

VICINITY MAP

GENERAL INFORMATION

PROPERTY ADDRESS: JUN CHEN 2300 DAVIS DR., BURLINGAME, CA 94010

APN: <N> ADD ROOM 532 SQ.FT

DESCRIPTION OF WORK: <N> ADD ROOM 532 SQ.FT

ARCHITECT OF RECORD: [Redacted]

ZONING: R1-B

OCCUPANCY GROUP: R3

TYPE OF CONSTRUCTION: VIB

STORIES: SINGLE STORY

LOT SIZE: 6,597 SQ.FT.

FLOOR CALCULATION

EXISTING BUILDING ON SITE

<E> LIVING AREA	1,778 SQ.FT.
<E> GARAGE	418 SQ.FT.
TOTAL:	2,196 SQ.FT.

NEW ADDITION BUILDING ON AREA

<N> ADDITION AREA	532 SQ.FT.
TOTAL:	532 SQ.FT.

<E> BUILDING AREA 2,196 SQ.FT.

<N> BUILDING AREA 532 SQ.FT.

TOTAL: 2,728 SQ.FT.

EXISTING F.A.R.: 24%

PROPOSED F.A.R.: 30%

MAXIMUM F.A.R. - 42%

TOTAL ALLOWABLE FLOOR AREA: 3,776 SQ.FT.

FLOOR CALCULATION

SETBACK	REQUIRED	PROPOSED
FRONT	-	-
SIDE	-	-
REAR	-	-
MAX. HEIGHT	-	-

CODE & REGULATION

ALL WORK TO COMPLY WITH THE 2018 C.B.C., C.M.C., C.P.C. & 2013 C.E.C., CALIFORNIA TITLE 24 AMENDMENTS, AND CITY OF BURLINGAME, INCLUDING THE COUNTY OF SANTA CLARA

2018 CALIFORNIA BUILDING CODE

2018 CALIFORNIA RESIDENTIAL CODE

2018 CALIFORNIA MECHANICAL CODE

2018 CALIFORNIA PLUMBING CODE

2018 CALIFORNIA ELECTRICAL CODE

2018 CALIFORNIA FIRE CODE

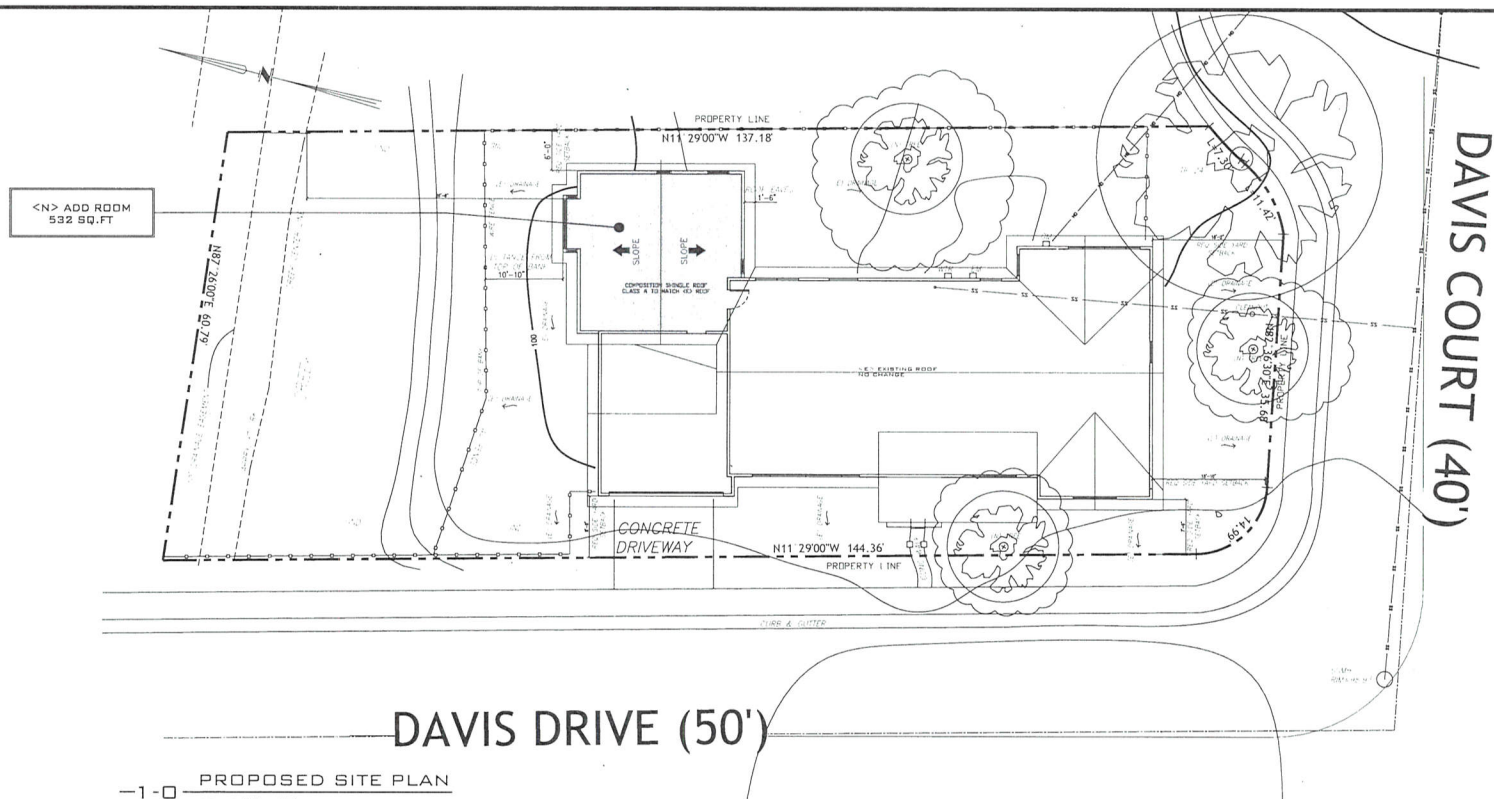
2018 CALIFORNIA ENERGY CODE

2018 CALIFORNIA GREEN BUILDING CODE

OTHER PLAN NOTES

ARCHITECTURAL

PROJECT DATA



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

<E> EXISTING HOUSE

<N> ADDITION

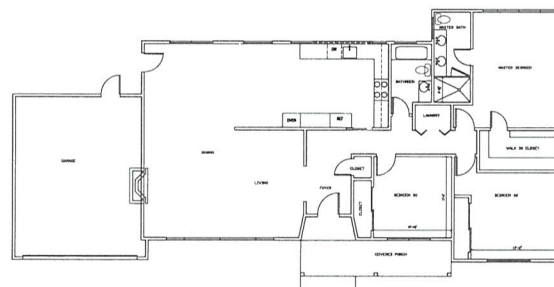
SCOPE OF WORK: NEW 532 SQUARE FOOT MASTER BEDROOM ADDITION OFF OF THE BACK THE EXISTING GARAGE.

CONSTRUCTION HOURS: WEEKDAYS: 8:00 A.M. - 7:00 P.M. SATURDAYS: 9:00 A.M. - 6:00 P.M. SUNDAYS AND HOLIDAYS: NO WORK ALLOWED (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS.) CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M. NOTE: CONSTRUCTION HOURS FOR WORK IN THE PUBLIC RIGHT OF WAY MUST NOW BE INCLUDED ON THE PLANS.

SITE NOTES: ALL DIMENSIONS AND SETBACK POINTS NEED TO BE CHECKED BEFORE THE ADDITION TAKES PLACE. PLEASE VERIFY ALL SETBACKS FROM THE BOUNDARY OF THE PROPERTY TO THE <E> HOUSE AND <N> ADDITIONS PRIOR TO DIGGING NEW FOUNDATION AND POURING OF THE CONCRETE OR FORM WORK. IF THE SETBACK AT THE SITE DOES NOT MATCH UP TO THE DRAWING OR IS OVER THE ALLOWABLE SETBACK, PLEASE CONTACT THE PROJECT ARCHITECT FOR FURTHER GUIDANCE ON THE PROJECT.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G. C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSES AT ALL TIMES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL BUILDING CODES, ORDINANCES, AND REGULATIONS. G. C. SHALL BECOME FAMILIAR WITH ALL CITY OF ASPECTS OF WORKING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD, AND PRECEDURE.
- GENERAL CONTRACTOR SHALL COORDINATE ALL FACETS OF HIS WORK AND ALL TRADERS INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER DIRECTLY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE. COORDINATE WITH ARCHITECT / OWNER.
- GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROCK CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS, FOR CONSTRUCTION AND FOR THE OWNER.
- IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.
- NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS. DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE ARCHITECT. REFER TO THE COVER SHEET FOR DISCREPANCY STANDARD PROCEDURES.
- VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
- GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS BEFORE FRAMING. COORDINATE RECEIVED LIGHT FIXTURE LOCATIONS, SHAFTS, AND HVAC OUTWORK PRIOR TO FRAMING. IT IS IMPERATIVE THAT FRAMING MEMBER LOCATIONS DO NOT CONFLICT WITH LOCATIONS OF RECEIVED LIGHT FIXTURES. IF CONFLICT EXISTS, NOTIFY ARCHITECT.
- GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ADDITIONS TO MANUFACTURER'S INSTRUCTIONS. ALL SUBSEQUENT, DISTRIBUTION RESULTS, AND INTERRUPTION REGARDING NEW EQUIPMENT SHALL BE HANDLED DIRECTLY TO THE OWNER IN ONE MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IN PERFECT WORKING ORDER AND THAT INFORMATION ABOUT ALL WARRANTIES AND GUARANTEES IS MADE KNOWN TO THE OWNER.
- THE DETAILS OF EACH MAJOR UNIT OF WORK IS REQUIRED TO INSPECT THE SUBSTRATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE ATTAINED.
- FOR MOUNTING HEIGHTS NOT CLEARLY OUTLINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICE AND LIGHT FIXTURE LOCATIONS BEFORE CONTRACTOR PERKS WIRE.
- PROVIDE SOLID BLOCKING AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND FITTINGS, EVEN WHEN WORK IS TO BE DONE BY OWNER DIRECTLY. REVIEW SCOPE OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND COORDINATE WITH OWNER/ARCHITECT.
- ALL PARTITIONS BEYOND TO BE CONSIDERED, UNLESS OTHERWISE SHOWN.
- WEATHERSTRIP ALL EXTERIOR DOORS AND WINDOWS.
- CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WEATHERTIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.
- NON-COMPLIANT PLUMBING FIXTURES SHOULD BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURE COMPLIANT WITH ILL. 68 407(2009).
- APPLY A GRADING POINT IF NECESSARY.



EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

RECEIVED

JAN 27 2020

CITY OF BURLINGAME
CDD-PLANNING DIV.

CHEN
RESIDENCE

2300 DAVIS DR.,
BURLINGAME, CA 94010



20370 TOWN CENTER LN.
SUITE 139
CUPERTINO, CA 95014
408.863.0077

REVISION
08.01.18 BUILDING SUBMITTAL
09.30.18 REUSE

PROJECT NO. DATE

PROPOSED SITE
PLAN
EXISTING FLOOR
PLAN

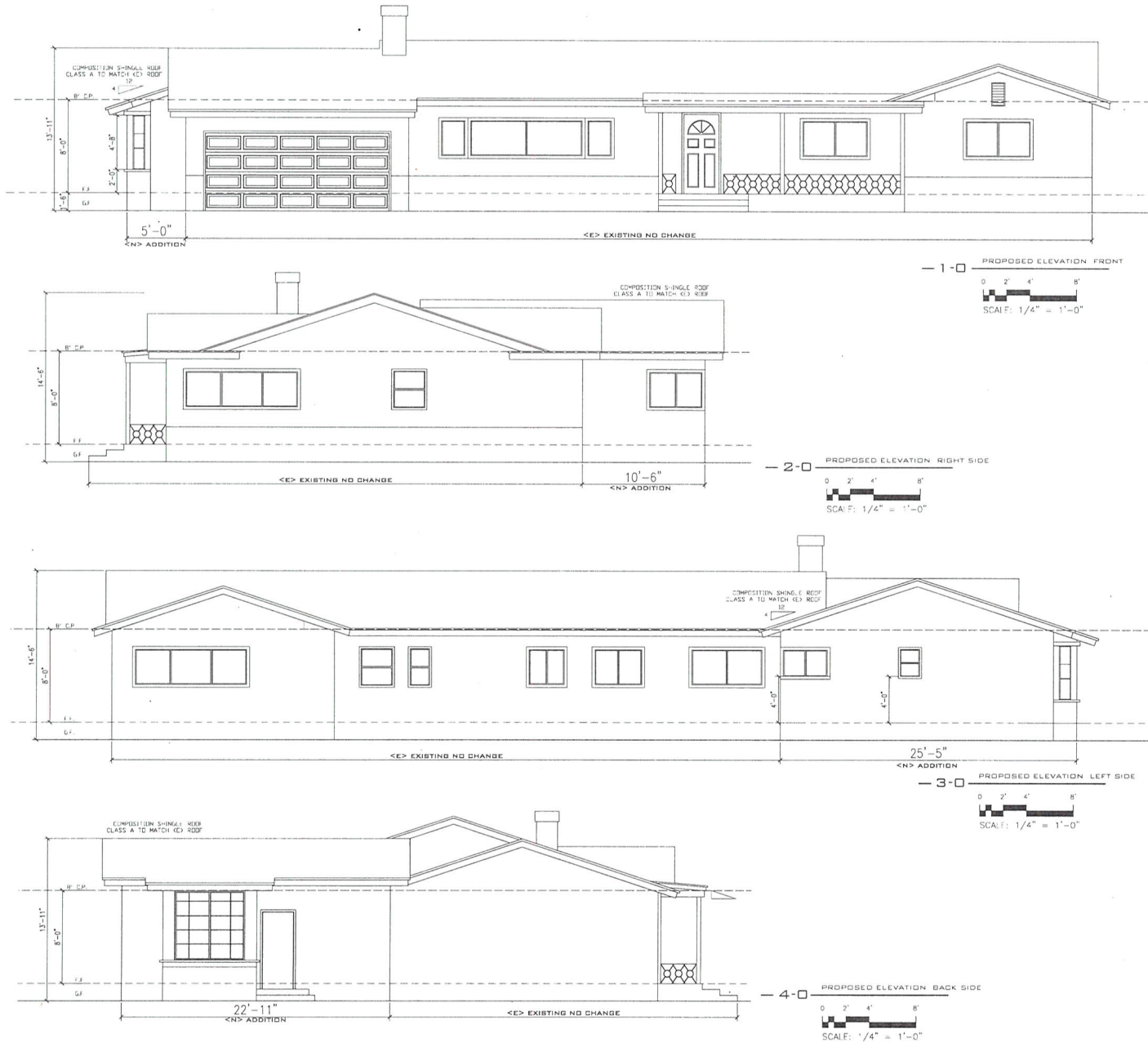
A-1.0

CHEN
RESIDENCE

2300 DAVIS DR.,
BURLINGAME, CA 94010



20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
JOB NO. 55377



REVISION
06.01.18 BUILDING SUBMITTAL
09.30.18 REVISION

PROJECT NO. DATE

EXISTING
ELEVATIONS
PROPOSED
ELEVATIONS

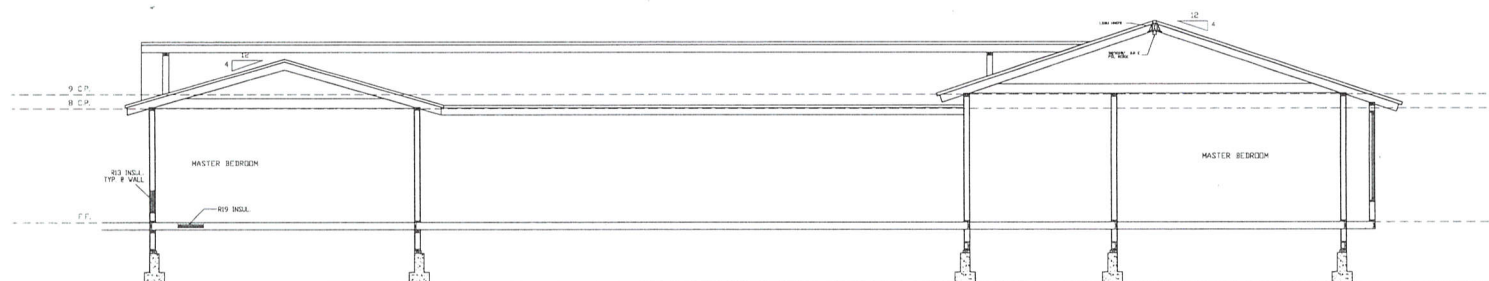
A3.0

CHEN
RESIDENCE

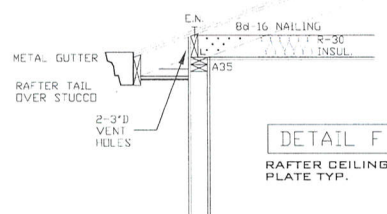
2300 DAVIS DR.,
BURLINGAME, CA 94010



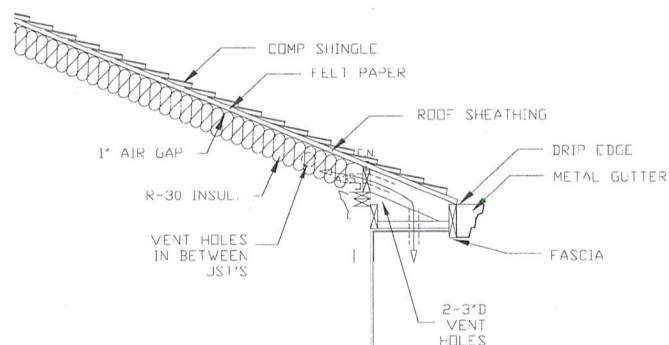
30370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.965-0377



—4—**SECTIONS**
SCALE: $\frac{1}{4}" = 1'-0"$



—4—**DETAIL**
SCALE: $1" = 1'-0"$



—4—**DETAIL**
SCALE: $1" = 1'-0"$

REVISION
06.01.18 BUILDING SUBMITAL
09.30.18 REVISE

PROJECT NO. DATE

SECTIONS
DETAILS

A4.0