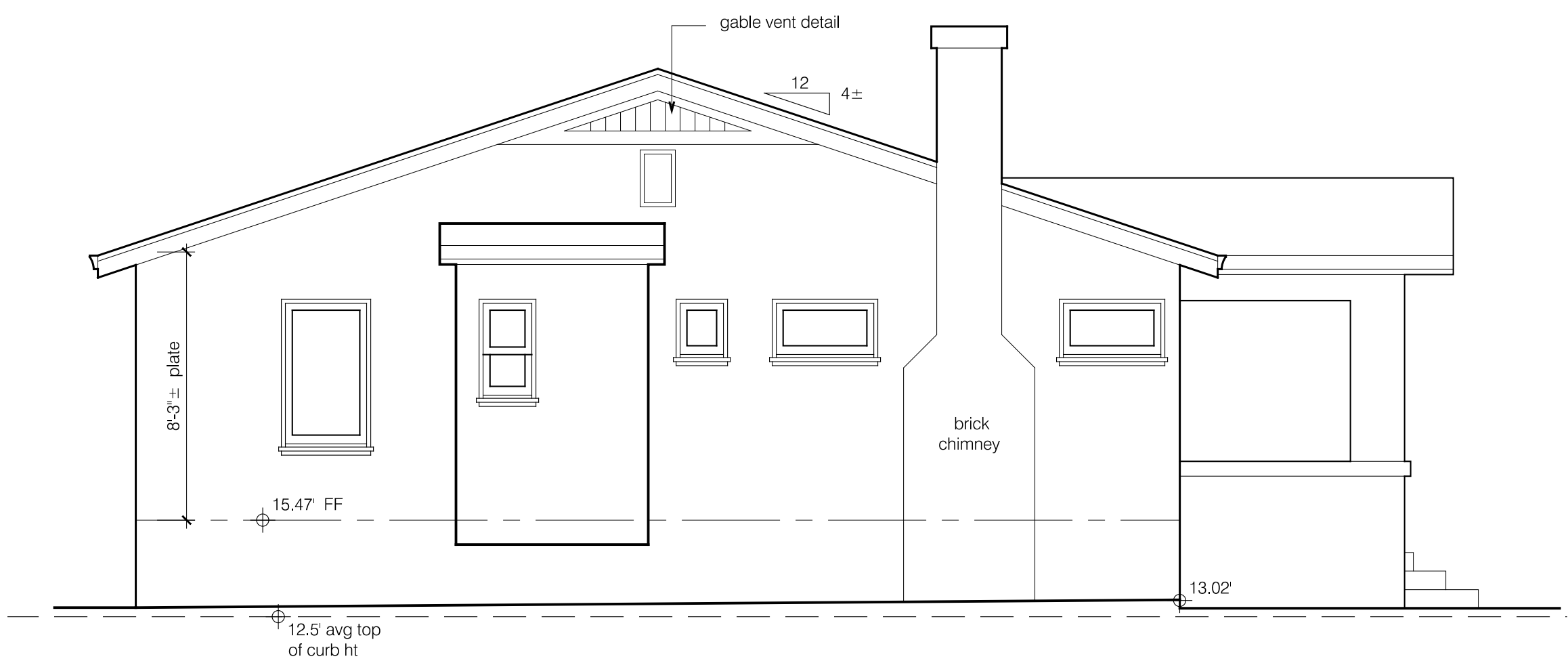
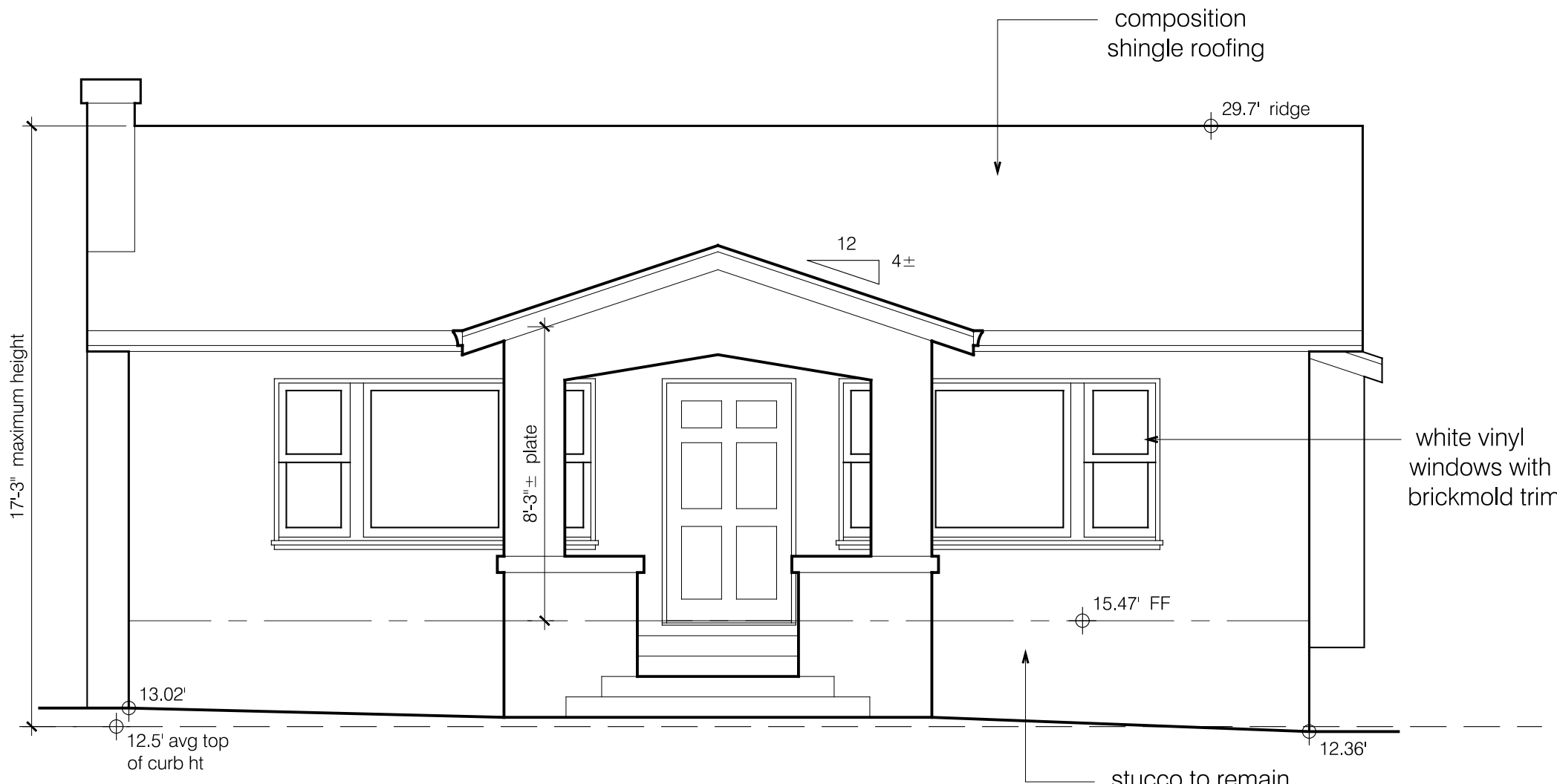


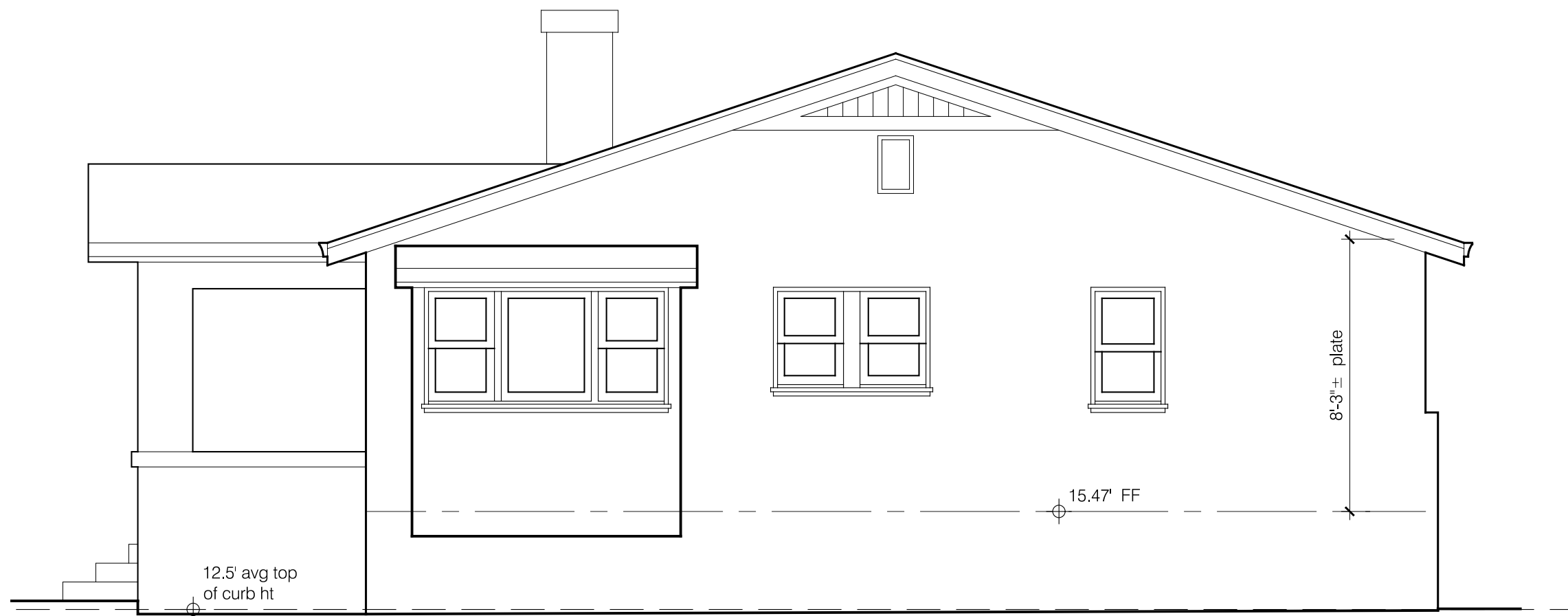
A PROPOSED ADDITION/REMODEL OF
912 PARK AVENUE
BURLINGAME, CALIFORNIA
APN: 029-032-120
OWNER: ERIK CHAN



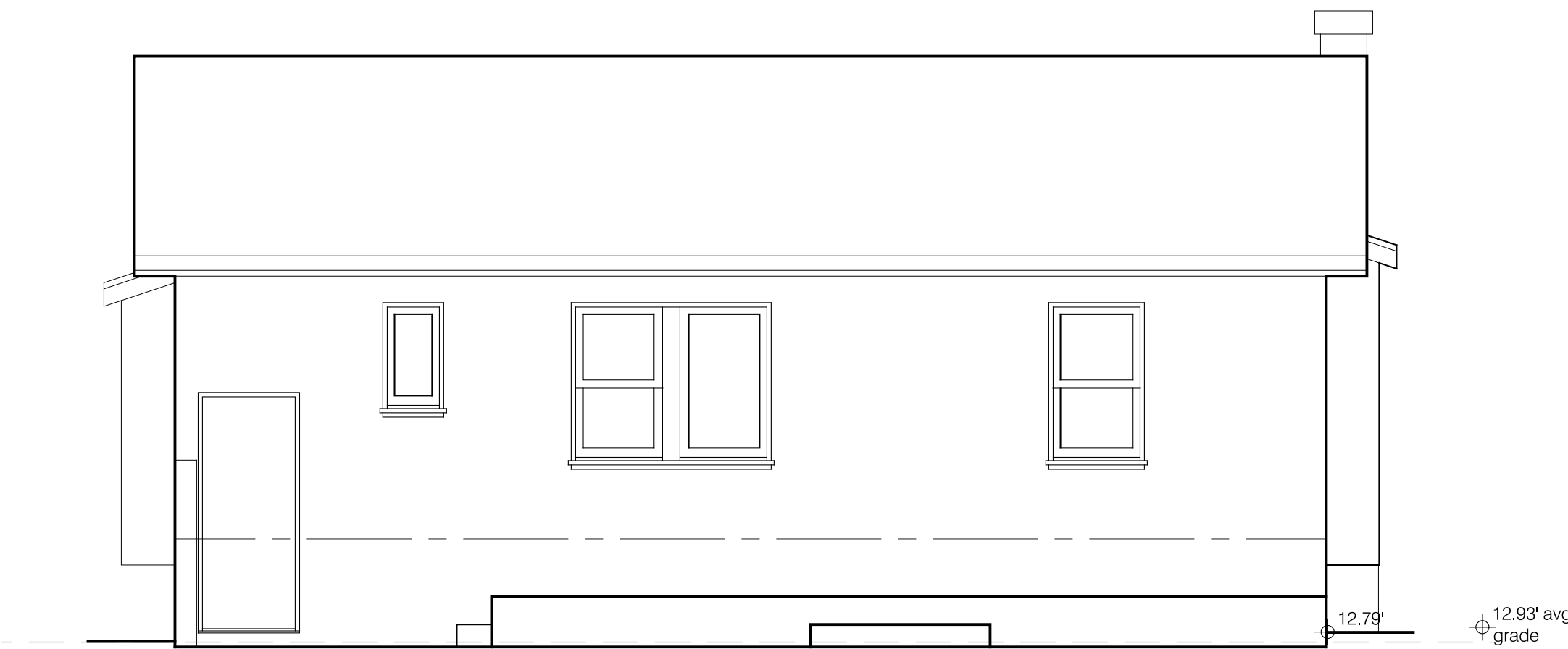
LEFT-SIDE (SOUTHWEST) ELEVATION $\frac{1}{4}" = 1'-0"$



EXISTING
FRONT (SOUTHEAST) ELEVATION
 $\frac{1}{4}" = 1'-0"$



RIGHT-SIDE (NORTHEAST) ELEVATION $\frac{1}{4}" = 1'-0"$



REAR (NORTHWEST) ELEVATION $\frac{1}{4}" = 1'-0"$

drawing title

revisions

- 4.20.20
- 6.2.20

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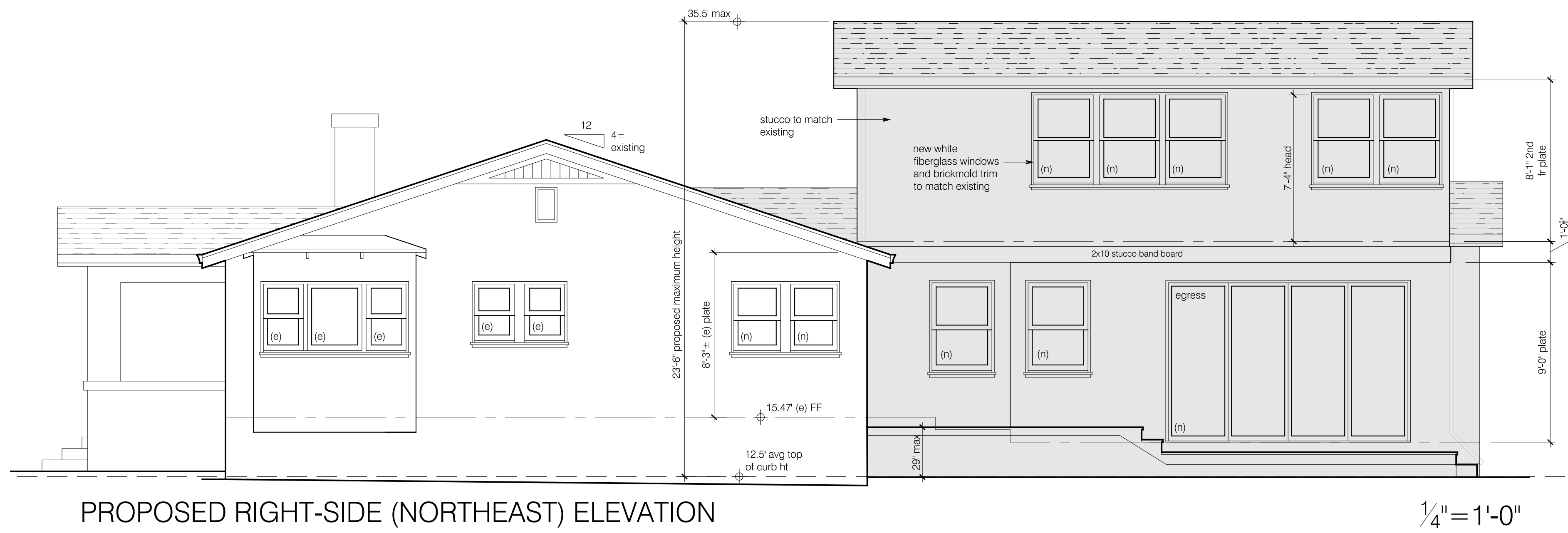
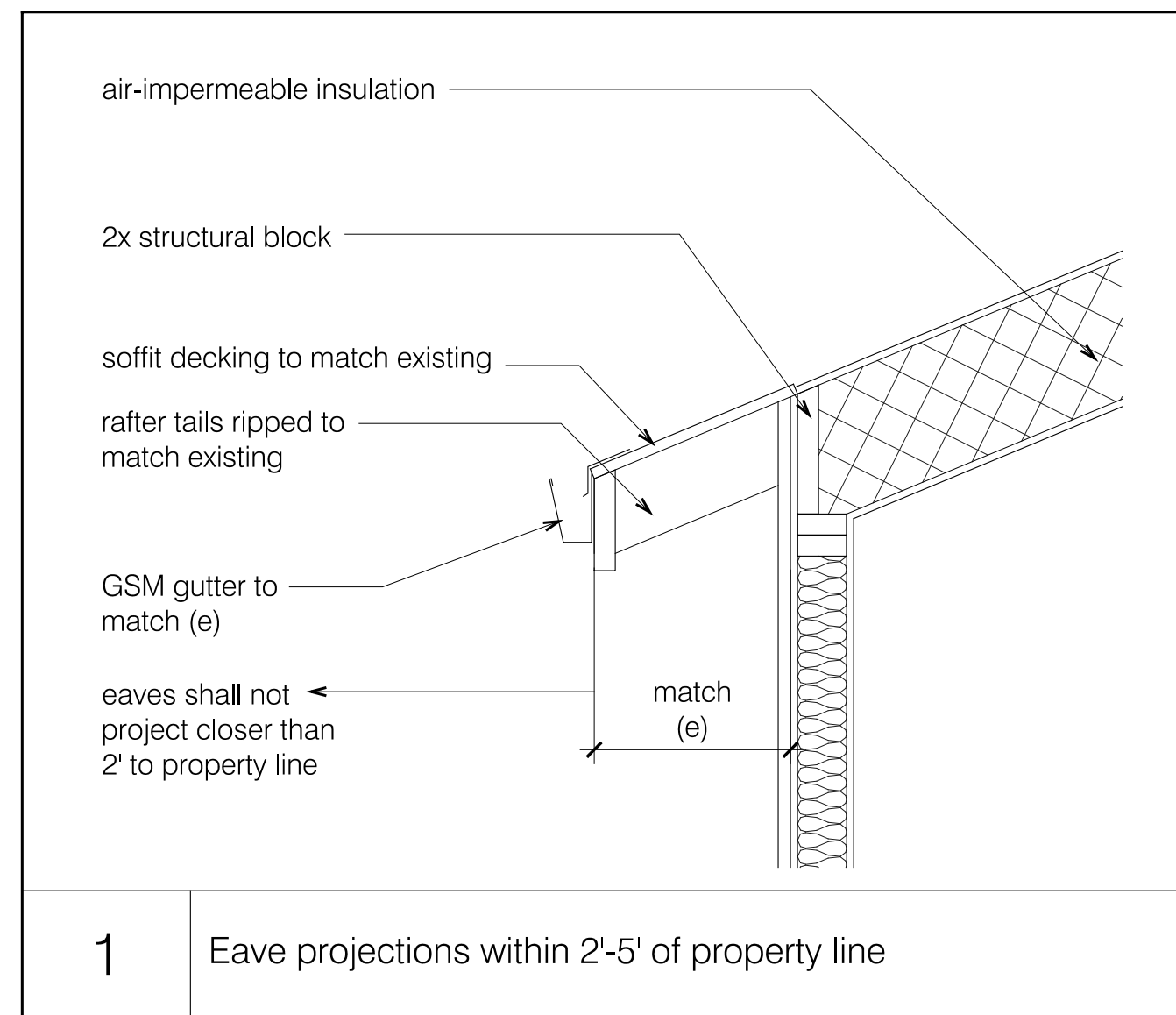
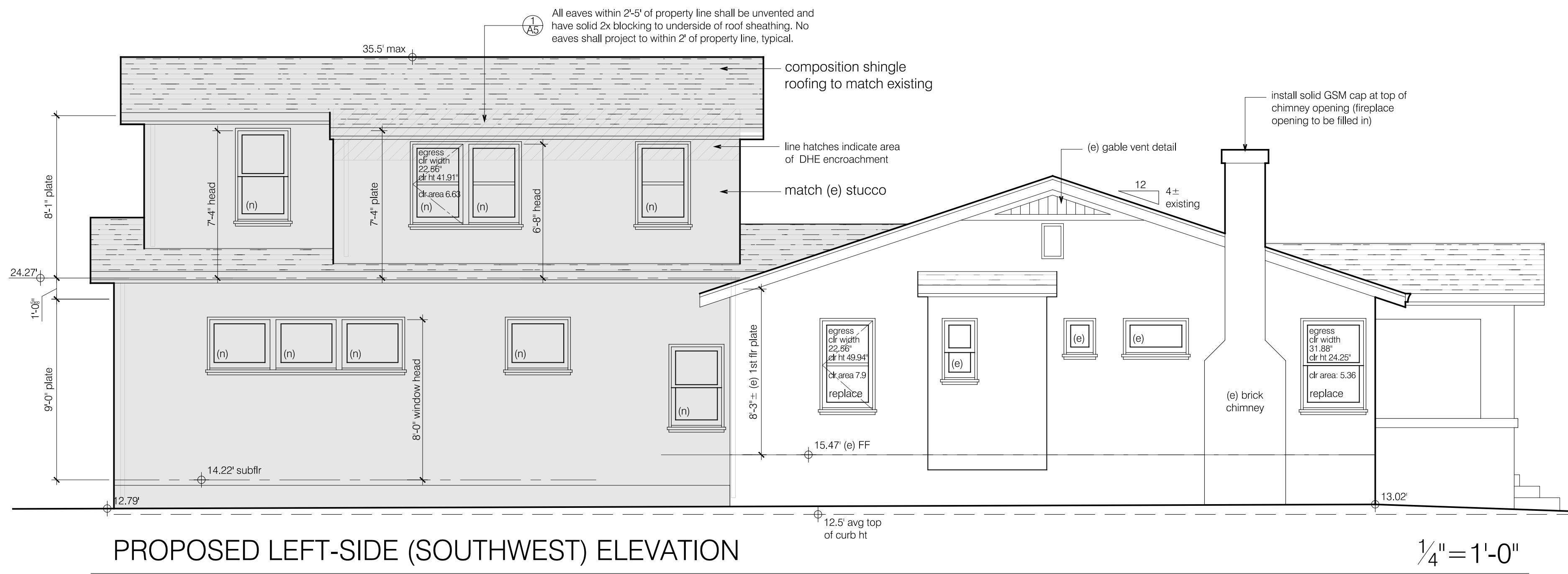
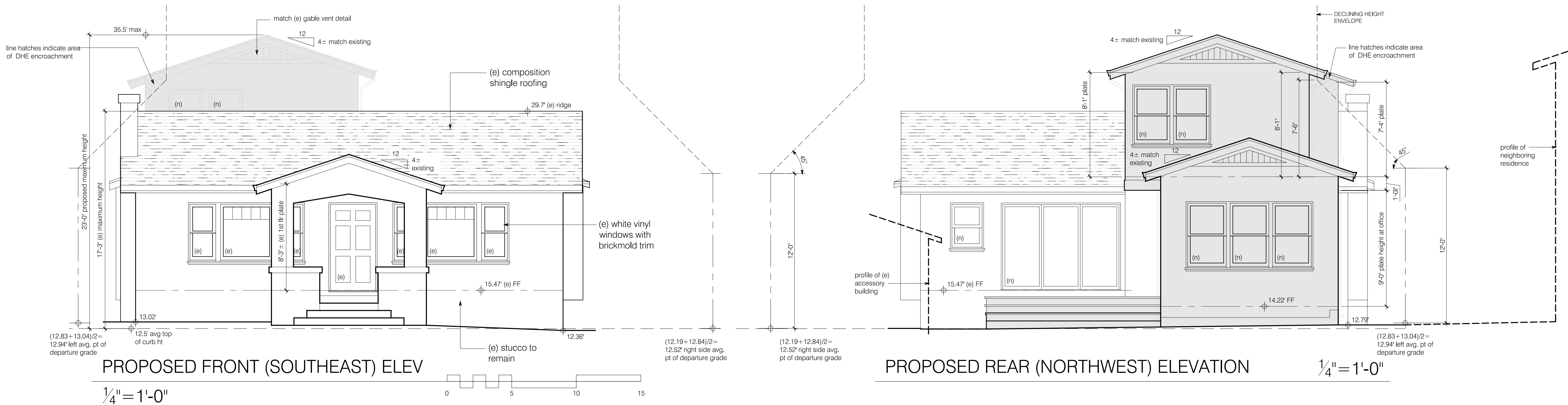
date: 9.17.19

scale: as noted

drawn by: EL/AL

job: CHAN E ADDITION

sheet



ELAINE LEE
design

3223 encinal avenue
alameda, ca 94501
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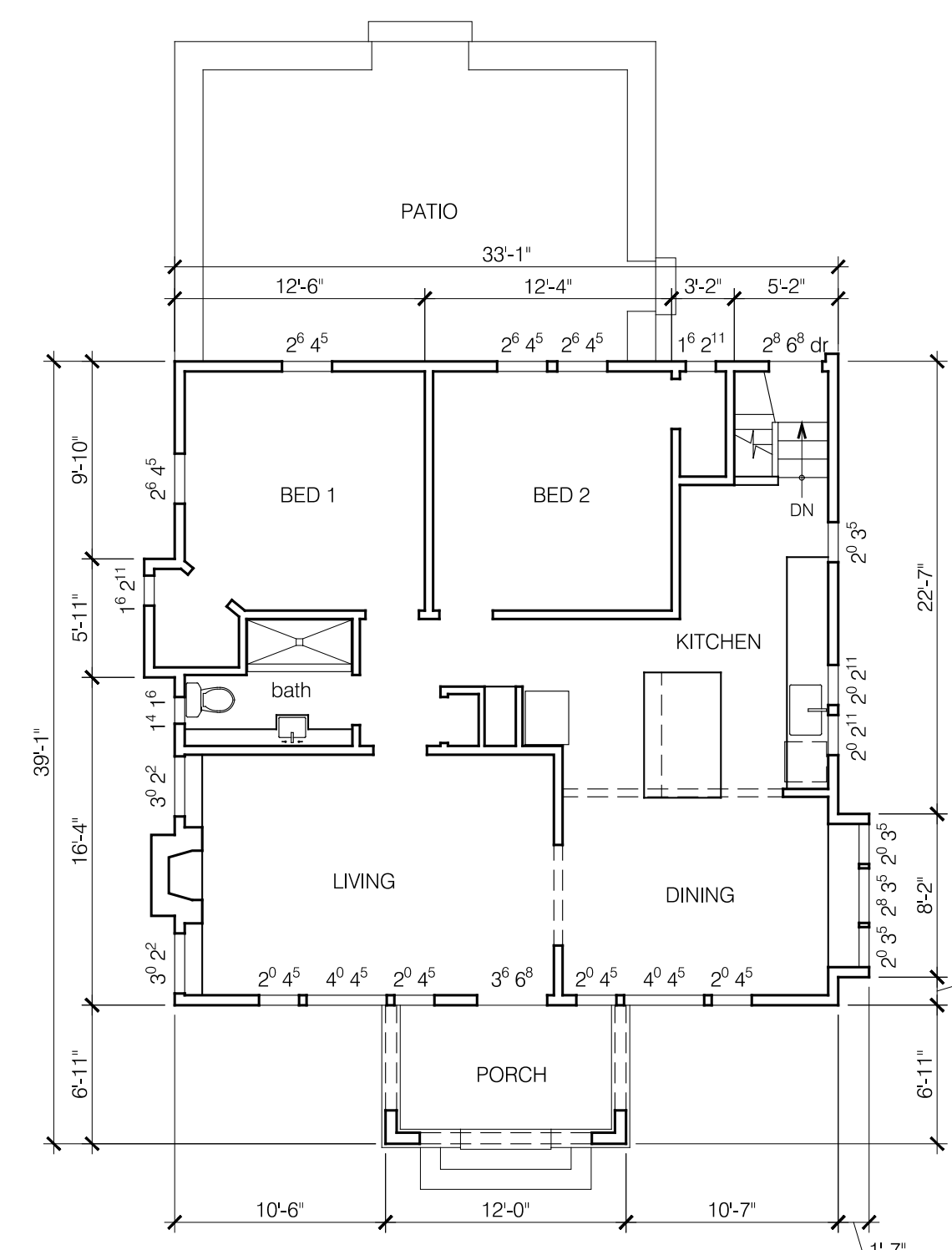
drawn by: EL/AL

job: CHAN E ADDITION

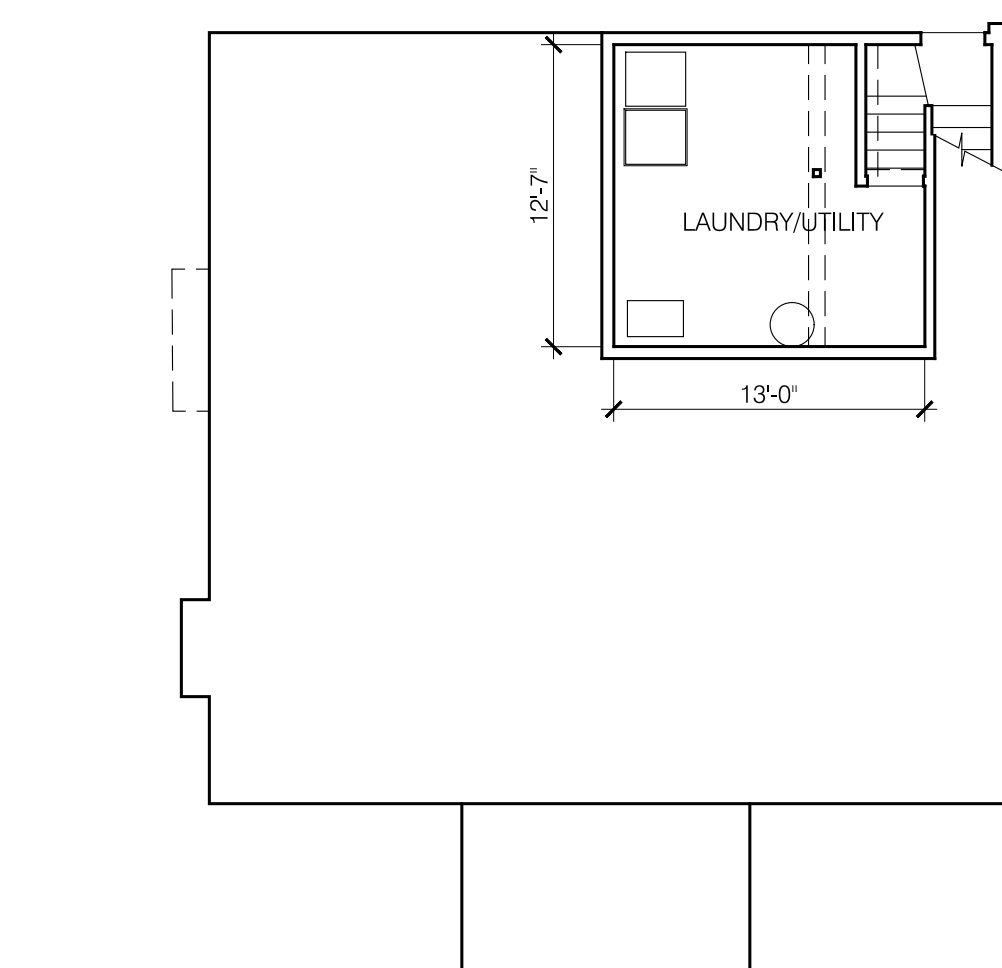
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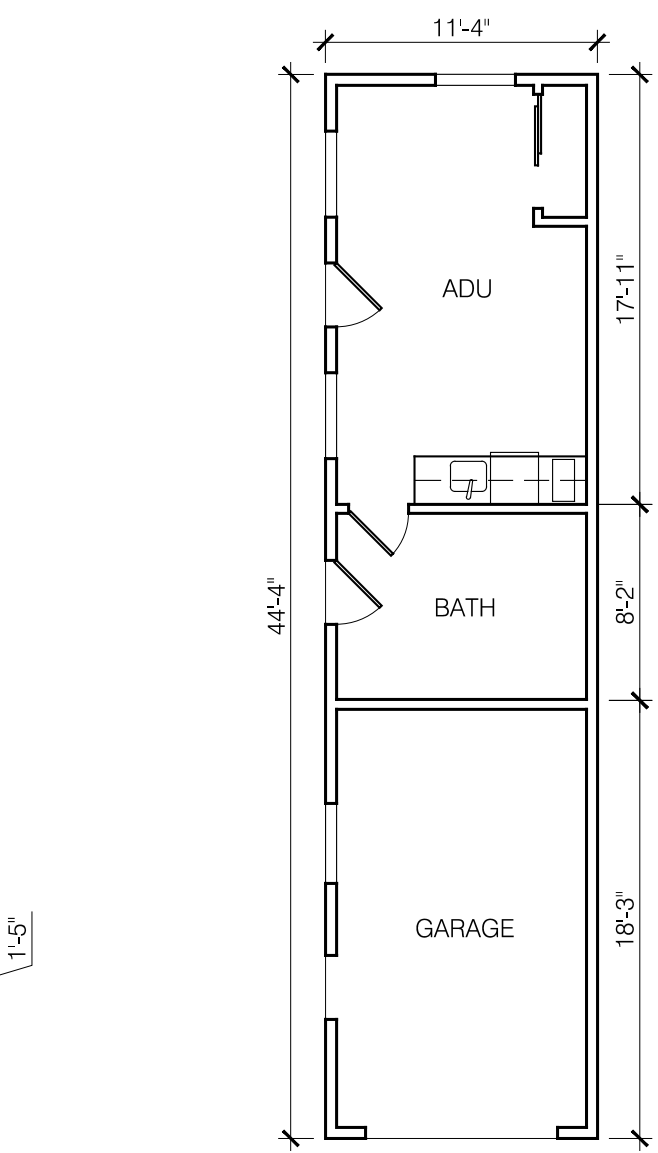
of 5 sheets



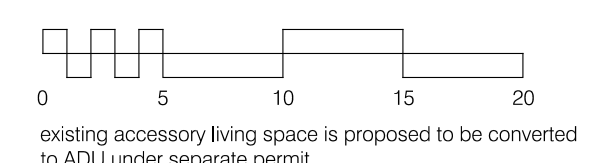
EXISTING 1ST FLOOR PLAN
1/8" = 1'-0"



EXISTING CELLAR PLAN
1/8" = 1'-0"



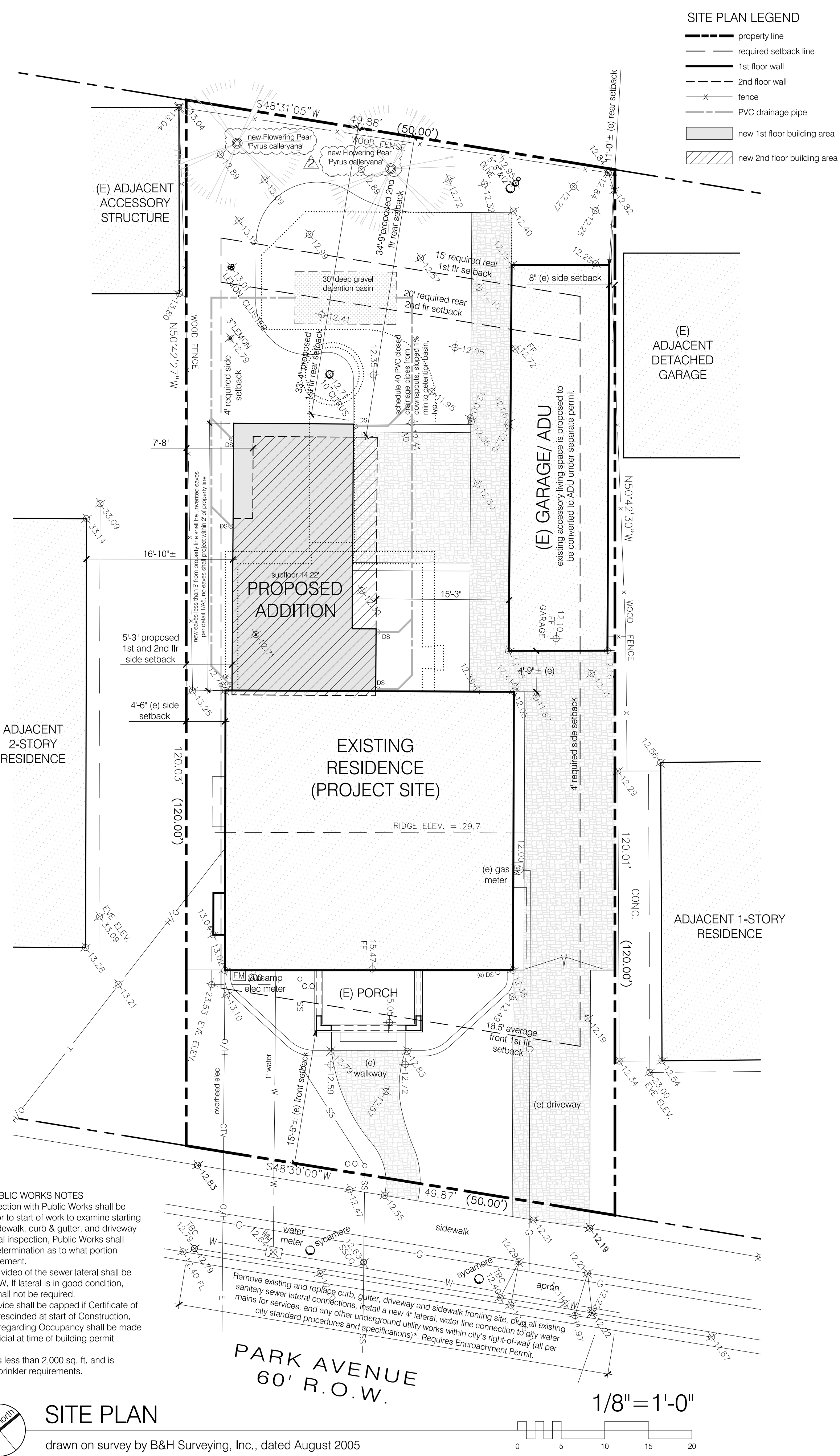
EXISTING GARAGE/
ADU PLAN
1/8" = 1'-0"



CONSTRUCTION AND BUILDING NOTES

- Construction Hours**
Weekdays 8AM-7PM
Saturdays 9AM-6PM
Sundays and Holidays No Work Allowed
- City Public right-of-way Construction Hours (including hauling)**
Weekdays 8AM-5PM
Saturdays, Sundays and Holidays No Work Allowed
- Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission.
- DEMOLITION PERMIT**
A completed Supplemental Demolition Permit Application shall be submitted prior to the issuance of a building permit application. NOTE: The Demolition Permit will not be issued and no work can begin (including the removal of any building components) until a Building Permit is issued for the project. The owner is responsible for assuring that no work is authorized or performed. Demolition of a structure requires a permit from BAAQMD and required sign-offs from the Water, Sewer, Planning, and Recycling departments. The pink demolition permit application will need to be completed prior to Building Department approval and the start of work. Contact BAAQMD for questions. (415)749-4979, email at www.baaqmd.gov.
- CITY OF BURLINGAME BUSINESS LICENSE**
Anyone doing business in City of Burlingame must have a current City of Burlingame business license.
- Alterations to the house exceed 50% of the current replacement value of the existing house, thus Project is considered a New Building. Structure shall comply with requirements for new buildings.
- The Certificate of Occupancy will be rescinded once construction begins. A new Certificate of Occupancy will be issued after the project has been finalized. No occupancy of the building is to occur until a new Certificate of Occupancy has been issued.
- If required by Public Works, a Grading Permit shall be obtained for this project.
- "Type I" Storm Water Construction Pollution Prevention Permit is required prior to the issuance of a Building Permit. An initial field inspection by the public works inspector is required prior to the commencement of any construction work on private property or in the public right-of-way.
- If a new A/C unit or mechanical equipment is to be installed on the exterior of the building, the new equipment cannot exceed a Maximum Outdoor Noise Level (dBA) of 60 dBA Daytime (7:00 AM-10:00 PM) or 50 dBA Nighttime (10:00 PM-7:00 AM) as measured from the property line.
- The Figure in 18.10.100 Appendix C of the 2016 California Residential Code is amended by adding the following note:
Where the property line is less than ten (10) feet from the exit terminal of any newly installed or replacement high efficiency mechanical equipment the pipe size of the final ten (10) feet of any terminal must be increased to three inches (3") or, as an alternative, manufacturer-approved baffles must be installed.

CHAN ADDITION - 912 PARK AVENUE, BURLINGAME



SITE PLAN
drawn on survey by B&H Surveying, Inc., dated August 2005

- SITE PLAN LEGEND**
- property line
 - required setback line
 - 1st floor wall
 - 2nd floor wall
 - fence
 - PVC drainage pipe
 - new 1st floor building area
 - new 2nd floor building area

PROJECT DATA

scope of work: Add 2-story addition at rear of house with office and bath at 1st floor, master suite at 2nd floor. Remodel 1st floor to relocate bedroom and great room. Enlarge cellar in order to relocate cellar access. Special Permit required for exceeding declining height envelope. Existing kitchen and existing bathroom shall not be remodeled.

project address: 912 Park Avenue
APN: 029-032-120
project owner: Erik Chan
zoning: R-1
lot size: 5,909 sq. ft.
allowable floor area: 0.32x5,909+1,100+400=3,391 sq. ft. (0.57 FAR)
PROPOSED FLOOR AREA
MAIN HOUSE
1st floor 1,530
2nd floor 468
subtotal 1,998
DETACHED GARAGE 202.5
TOTAL 2,200.5=0.37 FAR
ADU 300
max lot coverage: 0.4x5,909= 2,364 sq. ft.
proposed lot coverage: 2,205 sq. ft.
remodeled floor area: 365 sq. ft.

BUILDING DATA

	existing	proposed
main house habitable area	1,090±	1998
detached garage non-habitable area	202.5±	202.5
bedrooms main house	2	4
bathrooms main house	1	3

GREEN BUILDING

Two complete copies of the Green Building Mandatory Measures Checklist will be submitted with plans to be submitted for Building plan review

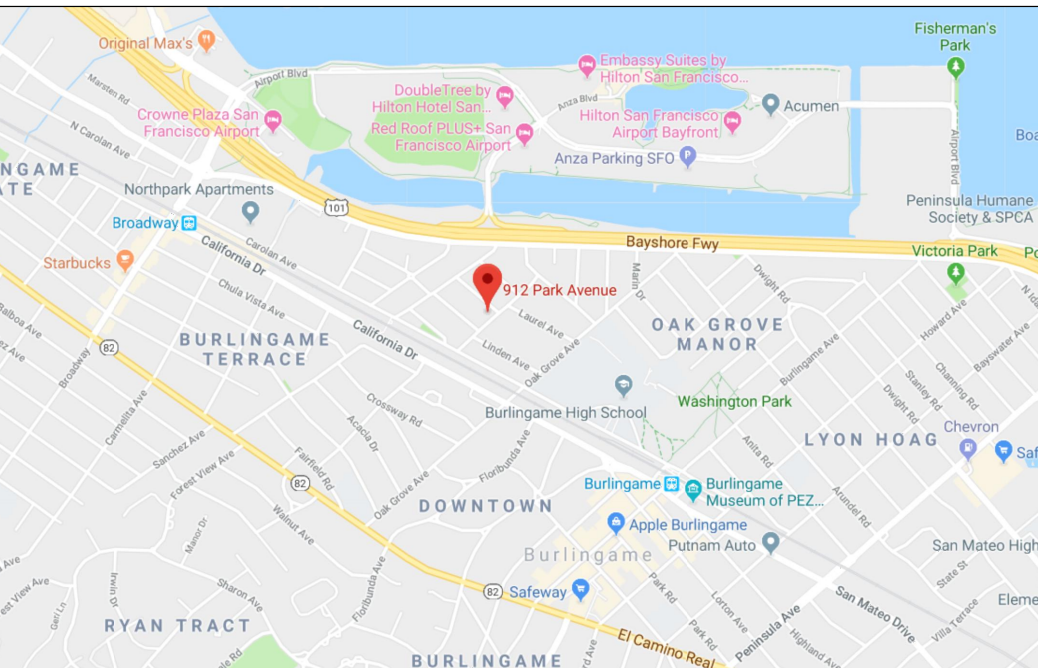
APPLICABLE CODES

2019	California Building Code
2019	California Residential Code
2019	California Mechanical Code
2019	California Plumbing Code
2019	California Green Building Standards Code
2019	California Electrical Code
2019	California Fire Code
2019	California Energy Code
	Burlingame Municipal Code
	Burlingame Amendments to the California Codes as adopted in Ordinance 1889

FLOOR AREA TABLE

	existing	addition	TOTAL
MAIN HOUSE			
1st floor	1,090	440	1,530
2nd floor	0	468	468
cellar			
<6' clg ht, <600 sq. ft., does not count towards FAR			
FAR	194	118	312
TOTAL	1,090	908	1,998.0
ADU	300	0	300
garage	202.5	0	202.5
covered porch	83	0	83

VICINITY MAP



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design

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