT DISTURB LESS THAN ONE ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. A BMP PAGE IS SUFFICIENT.
- PLANS SHALL INDICATE HOW GRADING AND PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER DRAINAGE PATH.
- ELECTRIC VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY WITH ALL RELEVANT SECTIONS.

TABLE NO. A-III-A-1  
MINIMUM REQUIRED FIRE FLOW & FLOW DURATION BUILDINGS

FIRE AREA (square feet)					FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
X 0.0929 for m2						
Type I-F.R.1	Type II One-H.R.	Type V-One-H.1	Type II-N1	Type V-N1		
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	
22,701-38,200	12,701-17,600	8,201-10,800	5,901-7,900	3,601-4,800	1,750	
38,201-58,700	17,601-21,800	10,801-12,800	7,901-10,800	4,801-6,200	2,000	
58,701-79,200	21,801-24,200	12,801-17,400	9,801-12,600	6,201-7,700	2,250	
79,201-99,700	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
99,701-119,700	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	
119,701-139,700	39,701-47,700	25,501-30,100	18,401-21,800	11,301-13,400	3,000	
139,701-159,700	47,701-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
159,701-179,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
179,701-199,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
199,701-219,700	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	
219,701-239,700	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
239,701-259,700	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
259,701-279,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
279,701-299,700	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
299,701-319,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
319,701-339,700	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5,500	
339,701-359,700	152,601-166,500	97,701-108,500	70,601-77,000	43,401-47,400	5,750	
359,701-379,700	166,501-181,000	108,501-115,800	77,001-83,700	47,401-51,500	6,000	
379,701-399,700	181,001-196,100	115,801-125,500	83,701-90,600	51,501-55,700	6,250	
399,701-419,700	196,101-211,800	125,501-135,500	90,601-97,900	55,701-60,200	6,500	
419,701-439,700	211,801-228,100	135,501-145,800	97,901-105,900	60,201-64,400	6,750	
439,701-459,700	228,101-245,400	145,801-156,700	105,901-113,200	64,401-69,600	7,000	
459,701-479,700	245,401-263,700	156,701-167,900	113,201-121,300	69,601-74,600	7,250	
479,701-499,700	263,701-283,000	167,901-179,400	121,301-129,600	74,601-79,500	7,500	
499,701-519,700	283,001-293,400	179,401-191,400	129,601-138,300	79,501-85,100	7,750	
519,701-539,700	293,401-304,000	191,401-202,000	138,301-147,000	85,101-90,600	8,000	
TOTAL					388.3'	
AVERAGE					22.84'	

PUBLIC WORK NOTES:

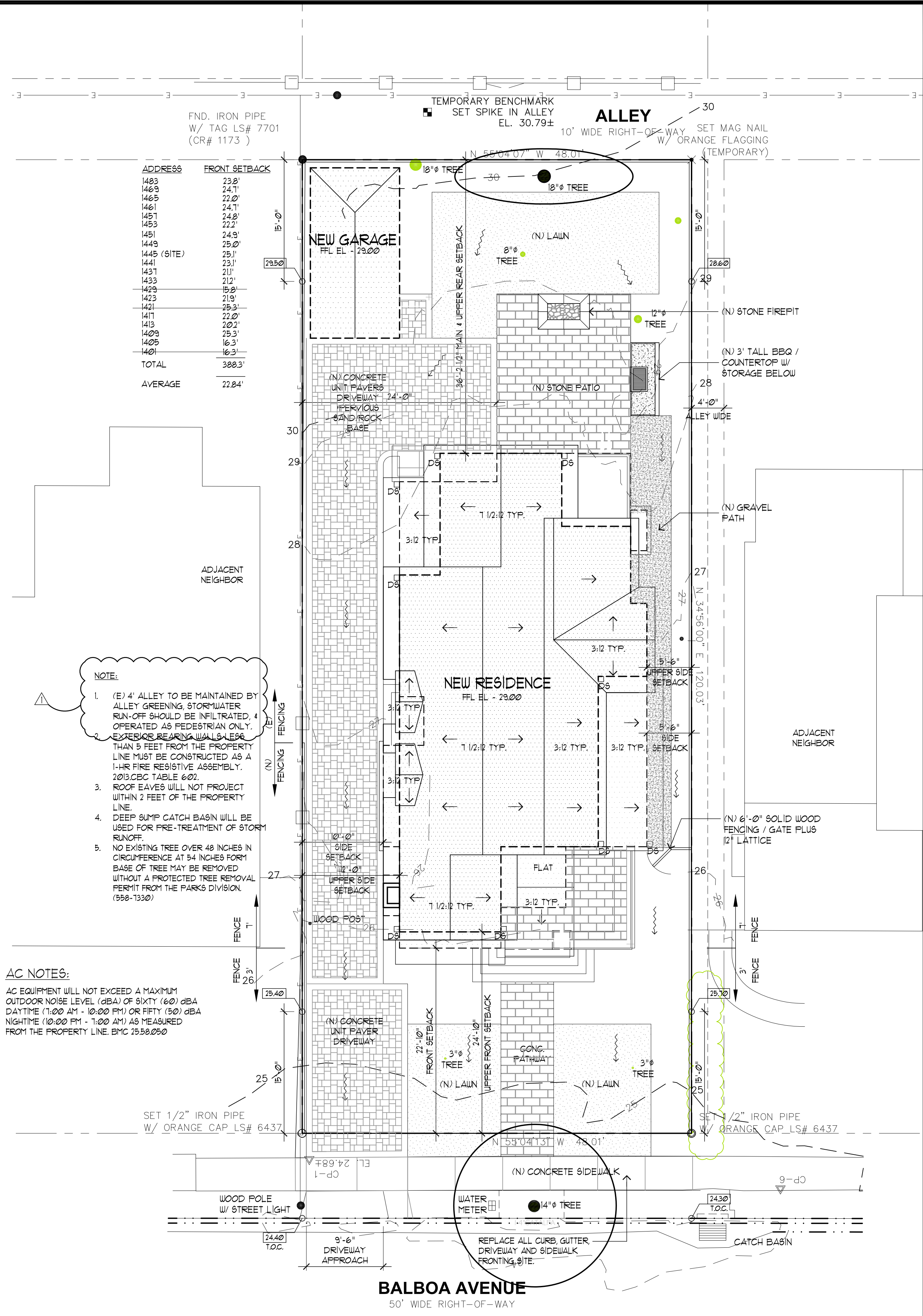
- ANY WORK IN THE CITY RIGHT-OF-WAY, SUCH AS STREET, SIDEWALK, AREA PUBLIC EASEMENTS, AND UTILITY EASEMENTS, IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK.
- BASED ON THE SCOPE OF WORK, THIS IS A TYPE I PROJECT THAT REQUIRES A STORMWATER CONSTRUCTION POLLUTION PREVENTION PERMIT. THIS PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).
- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 6" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, (4) ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
- CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00 PM. THIS INCLUDES CONSTRUCTION HAULING.
- NO STORM WATERS, UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING, OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY. NO RAIN WATER FROM ROOFS OR OTHER RAIN WATER DRAINAGE SHALL DISCHARGE UPON A PUBLIC SIDEWALK (EXCEPT IN SINGLE FAMILY AREA) PER MUNICIPAL CODE SECTION 18.08.030.
- ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 1" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
- NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY. THE PROPERTY LINE ON BALBOA AVENUE IS APPROXIMATELY 12.3' FEET MEASURED FROM FACE OF CURB.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
- ALL DEBRIS/GARAGE CONTAINERS LOCATION SHALL BE ON PRIVATE PROPERTY. IN A SITUATION WHERE THAT IS NOT POSSIBLE, AN ENCROACHMENT PERMIT IS REQUIRED FROM PUBLIC WORKS DEPARTMENT FOR PLACING DEBRIS/GARAGE CONTAINERS IN PUBLIC RIGHT-OF-WAY. NO UTILITY GROUND SHALL ENTER PUBLIC RIGHT-OF-WAY OR THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT (USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK.
- IF PUBLIC WORKS REQUIRES SIDEWALK REPLACEMENT, POLICY FOR EXPANDING WIDTH OF PLANTER STRIP MUST BE IMPLEMENTED AROUND NEW OR EXISTING CITY STREET TREE.

NOTES:

- WHERE THE PROPERTY LINE IS LESS THAN TEN (10) FEET FROM THE EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN (10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3") OR, AS AN ALTERNATIVE, MANUFACTURER-APPROVED Baffles MUST BE INSTALLED.
- CONTRACTOR SHALL PROVIDE ADEQUATE MEASURES TO AVOID EROSION OR SEDIMENT FROM LEAVING THE SITE AND FLOWING INTO THE STREET, CURB OR GUTTER. (USE STRAW WADDLES)
- REPLACE DAMAGED OR DISPLACED CURB, GUTTER AND/OR SIDEWALK ALONG THE PROPERTY FRONTAGE. A CITY ENCROACHMENT PERMIT IS REQUIRED.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- A PROPERTY SURVEY IS REQUIRED IF ANY PART OF PERMANENT STRUCTURE INCLUDING FOOTING IS WITHIN 12' OF PROPERTY LINE.

AC NOTES:

AC EQUIPMENT WILL NOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL (dBA) OF SIXTY (60) dBA DURING (10:00 AM - 10:00 PM) OR FIFTY (50) dBA NIGHTIME (10:00 PM - 1:00 AM) AS MEASURED FROM THE PROPERTY LINE. B.M.C 2558.050



**SITE DEVELOPMENT PLAN**  
SCALE: 1/8"=1'-0"

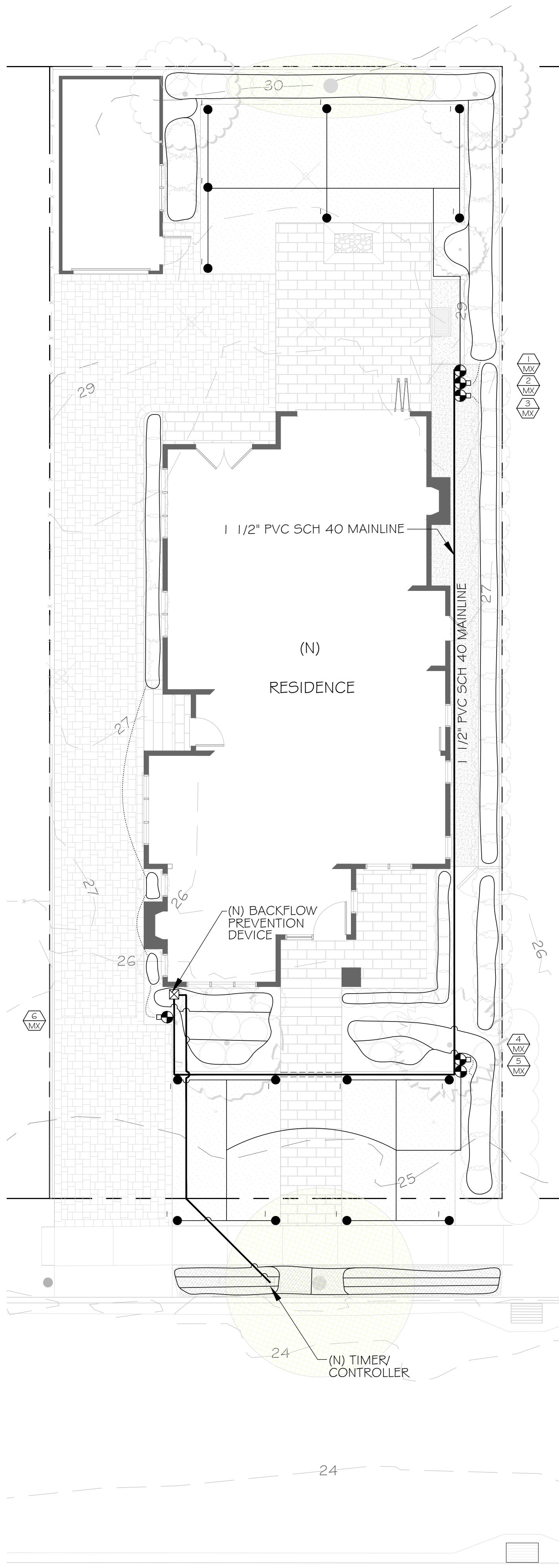
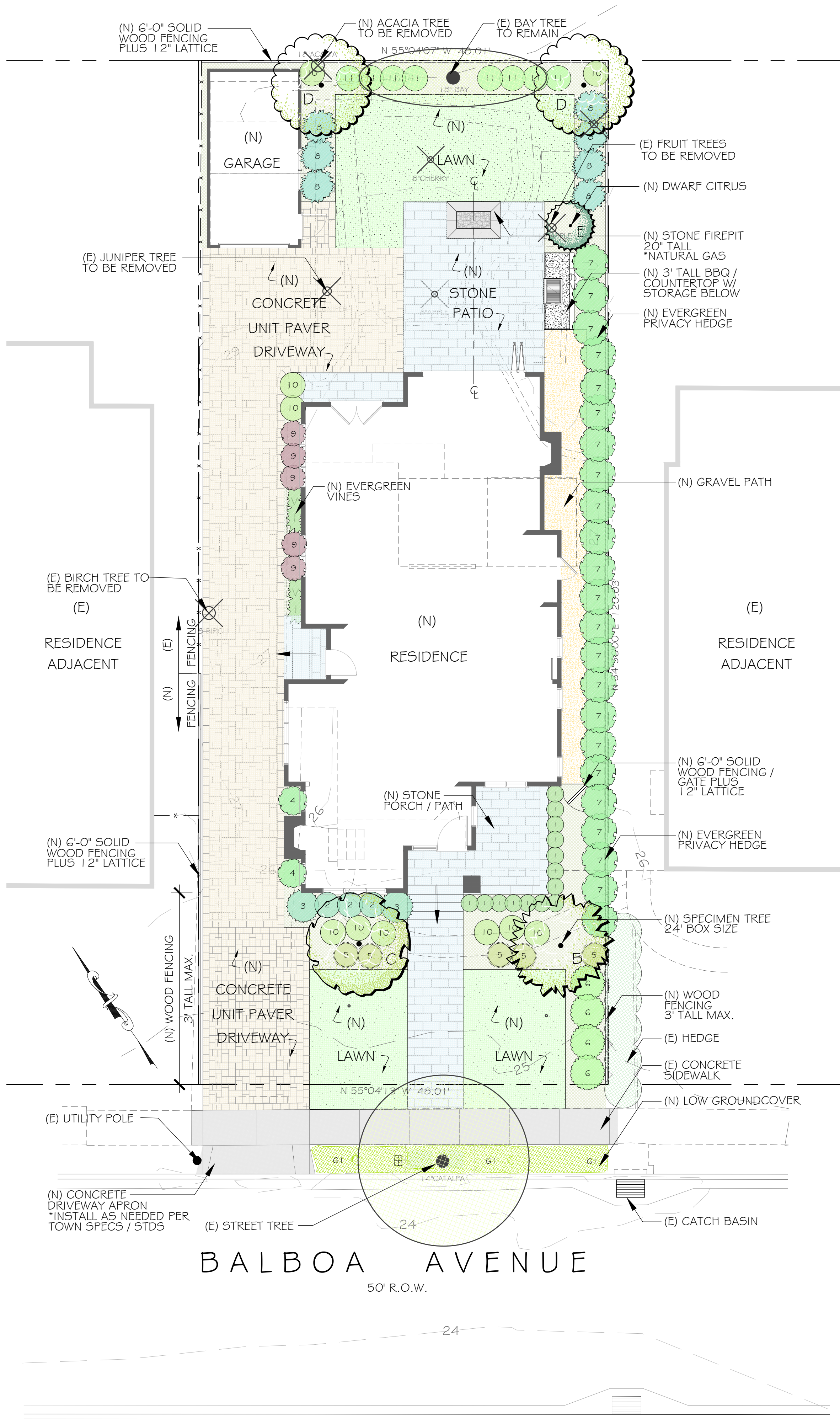
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SHEET NO.   
**A.2.1**  
OF SHEETS



IRRIGATION LEGEND

SYM	DESCRIPTION	PSI	GPM	REMARKS
☀	IRRIGATION METHOD (SPY: SPRAY DRP: DRIP BUB: BUBBLER SUB: SUB-SURFACE)			
W	WATER USE (VL: VERY LOW L: LOW M: MEDIUM H: HIGH MX: MIXED)			
☐	WEATHERMATIC SMARTLINE SERIES CONTROLLER			W/ WEATHER STATION
☑	FEBCO 825Y REDUCED PRESSURE ASSEMBLY	175 max.	-	W/ SHUT-OFF VALVES
☒	SHUT-OFF VALVE	60-100	-	BRASS BALL VALVE
☒	HOSE/IB	60-100	-	30\"/>
☒	IRRITROL 100 SERIES CONTROL VALVE	60-100	-	W/ GLOBE VALVE
☐	FILTER / PRESSURE REGULATOR	-	-	AS NEEDED PER MFR'S SPECS
☐	HUNTER MPR40 BODY W/ MP ROTATOR SERIES	30-55	.07-2.63	(C)-CORNER, (I)-1000 etc.
☐	HUNTER MPR40 BODY W/ MP STRIP SERIES	30-55	.14-.55	(L)-LEFT, (S)-SIDE, (R)-RIGHT
☐	RAINBIRD XERI-POP W/ MPR NOZZLE	20-50	.02-.41	(S)-S SERIES, (B)-B SERIES
☐	RAINBIRD XERI-POP W/ SQ NOZZLE	20-50	.13-.52	(Q)-QUARTER, (H)-HALF, (F)-FULL
☐	RAINBIRD XERI-BUBBLER SPIKE *NOT SHOWN	15-30	.02-.22	AS NEEDED, SEE DETAIL
---	PVC SCH 40 MAINLINE	60-100	-	SEE PLAN FOR SIZING
---	PVC SCH 40 LATERAL PIPING	30-55	-	SIZING TBD BY CONTRACTOR
---	NETAFIM TECHLINE CV DRIPLINE	-	-	SIZING TBD BY CONTRACTOR
---	NETAFIM TECHLINE CV (SUBSURFACE)	10-30	-	INSTALL PER MFR'S SPECS
---	PVC SCH 40 SLEEVING	-	-	UNDER ALL PAVING / WALLS

PLANT LIST

CONSTENTINO RESIDENCE, 1445 BALBOA AVENUE						
SYM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	GROWTH	WUCLS
TREES						
B	Laurus nobilis 'Saratoga' (std)	Grecian Laurel	1	24" BOX	MOD.	L
C	Acer palmatum 'Sango Kaku'	Japanese Maple	1	24" BOX	SLOW	M
D	Tristanopsis laurina	Swamp Myrtle	2	24" BOX	MOD.	M
E	Citrus 'Dwarf'	Dwarf Citrus	1	15 GAL	FAST	L
SHRUBS / PERENNIALS						
1	Euonymus buxifolia	Boxleaf Euonymus	14	5 GAL	MOD.	M
2	Rosa 'Iceberg Floribunda'	Groundcover Rose	3	5 GAL	MOD.	M
3	Ligustrum japonicum 'Texanum'	Japanese Privet	2	15 GAL	FAST	M
4	Dietes Vegeta	Fortnight Lily	2	5 GAL	MOD.	L
5	Pittosporum 'Golf Ball'	Pittosporum	5	15 GAL	MOD.	L
6	Coleonema pulchrum	Pink Breath-of-Heaven	4	15 GAL	MOD.	M
7	Pittosporum tenuifolium	Pittosporum	23	15 GAL	MOD.	M
8	Camellia sasanqua	Sasanqua Camellia	7	15 GAL	MOD.	M
9	Heimerocallis 'Dwarf Red'	Daylily	5	15 GAL	MOD.	M
10	Anigozanthos 'Pink'	Anigozanthos Pink	10	5 GAL	FAST	L
11	Laurus nobilis 'Shrub'	Grecian Laurel	8	15 GAL	MOD.	L
VINES						
V-1	Trachelospermum jasminodes 'Espalier'	Star Jasmine	2	15 GAL	MOD.	M
GROUNDCOVERS						
G-1	Dymondia spp	Silver Carpet	92 sf	25 FLATS	MOD.	L
LAWN						
Bolero Plus Blend, Delta Bluegrass Co. (800) 637-8873			780 sf	ROLLS	SLOW	-
*lawn not included in calculations, see area calcs						
TOTAL QTY:			92	L & VL QTY:	27	29.3%
				VL	0 sf	0 qty
				L	0 sf	27 qty
				M	0 sf	65 qty
NON-TURF IRRIGATED AREA:			0	H	0 sf	0 qty

IRRIGATION NOTES

- THE CONCEPTS ON THE IRRIGATION PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL SITE CONDITIONS.
- ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. MANUFACTURERS SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS.
- IRRIGATION SYSTEM SHALL USE PRESSURE REGULATORS AS NEEDED TO KEEP ALL COMPONENTS WITHIN OPTIMAL PSI RANGE, PER MANUFACTURERS SPECS.
- CONTROLLER TYPE SHALL BE A SMART CONTROLLER. RAIN SENSORS AND / OR WEATHER STATIONS ARE RECOMMENDED.
- CONTROLLER SHALL BE SET TO IRRIGATE BETWEEN THE HOURS OF 8PM AND 10AM. CONTROLLER SHALL BE SET TO IRRIGATE DEEPLY AND LESS FREQUENTLY TO ENCOURAGE DROUGHT RESISTANT ROOT GROWTH. IRRIGATION SCHEDULE TO BE DETERMINED BY AUDITOR / CONTRACTOR.
- PIPING BETWEEN THE WATER METER AND A REDUCED PRESSURE ASSEMBLY SHALL BE BRASS OR COPPER TYPE K.
- THE BOTTOM OF THE REDUCED PRESSURE ASSEMBLY SHALL BE INSTALLED MIN. 12\"/>
- A 100 MESH FILTER SHALL BE INSTALLED ON THE MAINLINE BEFORE THE REDUCED PRESSURE ASSEMBLY.
- VALVES SHALL BE HOUSED IN WEATHER-PROOF PLASTIC BOXES, WITH LOCKABLE LIDS MARKED WATER.
- CONTROL WIRE CONNECTIONS SHALL BE MADE WITH WATERPROOF PLASTIC WIRE NUTS.
- MAIN SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE AS NOTED ON PLAN, BURIED 12\"/>
- LATERAL SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE TO BE DETERMINED BY CONTRACTOR, BURIED 9\"/>
- FLEXIBLE POLY PIPE TO BE 1/2\"/>
- BUBBLERS SHALL BE SPACED TO CREATE AN EVEN WET ZONE ABOUT THE SIZE OF THE CANOPY OF ALL NEW SHRUBS, NEW TREES & EXISTING MINATURE NON-NATIVE TREES. BUBBLERS SHALL BE PLACED TO AVOID AS MUCH AS POSSIBLE IRRIGATING OAK TREES & ANY OTHER EXISTING, MATURE NATIVE OR DROUGHT TOLERANT PLANTS.
- HOSE BIBS SHALL BE MOUNTED ON GALVANIZED STEEL RISERS 30\"/>
- CHECK VALVES SHALL BE INSTALLED ON ALL DOWNHILL DRIPLINE & DISTRIBUTION LINE.
- RISER HEIGHT IN LAWN AREAS SHALL BE 4\"/>
- IF LOCATION OF A SUPPLY LINE INTERFERES WITH THE DRILLING OF THE PLANT HOLES, THE PLANT HOLES SHALL BE LOCATED AS TO CLEAR THE SUPPLY LINES.
- ALL LINES SHALL BE THOROUGHLY FLUSHED OUT PRIOR TO ATTACHMENT OF VALVES, SPRINKLERS, EMITTERS, & OTHER TERMINAL FITTINGS.
- THE CONTRACTOR SHALL MAKE FINAL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ENSURE PROPER COVERAGE AND PREVENT WATER RUN-OFF AND EXCESS SPRAY.
- ALL SPRAY AND DRIP ZONES TO BE MIN. 5'-0\"/>

LANDSCAPE PLAN

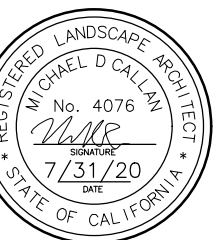
SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

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CONSTENTINO RESIDENCE  
1445 BALBOA AVE BURLINGAME, CALIFORNIA

DATE: DECEMBER 13, 2019

LANDSCAPE PLAN

SHEET NO.

L1.0