

21 PARK ROAD

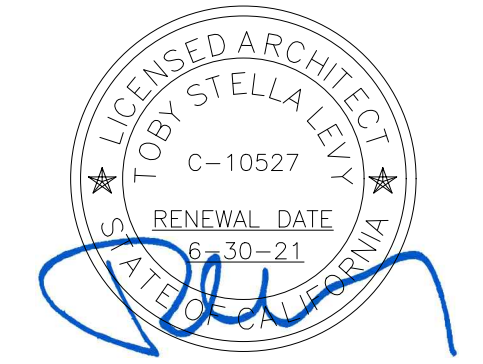
BURLINGAME, CA

GENERAL NOTES	BUILDING DATA	PROJECT RENDERING	PROJECT AREA MAP																																
<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>CODES: ALL CONSTRUCTION WORK SHALL CONFORM TO THE 2010 CALIFORNIA BUILDING, MECHANICAL, AND PLUMBING CODES AND 2005 ENERGY CODES AND 2004 CALIFORNIA ELECTRICAL CODE AND THE 2001 CALIFORNIA FIRE CODE BUT NOT LIMITED TO: HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND REFUSE FROM THE SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>DO NOT SCALE DIMENSIONS OFF DRAWINGS. USE WRITTEN OR CALCULATED DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS BEFORE ORDERING OR STARTING WORK.</p> <p>ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE WORK.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. U.O.N. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. U.O.N.</p> <p>INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. ALL OPERATING MANUALS AND GUARANTEES SHALL BE GIVEN TO THE OWNER.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY THE CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.</p> <p>ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE EXISTING BUILDING STANDARDS.</p> <p>CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL HAZARDOUS MATERIALS. CONTRACTOR TO NOTIFY OWNER IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE SUSPECTED, SO THAT OWNER MAY HAVE THEM TESTED AND REMOVED. ALL HANDLING AND/OR REMOVAL OF HAZARDOUS WASTE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.</p> <p>CONTRACTOR TO COORDINATE CONNECTION FROM WATER MAIN TO FIRE SPRINKLER RISER INSIDE THE BUILDING.</p> <p>CONTRACTOR TO SUBMIT NECESSARY DRAWINGS FOR ANY CITY APPROVAL.</p>	<div><div><div>ADDRESS:21 PARK ROAD, BURLINGAME, CA 94010</div><div>A.P.N:029 233 130</div><div>LOT SIZE:8,859 SQ. FT.</div><div>ZONING DISTRICT:BAYSWATER MIXED USE DISTRICT (BMU)</div><div>CODES:2016 CALIFORNIA BUILDING CODE (CBC) 2016 BURLINGAME DOWNTOWN PLAN AND HOUSING ELEMENT</div><div>SCOPE OF WORK:NEW CONSTRUCTION OF SEVEN 3-STORY TOWNHOUSE UNITS</div><div>FIRE RATINGS:<div>TYPE V-A PRIMARY STRUCTURAL FRAME: BEARING EXTERIOR WALLS: BEARING INTERIOR WALLS: NON-BEARING EXTERIOR WALLS: NON-BEARING INTERIOR WALLS: FLOOR CONSTRUCTION: ROOF CONSTRUCTION:</div><div>1 HOUR (CBC TABLE 601) 1 HOUR (CBC TABLE 601) 1 HOUR (CBC TABLE 601) NO RATING (CBC TABLE 601) NO RATING (CBC TABLE 601) 1 HOUR (CBC TABLE 601) 1 HOUR (CBC TABLE 601)</div></div></div><table><tr><td>LOCATION</td><td>1ST-3RD FLOORS</td></tr><tr><td>PROPOSED OCCUPANCY</td><td>RESIDENTIAL GROUP R-2</td></tr><tr><td>CONSTRUCTION</td><td>TYPE V-A</td></tr><tr><td>SRINKLERED</td><td>YES</td></tr><tr><td>HEIGHT &amp; STORIES</td><td></td></tr><tr><td>ALLOWABLE HEIGHT (CBC TABLE 504.3)</td><td>50'-0"</td></tr><tr><td>PROPOSED HEIGHT</td><td>35'-0" TO T.O. ROOF</td></tr><tr><td>ALLOWABLE STORIES (CBC TABLE 504.4)</td><td>3</td></tr><tr><td>PROPOSED STORIES</td><td>3</td></tr><tr><td>AREA</td><td></td></tr><tr><td>ALLOWABLE AREA PER STORY (CBC TABLE 506.2)</td><td>12,000 SF</td></tr><tr><td>TOTAL ALLOWABLE AREA</td><td>36,000 SF (3x12,000)</td></tr><tr><td>PROPOSED AREA</td><td>1ST FL: 3,196 SF 2ND FL: 4,314 SF 3RD FL: 4,466 SF</td></tr><tr><td>TOTAL PROPOSED AREA</td><td>11,976 SF</td></tr><tr><td>OCCUPANT LOAD</td><td></td></tr><tr><td></td><td>RESIDENTIAL - OCCUPANT LOAD FACTOR OF 200 GROSS: (CBC TABLE 1004.1.2)  1ST FL: 3,260/200 = 17 2ND FL: 4,314/200 = 22 3RD FL: 4,466/200 = 23  TOTAL OCCUPANTS: 62</td></tr></table></div>	LOCATION	1ST-3RD FLOORS	PROPOSED OCCUPANCY	RESIDENTIAL GROUP R-2	CONSTRUCTION	TYPE V-A	SRINKLERED	YES	HEIGHT & STORIES		ALLOWABLE HEIGHT (CBC TABLE 504.3)	50'-0"	PROPOSED HEIGHT	35'-0" TO T.O. 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		<div>CONTACT LIST</div> <div><div><div>CLIENT</div><div>21 PARK RD LLC 110 ROBLER AVE HILLSBOROUGH, CA 94010  CONTACT: GRACE LI PH: 510-857-4567</div></div><div><div>CIVIL ENGINEER</div><div>MACLEOD AND ASSOCIATES 965 CENTER STREET SAN CARLOS, CA 94070  CONTACT: DAN MACLEOD PH: 650-593-8580</div></div><div><div>LANDSCAPE ARCHITECT</div><div>LAND PLANNING CONCEPTS 923 ARGUELLO STREET, SUITE 200 REDWOOD CITY, CA 94063  CONTACT: BRUCE CHAN PH: 650-346-7645</div></div><div><div>ACOUSTICAL</div><div>WILSON IHRIG 6001 SHELLMOUND STREET, SUITE 400 EMERYVILLE, CA 94608  CONTACT: LEISA NALLS PH: (510) 658-6719</div></div><div><div>ARCHITECT</div><div>LEVY DESIGN PARTNERS 90 SOUTH PARK SAN FRANCISCO, CA 94107  CONTACT: TOBY LEVY PH: 415-777-0561</div></div><div><div>MECH. &amp; PLUMBING ENGINEER</div><div>LMR ENGINEERS 1165 A STREET HAYWARD, CA 94541  CONTACT: LEONARD ROSE PH: 510-733-2330</div></div><div><div>GREEN BUILDING &amp; ENERGY</div><div>KRANTZ CONSULTANTS, LLC 2625 ALCATRAZ AVENUE, #183 BERKELEY, CA 92618  CONTACT: NATHAN KRANTZ PH: 949-413-3426</div></div><div><div>STRUCTURAL ENGINEER</div><div>IDA STRUCTURAL ENGINEERS, INC. 1629 TELEGRAPH AVE OAKLAND, CA 94612  CONTACT: MIRO SEKEL PH: 510-834-1629 X101</div></div><div><div>ELECTRICAL ENGINEER</div><div>ACIES ENGINEERING 3371 OLCOTT STREET SANTA CLARA, CA 95054  CONTACT: TOMISLAV GAJIC PH: 408-522-5255 X104</div></div><div><div>JOINT TRENCH</div><div>TARRAR UTILITY CONSULTANTS 813 FIRST STREET BRENTWOOD, CA 94513  CONTACT: ALFONSO REYES PH: (925) 240-2595</div></div></div>	<div>PROJECT SUMMARY</div> <div>THE PROPOSED NEW CONSTRUCTION PROJECT AT 21 PARK ROAD IS A PRIVATELY FUNDED 3-STORY BUILDING WITH SEVEN (7) TOWNHOUSE CONDOMINIUM UNITS AND A DEDICATED TWO (2) CAR PRIVATE GARAGE FOR EACH UNIT.</div>																																
	<div>DEFERRED SUBMITTALS</div> <div><div><div></div><div>SUBMITTAL OF FOLLOWING WORK IS DEFERRED TO A LATER DATE:</div><div>THESE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.), WITH NO EXCEPTIONS.</div><div><div>1. FIRE SPRINKLER SYSTEM PER NFPA 13.</div><div>2. CLASS 1 NFPA 14 STANDPIPE SYSTEM AND FIRE ALARM SYSTEM, INCLUDING SMOKE AND CARBON MONOXIDE DETECTION, FOR APPROVAL THROUGH THE CCFD PRIOR TO INSTALLATION.</div><div>3. EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH SECTION 510, TITLE 24 CFC</div><div>4. BUILDING SIGNAGE PACKAGE TO COMPLY WITH 2016 CBC - LOCATION OF PROPERTY - APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</div></div></div></div>	<div>APPLICABLE CODES AND REGULATIONS</div> <div><div>BURLINGAME CODES</div><div>CITY OF BURLINGAME ORDINANCE 1889 BURLINGAME MUNICIPAL CODE</div><div>CALIFORNIA CODES</div><div>2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA BUILDING CODE - CHAPTERS 11A &amp; 11B (ACCESSIBILITY) 2016 CALIFORNIA RESIDENTIAL CODE (WHERE APPLICABLE) 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ENERGY CODE (EFFICIENCY STANDARDS) 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)</div><div>APPLICABLE STANDARDS</div><div>ASME A17.1-2013/CSA B44-13: SAFETY CODE FOR ELEVATORS AND GUIDE FOR ELEVATOR SEISMIC DESIGN, 2013 EDITION NFPA 10: STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2013 EDITION NFPA 13: STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2013 EDITION NFPA 14: STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE, 2013 EDITION NFPA 17: STANDARD FOR DRY CHEMICAL EXTINGUISHING SYSTEMS, 2009 EDITION NFPA 17A: STANDARD FOR WET CHEMICAL EXTINGUISHING SYSTEMS, 2009 EDITION NFPA 20: STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS, 2013 EDITION NFPA 24: STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES, 2013 EDITION NFPA 72: NATIONAL FIRE ALARM AND SIGNALING CODE, 2013 EDITION NFPA 2001: STANDARD ON CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2012 EDITION INCLUDING ANY AMENDMENTS AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS</div></div>	<div>MISCELLANEOUS INFORMATION</div> <div><div>CONSTRUCTION HOURS</div><div>WEEKDAYS: 8:00 A.M. - 7:00 P.M. SATURDAYS: 9:00 A.M. - 6:00 P.M. SUNDAYS AND HOLIDAYS: NO WORK IS ALLOWED (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)</div><div>CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.</div><div>BUILDING PERMITS FOR WORK TO BE PERFORMED</div><div>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</div><div>GRADING PERMIT</div><div>IF NEEDED, GRADING PERMIT WILL BE TO BE OBTAINED FROM DEPARTMENT OF PUBLIC WORKS.</div><div>PUBLIC MONEY &amp; TAX REBATES</div><div>NO PUBLIC MONEY OR TAX REBATES WILL BE USED FOR THIS PROJECT.</div></div>																																

ARCHITECT  
LEVY DESIGN PARTNERS  
90 South Park  
San Francisco  
CA 94107

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21 PARK ROAD  
BURLINGAME, CA



21 PARK ROAD  
APN: 029-223-130  
BURLINGAME, CA  
PROJECT NO. 2016-03

DATE	SET ISSUE
2019-12-18	BUILDING PERMIT
2020-04-30	PLAN CHECK RESPONSE 1

CONTACT: TOBY LEVY

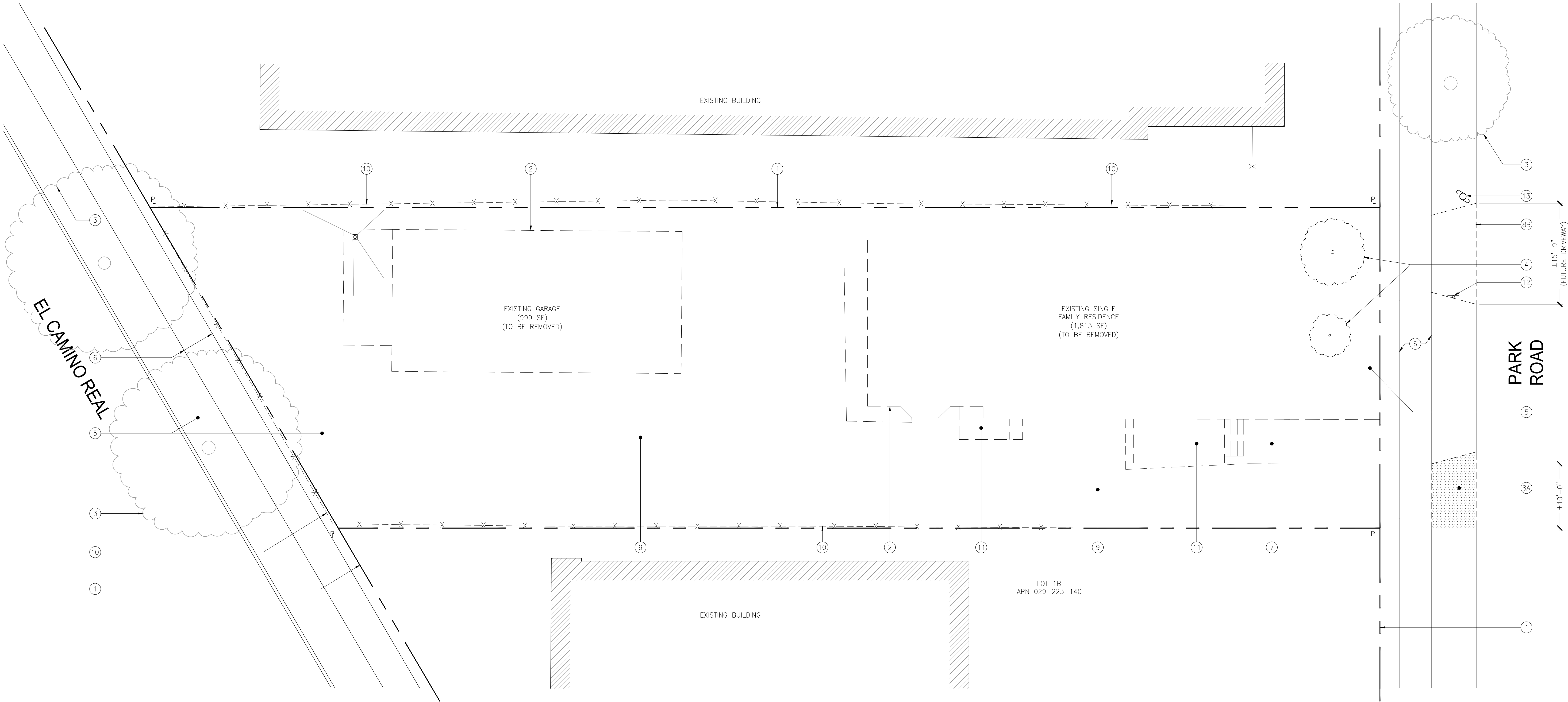
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SCALE: AS NOTED



COVER  
SHEET

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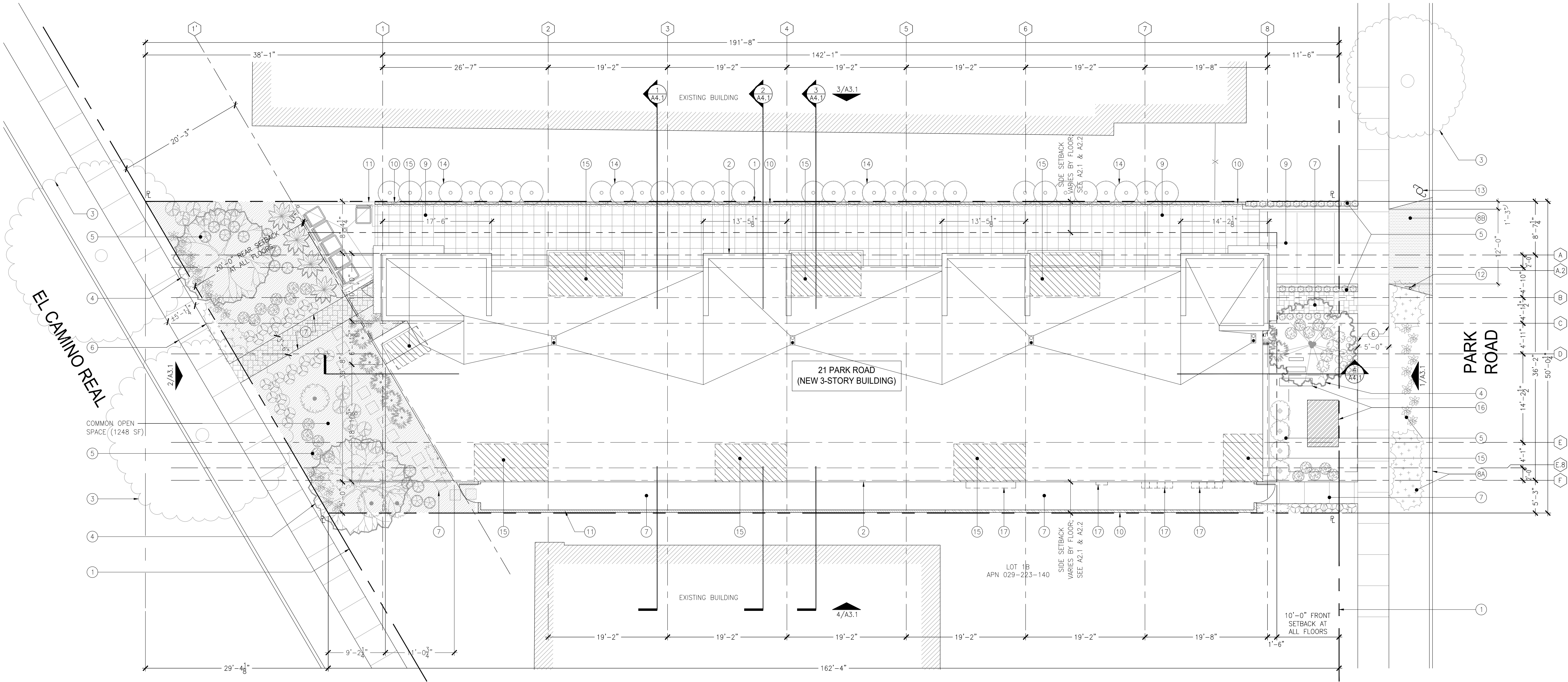




1 SITE PLAN: EXISTING & DEMOLITION  
1/8"=1'-0"

GENERAL NOTES			SHEET NOTES		LEGEND	
1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.	11. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.1. SEE A8 SERIES FOR MORE INFORMATION.	20. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE SHEET 7/A8.4 FOR ADDITIONAL DETAILS.	① PROPERTY LINE	⑫ EXISTING MUNICIPAL STREET SIGN TO REMAIN, PROTECT		
2. SEE G0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN	12. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.		② LINE OF EXISTING BUILDING TO BE REMOVED	⑬ EXISTING JOINT POLE TO REMAIN, PROTECT		
3. SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS	13. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11.7 FOR MORE INFORMATION	21. 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE 19/A11.4 FOR RECESS CABINET INSTALLATION DETAIL.	③ EXISTING STREET TREE TO REMAIN, PROTECT; S.L.D.			
4. SEE A6 SERIES FOR BUILDING REFLECTED CEILING PLANS	14. ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.		④ REMOVE EXISTING TREE; S.L.D.			
5. SEE A8 SERIES FOR WALL & FLOOR ASSEMBLIES	15. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1		⑤ REMOVE EXISTING LANDSCAPING, PREPARE AREA FOR NEW WORK; S.L.D.			
6. SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES	16. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE		⑥ EXISTING SIDEWALK TO REMAIN, PROTECT AND REPAIR AS NEEDED			
7. SEE A10.1 FOR TYPICAL FOUNDATION DETAILS	17. PROVIDE FLOOR DRAINS; SLOPE 1/4"/FOOT.		⑦ REMOVE EXISTING SIDEWALK, PREPARE AREA FOR NEW WORK			
8. SEE A11.4 FOR GENERAL ACOUSTICAL DETAILS	18. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT		⑧A REMOVE EXISTING DRIVEWAY & CURB CUT AND PROVIDE NEW LANDSCAPING AND CURB PER CITY STANDARDS AND TO MATCH EXISTING ADJACENT AS NEEDED; S.C.D. & S.L.D.			
9. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN. & IIC 50 MIN.) PER 2016 CBC SECTION 1207.	19. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS		⑧B REMOVE PORTION OF EXISTING CURB & LANDSCAPING TO PREPARE AREA TO RECEIVE NEW DRIVEWAY PER CITY STANDARDS			
10. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.			⑨ REMOVE EXISTING ASPHALT DRIVE AISLE, PREPARE AREA FOR NEW WORK			
			⑩ REMOVE EXISTING PROPERTY LINE FENCE			
			⑪ REMOVE EXISTING PORCH AND STAIRS			



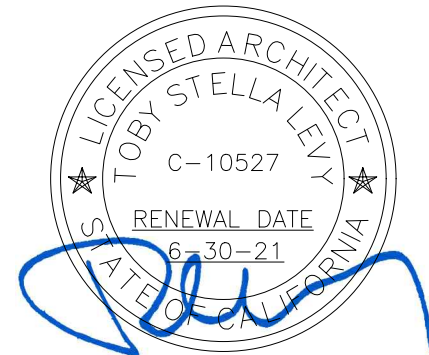


1 SITE PLAN: NEW  
1/8"=1'-0"

GENERAL NOTES		SHEET NOTES	LEGEND
<div>1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL &amp; STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.</div> <div>2. SEE G0 SERIES FOR ADDITIONAL CLEARANCES &amp; DETAIL NOT SHOWN</div> <div>3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS</div> <div>4. SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS</div> <div>5. SEE A6 SERIES FOR BUILDING REFLECTED CEILING PLANS</div> <div>6. SEE A8 SERIES FOR WALL &amp; FLOOR ASSEMBLIES</div> <div>7. SEE A9 SERIES FOR DOOR, WINDOW &amp; FINISH SCHEDULES</div> <div>8. SEE A10.1 FOR TYPICAL FOUNDATION DETAILS</div> <div>9. SEE A11.4 FOR GENERAL ACOUSTICAL DETAILS</div> <div>10. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN. &amp; IIC 50 MIN.) PER 2016 CBC SECTION 1207.</div> <div>11. CONTRACTOR TO PROVIDE SOLID &amp; CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.</div> <div>12. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1. SEE A8 SERIES FOR MORE INFORMATION.</div> <div>13. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.</div> <div>14. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11.7 FOR MORE INFORMATION</div> <div>15. ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.</div> <div>16. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1</div> <div>17. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE, DOOR BELLS, AND PEEP HOLES</div> <div>18. PROVIDE FLOOR DRAINS; SLOPE 1/4"/FOOT.</div> <div>19. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT</div> <div>20. ALL STRUCTURAL COLUMNS &amp; POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS &amp; POSTS ARE WITHIN WALLS, COLUMNS &amp; POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN &amp; POSTS ARE EXPOSED, COLUMNS &amp; POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE SHEET 7/A8.4 FOR ADDITIONAL DETAILS.</div> <div>21. 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS, SEE 19/A11.4 FOR RECESS CABINET INSTALLATION DETAIL.</div>		<div>① PROPERTY LINE</div> <div>② LINE OF NEW BUILDING, SEE A2 SERIES DRAWINGS</div> <div>③ EXISTING STREET TREE; S.L.D.</div> <div>④ PROVIDE NEW TREE; S.L.D.</div> <div>⑤ PROVIDE NEW LANDSCAPING; S.L.D.</div> <div>⑥ EXISTING SIDEWALK, PATCH &amp; REPAIR AS NEEDED; S.C.D. &amp; S.L.D.</div> <div>⑦ PROVIDE NEW SIDEWALK/WALKWAY; S.C.D. &amp; S.L.D.</div> <div>⑧A PROVIDE NEW CURB AND LANDSCAPING AT REMOVED DRIVEWAY; S.C.D. &amp; S.L.D.</div> <div>⑧B PROVIDE NEW DRIVEWAY &amp; CURB CUT; S.C.D. &amp; S.L.D.</div> <div>⑨ PROVIDE NEW DRIVE AISLE; S.L.D.</div> <div>⑩ PROVIDE NEW 6'-0" METAL GRID FENCE; S.L.D.</div> <div>⑪ PROVIDE NEW 6'-0" WOOD FENCE; S.L.D.</div> <div>⑫ EXISTING MUNICIPAL STREET SIGN</div> <div>⑬ EXISTING JOINT POLE</div> <div>⑭ PER AGREEMENT WITH 33 PARK ROAD NEIGHBORS, (N) PLANTS TO BE PROVIDED ON 33 PARK ROAD SIDE OF PROPERTY LINE BY PROJECT OWNER, IF PREFERRED, INDIVIDUAL UNITS MAY ELECT TO NOT RECEIVE (N) PLANTS; S.L.D. FOR MORE INFORMATION</div> <div>⑮ PRIVATE OPEN SPACE BELOW, TYP.; SEE SHEETS G0.3 &amp; A2.3 FOR MORE INFORMATION</div> <div>⑯ SITE UTILITIES INCLUDING TRANSFORMER, FDC, &amp; BACKFLOW PREVENTERS; S.C.D., S.P.D., S.E.D AND SEE DRAWING A2.1 FOR MORE INFORMATION</div> <div>⑰ BUILDING METERS &amp; UTILITIES; S.C.D., S.P.D., S.E.D AND SEE DRAWING A2.1 FOR MORE INFORMATION</div>	<div>DIMENSION NOTES</div> <div>1. WALL FRAMING: ALL DIMENSIONS MEASURED ON SITE PLANS ARE TO FACE OF FINISH, U.O.N.</div> <div>2. SEE A2 SERIES BUILDING FLOOR PLANS AND A5 SERIES ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.</div> <div>PROJECT NORTH</div> <div>TRUE NORTH</div>

NOTICE:  
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21 PARK ROAD  
BURLINGAME, CA



21 PARK ROAD  
APN: 029-223-130  
BURLINGAME, CA  
PROJECT NO. 2016-03

DATE	SET ISSUE
2019-12-18	BUILDING PERMIT

CONTACT: TOBY LEVY

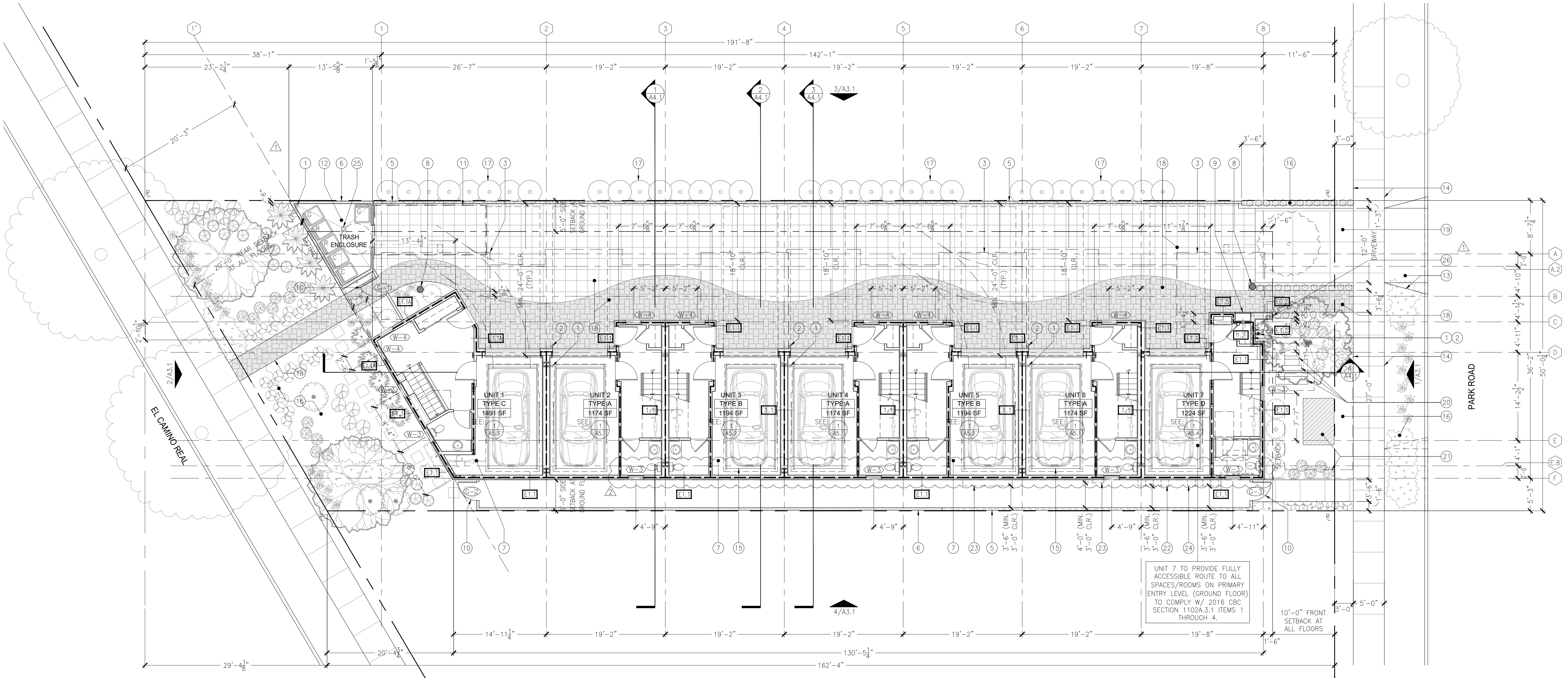
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

SITE PLAN:  
NEW

A1.1





1 FIRST FLOOR PLAN  
1/8"=1'-0"

#### GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A6 SERIES FOR BUILDING REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL & FLOOR ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10.1 FOR TYPICAL FOUNDATION DETAILS
- SEE A11.4 FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN. & IIC 50 MIN.) PER 2016 CBC SECTION 1207.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1. SEE A8 SERIES FOR MORE INFORMATION.
- EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
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- ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE, DOOR BELLS, AND PEEP HOLES
- PROVIDE FLOOR DRAINS; SLOPE 1/4" /FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE SHEET 7/A8.4 FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS, SEE 19/A11.4 FOR RECESS CABINET INSTALLATION DETAIL.

#### SHEET NOTES

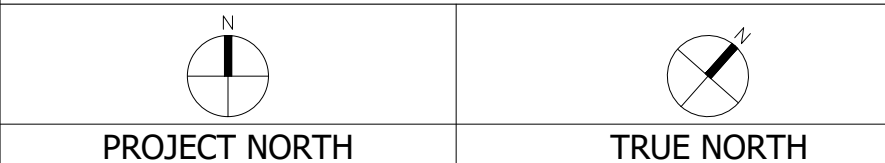
- INTERNAL ROOF DRAIN; S.P.D. & S.C.D.
- INTERNAL ROOF OVERFLOW DRAIN W/ EXPOSED OUTLET AT GROUND (PROVIDE SPLASH GUARD AS NEEDED); S.P.D. & S.C.D.
- EDGE OF FLOOR/OBJECT ABOVE; SEE ELEVATIONS
- EDGE OF FLOOR/OBJECT BELOW; SEE ELEVATIONS
- 6'-0" PLANTED METAL SCREEN FENCE; S.L.D.
- 6'-0" WOOD FENCE; S.L.D.
- STRUCTURAL SLAB ON GRADE; S.S.D.
- 1-HOUR RATED STRUCTURAL COLUMN/POST; S.S.D.
- U.S.P.S. APPROVED FRONT LOAD MAIL BOXES
- GATE; SEE GATE SCHEDULE
- 18'x8' TEMP. DELIVERY ZONE PER BMC 26.30.070(a)(3)
- TRASH ENCLOSURE: REFER TO RECOLOGY FOR COLLECTION REQUIREMENTS (RECYCLING, COMPOST, & GARBAGE)
- DRIVEWAY PER CITY STANDARDS; S.C.D.
- CURB CUT PER CITY STANDARDS; S.C.D.
- PRIVATE TWO-CAR GARAGE WITH STACKER AT EACH UNIT, PROVIDE EV READY EQUIPMENT/INFRASTRUCTURE, S.E.D.
- LANDSCAPING; S.L.D.
- PER AGREEMENT WITH 33 PARK ROAD NEIGHBORS, (N) PLANTS TO BE PROVIDED ON 33 PARK ROAD SIDE OF PROPERTY LINE BY PROJECT OWNER, IF PREFERRED, INDIVIDUAL UNITS MAY ELECT TO NOT RECEIVE (N) PLANTS; S.L.D. FOR MORE INFORMATION
- STAMPED CONCRETE; S.L.D. FOR COLORS/TEXTURES
- (E) SIDEWALK TO REMAIN, PATCH AS NEEDED AT ANY DAMAGED AREAS & BTWN. (E) & (N) WORK; S.C.D.
- FDC & BACKFLOW PREVENTERS; S.C.D. & S.P.D.
- TRANSFORMER WITHIN A BELOW-GRADE VAULT, PROVIDE A 3'-0" CLEARANCE; SEE ELECTRICAL, CIVIL, AND JOINT TRENCH DRAWINGS
- ELECTRICAL METERS; S.E.D.
- ELECTRICAL EQUIPMENT; S.E.D.
- GAS METERS; S.P.D.
- FLOOR DRAIN; S.P.D.
- 6" TALL BUILDING NUMBERS, BRUSHED STAINLESS STEEL FINISH

#### LEGEND

- 1-HR. FIRE RATED WALL  
DOOR TAG; SEE A9.1 FOR DOOR SCHEDULE  
WINDOW TAG; SEE A9.2 FOR WINDOW SCHEDULE
- WALL TAG; SEE A8.1, A8.2 FOR WALL TYPES  
EMERGENCY ESCAPE & RESCUE OPENING PER 2016 CBC SECTION 1030

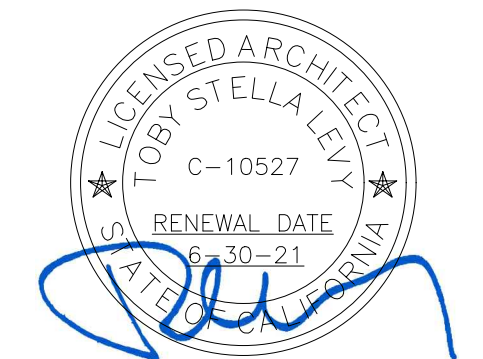
#### DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE A5 SERIES ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



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## 21 PARK ROAD BURLINGAME, CA



21 PARK ROAD  
APN: 029-223-130  
BURLINGAME, CA  
PROJECT NO. 2016-03

DATE	SET ISSUE
2019-12-18	BUILDING PERMIT
2020-04-30	PLAN CHECK RESPONSE 1
2020-07-13	PLANNING COMMISSION FYI

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

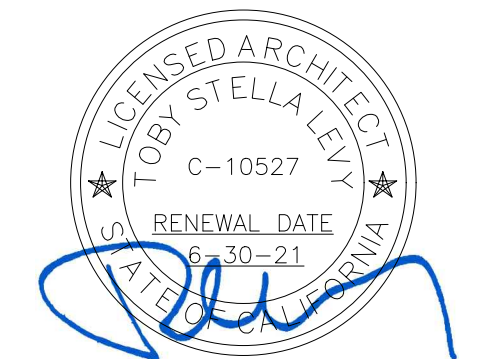
FLOOR PLAN:  
FIRST FLOOR

# A2.1



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21 PARK ROAD  
BURLINGAME, CA



21 PARK ROAD  
APN: 029-223-130  
BURLINGAME, CA  
PROJECT NO. 2016-03

DATE	SET ISSUE
2019-12-18	BUILDING PERMIT
2020-04-30	PLAN CHECK RESPONSE 1
2020-07-13	PLANNING COMMISSION FYI

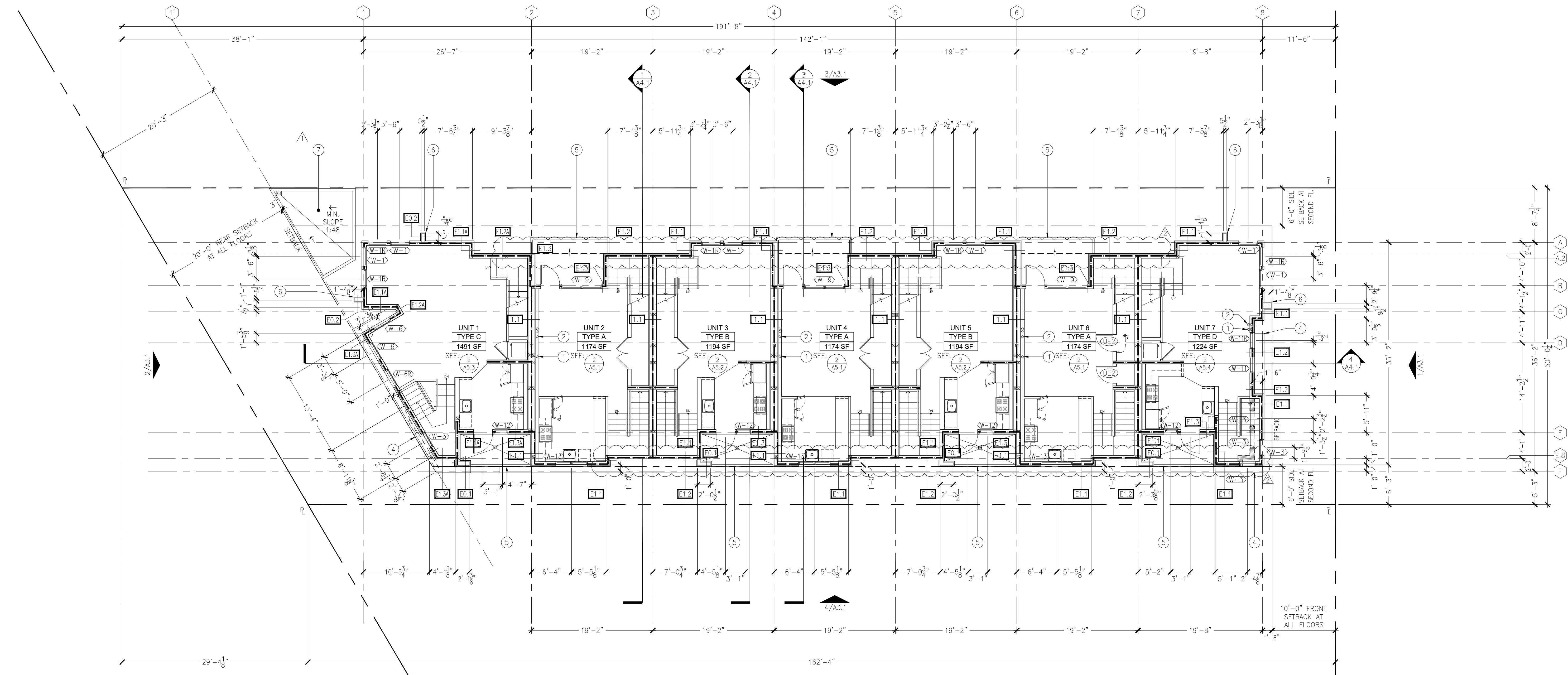
CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:  
SECOND FLOOR

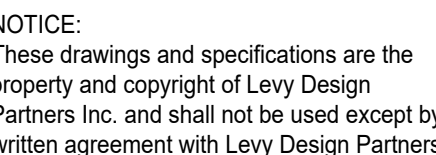
A2.2



1 SECOND FLOOR PLAN  
1/8"=1'-0"

GENERAL NOTES	SHEET NOTES	LEGEND
<ol style="list-style-type: none"><li>SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL &amp; STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.</li><li>SEE G0 SERIES FOR ADDITIONAL CLEARANCES &amp; DETAIL NOT SHOWN</li><li>SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS</li><li>SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS</li><li>SEE A6 SERIES FOR BUILDING REFLECTED CEILING PLANS</li><li>SEE A8 SERIES FOR WALL &amp; FLOOR ASSEMBLIES</li><li>SEE A9 SERIES FOR DOOR, WINDOW &amp; FINISH SCHEDULES</li><li>SEE A10.1 FOR TYPICAL FOUNDATION DETAILS</li><li>SEE A11.4 FOR GENERAL ACOUSTICAL DETAILS</li><li>PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN. &amp; IIC 50 MIN.) PER 2016 CBC SECTION 1207.</li><li>CONTRACTOR TO PROVIDE SOLID &amp; CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.</li><li>ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1. SEE A8 SERIES FOR MORE INFORMATION.</li><li>EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.</li><li>ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11.7 FOR MORE INFORMATION</li><li>ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.</li><li>ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1</li><li>ALL UNITS TO HAVE UNIT ENTRY SIGNAGE, DOOR BELLS, AND PEEP HOLES</li><li>PROVIDE FLOOR DRAINS; SLOPE 1/4"/FOOT.</li><li>PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT</li><li>ALL STRUCTURAL COLUMNS &amp; POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS &amp; POSTS ARE WITHIN WALLS, COLUMNS &amp; POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN &amp; POSTS ARE EXPOSED, COLUMNS &amp; POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE SHEET 7/A8.4 FOR ADDITIONAL DETAILS.</li><li>5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS, SEE 19/A11.4 FOR RECESS CABINET INSTALLATION DETAIL.</li></ol>	<ol style="list-style-type: none"><li>INTERNAL ROOF DRAIN; S.P.D. &amp; S.C.D.</li><li>INTERNAL ROOF OVERFLOW DRAIN W/ EXPOSED OUTLET AT GROUND (PROVIDE SPLASH GUARD AS NEEDED); S.P.D. &amp; S.C.D.</li><li>EDGE OF FLOOR/OBJECT ABOVE; SEE ELEVATIONS</li><li>EDGE OF FLOOR/OBJECT BELOW; SEE ELEVATIONS</li><li>UNIT DECK &amp; 2X REDWOOD GUARD 42" A.F.F.; SEE ENLARGED UNIT PLANS</li><li>VERTICAL ARCHITECTURAL PROJECTION; SEE ELEVATIONS</li><li>TRASH ENCLOSURE ROOF (BELOW), PROVIDE DRAIN; S.P.D.</li></ol>	<p>1-HR. FIRE RATED WALL DOOR TAG; SEE A9.1 FOR DOOR SCHEDULE WINDOW TAG; SEE A9.2 FOR WINDOW SCHEDULE</p> <p>WALL TAG; SEE A8.1, A8.2 FOR WALL TYPES EMERGENCY ESCAPE &amp; RESCUE OPENING PER 2016 CBC SECTION 1030</p> <p>*E</p> <p>DIMENSION NOTES</p> <p>1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N. 2. SEE A5 SERIES ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.</p> <p>PROJECT NORTH</p> <p>TRUE NORTH</p>





DATE	SET ISSUE
2019-12-18	BUILDING PERMIT

15) 777-0561 P  
15) 777-5117 F

FLOOR PLAN:  
THIRD FLOOR

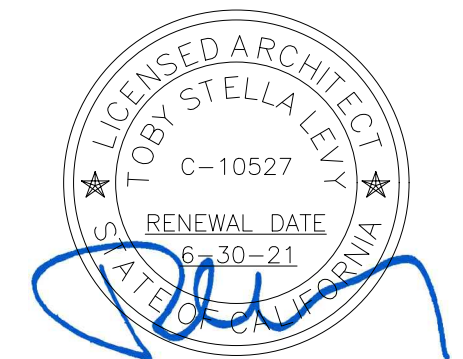
## A2.3



GENERAL NOTES		SHEET NOTES		LEGEND					
<div>1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL &amp; STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.</div> <div>2. SEE G0 SERIES FOR ADDITIONAL CLEARANCES &amp; DETAIL NOT SHOWN</div> <div>3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS</div> <div>4. SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS</div> <div>5. SEE A6 SERIES FOR BUILDING REFLECTED CEILING PLANS</div> <div>6. SEE A8 SERIES FOR WALL &amp; FLOOR ASSEMBLIES</div> <div>7. SEE A9 SERIES FOR DOOR, WINDOW &amp; FINISH SCHEDULES</div> <div>8. SEE A10.1 FOR TYPICAL FOUNDATION DETAILS</div> <div>9. SEE A11.4 FOR GENERAL ACOUSTICAL DETAILS</div> <div>10. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN. &amp; IIC 50 MIN.) PER 2016 CBC SECTION 1207.</div>		<div>11. CONTRACTOR TO PROVIDE SOLID &amp; CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.</div> <div>12. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1. SEE A8 SERIES FOR MORE INFORMATION.</div> <div>13. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.</div> <div>14. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11.7 FOR MORE INFORMATION</div> <div>15. ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.</div> <div>16. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1</div> <div>17. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE, DOOR BELLS, AND PEEP HOLES</div> <div>18. PROVIDE FLOOR DRAINS; SLOPE <math>\frac{1}{4}</math>"/FOOT.</div> <div>19. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT</div>		<div>20. ALL STRUCTURAL COLUMNS &amp; POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS &amp; POSTS ARE WITHIN WALLS, COLUMNS &amp; POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN &amp; POSTS ARE EXPOSED, COLUMNS &amp; POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE SHEET 7/A8.4 FOR ADDITIONAL DETAILS.</div> <div>21. 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS, SEE 19/A11.4 FOR RECESS CABINET INSTALLATION DETAIL.</div>		<div>① INTERNAL ROOF DRAIN; S.P.D. &amp; S.C.D.</div> <div>② INTERNAL ROOF OVERFLOW DRAIN W/ EXPOSED OUTLET AT GROUND (PROVIDE SPLASH GUARD AS NEEDED); S.P.D. &amp; S.C.D.</div> <div>③ EDGE OF FLOOR/OBJECT ABOVE; SEE ELEVATIONS</div> <div>④ EDGE OF FLOOR/OBJECT BELOW; SEE ELEVATIONS</div> <div>⑤ UNIT DECK &amp; 2X REDWOOD GUARD 42" A.F.F.; SEE ENLARGED UNIT PLANS</div> <div>⑥ VERTICAL ARCHITECTURAL PROJECTION; SEE ELEVATIONS</div> <div>⑦ TRASH ENCLOSURE ROOF (BELOW), PROVIDE DRAIN; S.P.D.</div>		<div><div><div>— — — — —</div><div>1-HR. FIRE RATED WALL</div></div><div><div>DOOR TAG; SEE A9.1 FOR DOOR SCHEDULE</div><div>WINDOW TAG; SEE A9.2 FOR WINDOW SCHEDULE</div></div><div><div><div>WALL TAG; SEE A8.1, A8.2 FOR WALL TYPES</div><div>EMERGENCY ESCAPE &amp; RESCUE OPENING PER 2016 CBC SECTION 1030</div></div></div></div>	
<div>DIMENSION NOTES</div> <div>1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.</div> <div>2. SEE A5 SERIES ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.</div>									
<div><div><div><div><div></div><div>N</div></div></div><div>PROJECT NORTH</div></div><div><div><div><div></div><div>N</div></div></div><div>TRUE NORTH</div></div></div>									

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BURLINGAME, CA



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BURLINGAME, CA  
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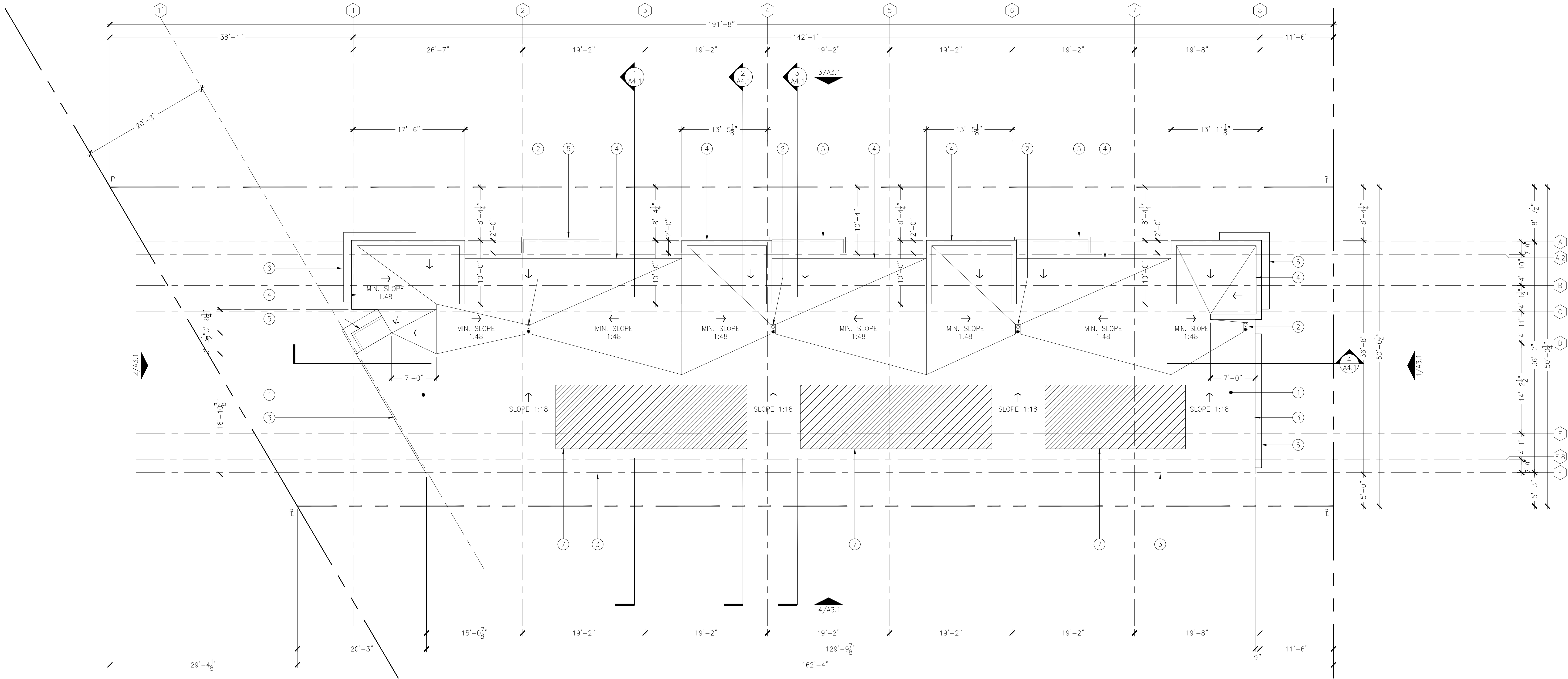
CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

ROOF PLAN

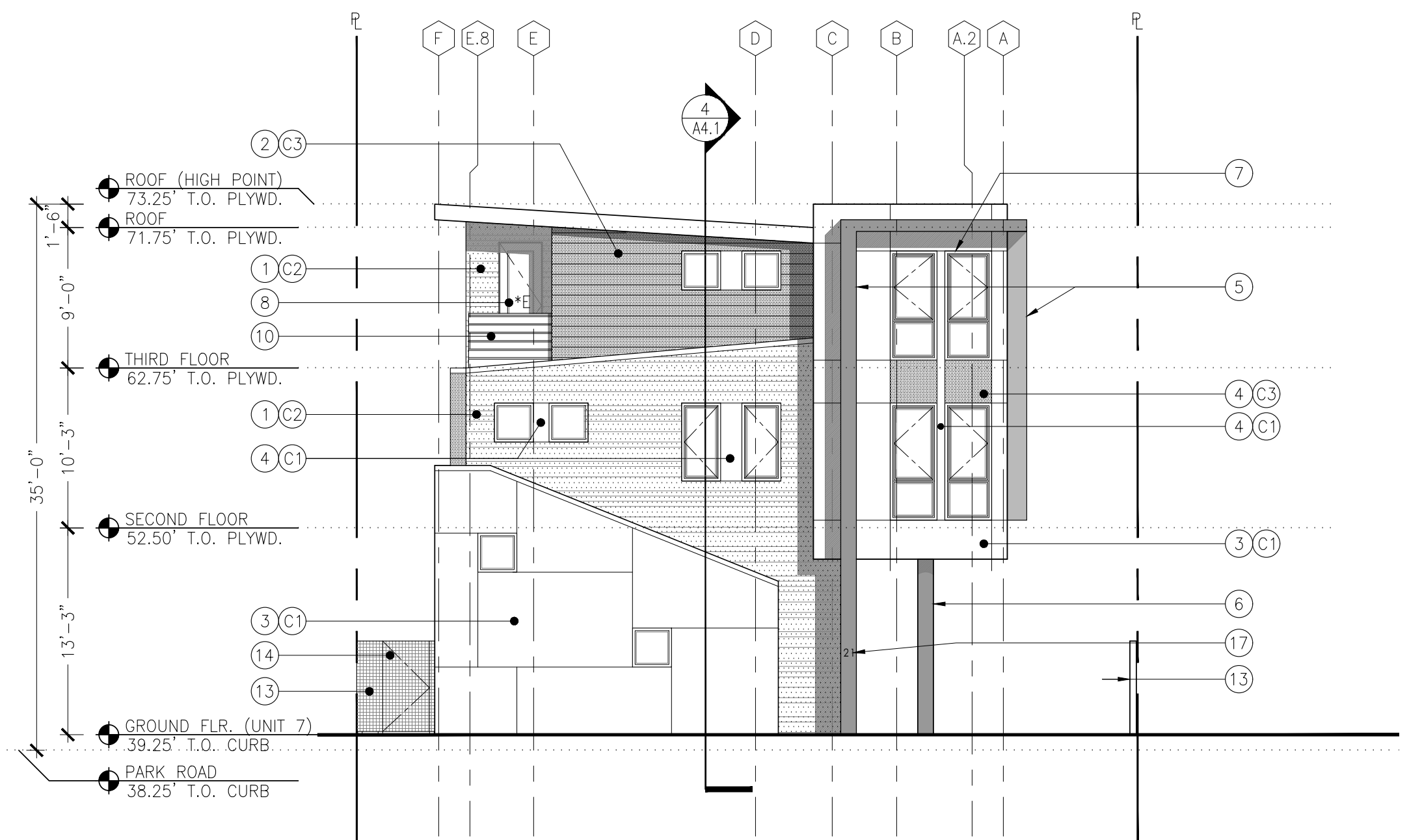
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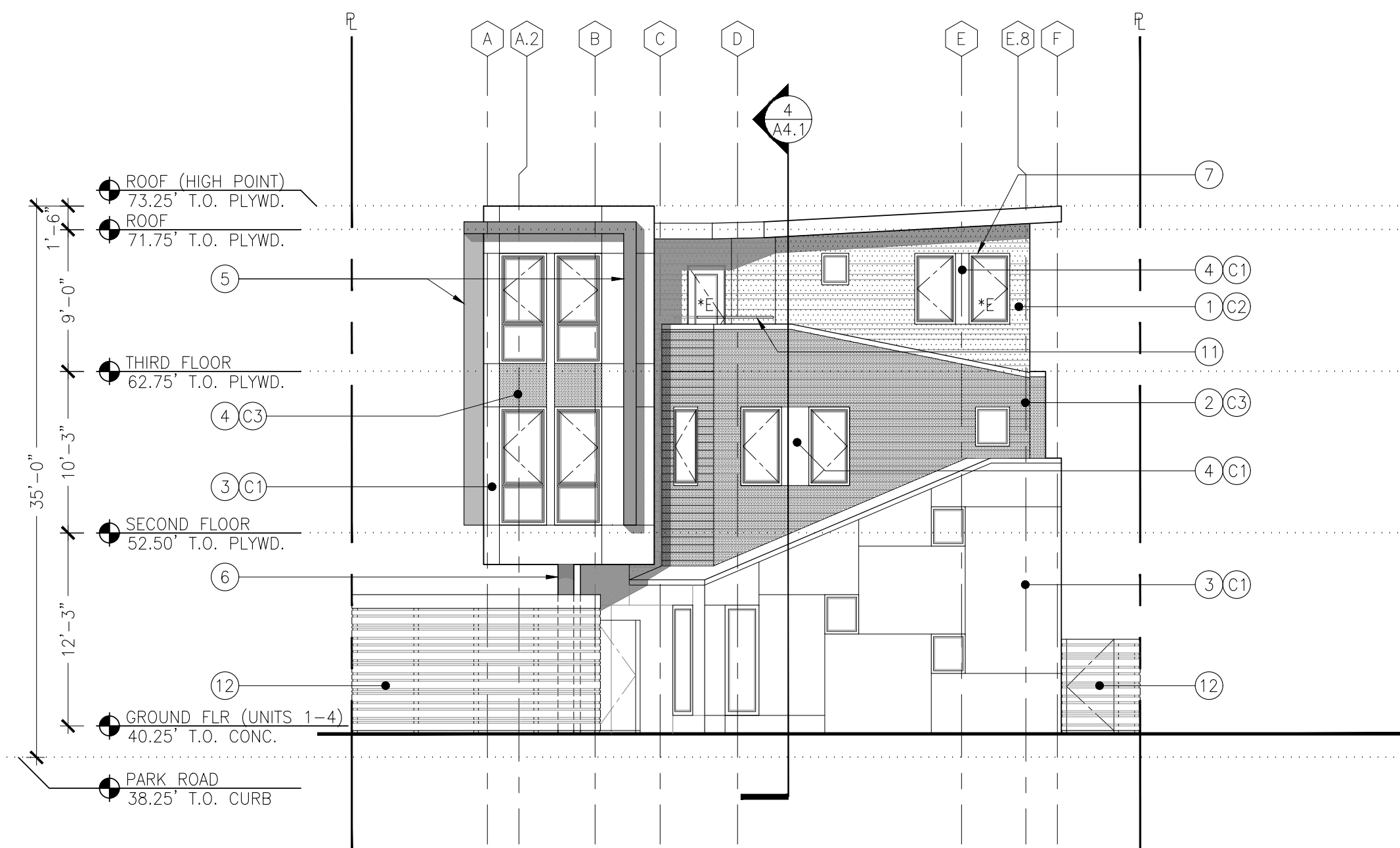
1 ROOF PLAN  
1/8"=1'-0"

GENERAL NOTES	SHEET NOTES	LEGEND
<div>1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL &amp; STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.</div> <div>2. SEE G0 SERIES FOR ADDITIONAL CLEARANCES &amp; DETAIL NOT SHOWN</div> <div>3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS</div> <div>4. SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS</div> <div>5. SEE A6 SERIES FOR BUILDING REFLECTED CEILING PLANS</div> <div>6. SEE A8 SERIES FOR WALL &amp; FLOOR ASSEMBLIES</div> <div>7. SEE A9 SERIES FOR DOOR, WINDOW &amp; FINISH SCHEDULES</div> <div>8. SEE A10.1 FOR TYPICAL FOUNDATION DETAILS</div> <div>9. SEE A11.4 FOR GENERAL ACOUSTICAL DETAILS</div> <div>10. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN. &amp; IIC 50 MIN.) PER 2016 CBC SECTION 1207.</div> <div>11. CONTRACTOR TO PROVIDE SOLID &amp; CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.</div> <div>12. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1. SEE A8 SERIES FOR MORE INFORMATION.</div> <div>13. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.</div> <div>14. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11.7 FOR MORE INFORMATION</div> <div>15. ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.</div> <div>16. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1</div> <div>17. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE, DOOR BELLS, AND PEEP HOLES</div> <div>18. PROVIDE FLOOR DRAINS; SLOPE 1/4"/FOOT.</div> <div>19. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT</div> <div>20. ALL STRUCTURAL COLUMNS &amp; POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS &amp; POSTS ARE WITHIN WALLS, COLUMNS &amp; POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN &amp; POSTS ARE EXPOSED, COLUMNS &amp; POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE SHEET 7/A8.4 FOR ADDITIONAL DETAILS.</div> <div>21. 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE 19/A11.4 FOR RECESS CABINET INSTALLATION DETAIL.</div>	<div>① SINGLE PLY ROOF, PROVIDE MIN. SLOPE TO DRAIN OF 1/4" PER FOOT</div> <div>② ROOF DRAIN W/ OVERFLOW DRAIN; PROVIDE MIN SLOPE TO DRAIN OF 1/4" PER FOOT, S.P.D. &amp; A10.3</div> <div>③ EDGE OF ROOF</div> <div>④ ROOF PARAPET WITH GSM FLASHING &amp; COPING, PAINT TO MATCH SURROUNDING FINISHES</div> <div>⑤ EDGE OF BALCONY BELOW</div> <div>⑥ EDGE OF ARCHITECTURAL PROJECTION/OBJECT BELOW; SEE ELEVATIONS</div> <div>⑦ DESIGNATED FUTURE SOLAR ZONE TO MEET REQUIREMENTS FOR SOLAR READY BUILDING, S.E.D.</div>	<div>LEGEND</div> <div>DIMENSION NOTES</div> <div>1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.</div> <div>2. SEE A5 SERIES ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.</div> <div><div></div><div></div></div>





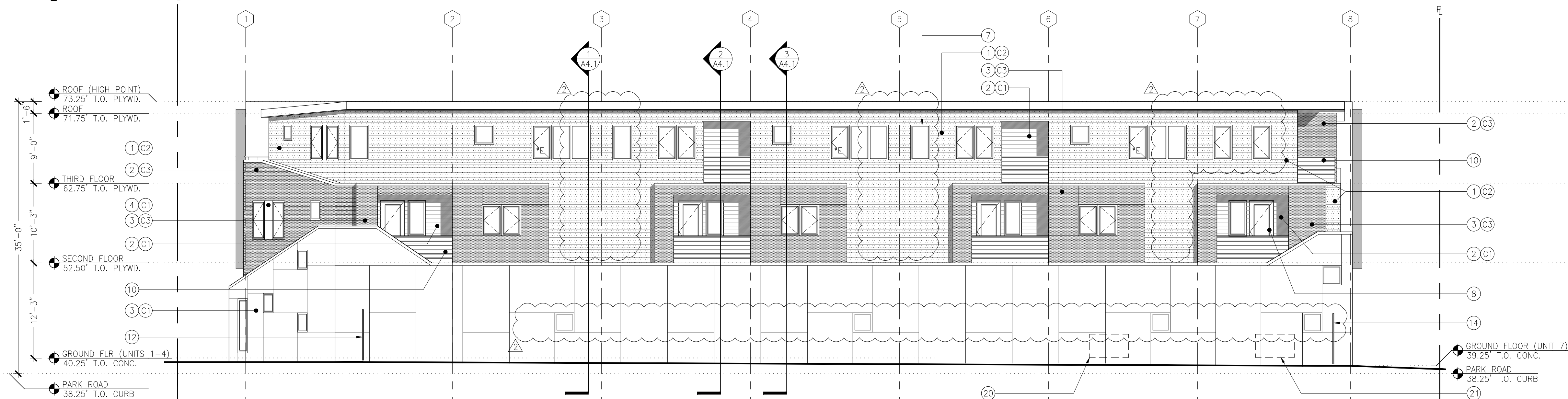
1 WEST ELEVATION (FRONT AT PARK STREET)  
1/8"=1'-0"



2 EAST ELEVATION (REAR AT EL CAMINO REAL)  
1/8"=1'-0"



3 SOUTH ELEVATION (SIDE)  
1/8"=1'-0"



4 NORTH ELEVATION (SIDE)  
1/8"=1'-0"

## GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE SHEETS A9.1 & A9.2 FOR DOOR SCHEDULE.
- SEE SHEET A9.3 FOR WINDOW AND LOUVER SCHEDULE.
- FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.
- ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.
- ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1. SEE A8.3 AND A8 SERIES FOR MORE INFORMATION.
- MECHANICAL EXHAUST DISCHARGE SHALL BE 3'-0" MIN. DISTANCE AWAY FROM ANY OPERABLE WINDOW OR DOOR.
- ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES, TYP. THROUGHOUT.
- STAIR AND BUILDING SIGNAGE PACKAGE SHALL BE COMPRISED OF APPROVED ADDRESS NUMBERS AND LETTERS IN COMPLIANCE WITH 2016 CBC SECTION 501.2; CHARACTERS TO BE MIN. 4" HIGH AND 1/2" WIDE. INSTALL OVER CONTRASTING BACKGROUND IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- \*E INDICATES LOCATION OF EMERGENCY ESCAPE & RESCUE OPENINGS (WINDOW/DOOR); PROVIDE MINIMUM OF ONE AT EACH SLEEPING ROOM BELOW 4th FLOOR PER 2016 CBC SECTION 1030.

X = CLR. OPENING HEIGHT (MIN. 24")  
Y = CLR. OPENING WIDTH (MIN. 20")  
MIN. TOTAL OPENING TO BE 5.7 S.F.  
Z = SILL HEIGHT (MAX. 44" A.F.F.)  
..... T.O. FINISH FLOOR

## SHEET NOTES

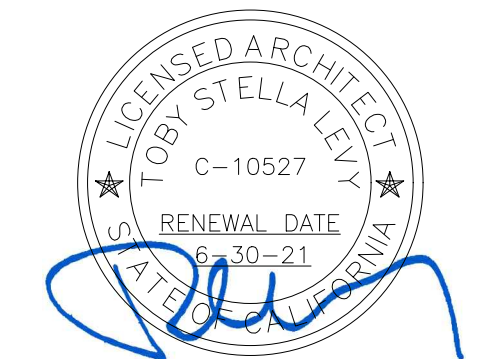
- HARDIE ARTISAN FIBER CEMENT LAP SIDING; VARIED LAP FOR PATTERN SEE (17) A10.2
- HARDIE ARTISAN FIBER CEMENT LAP SIDING; 6" LAP
- EXTERIOR CEMENT PLASTER
- HARDIE FIBER CEMENT PANEL; SMOOTH FINISH
- METAL PANEL
- STRUCTURAL COLUMN CLAD WITH METAL PANEL SURROUND
- COMPOSITE WOOD WINDOW WITH FIBER CEMENT TRIM
- DOOR WITH FIBER CEMENT TRIM; SEE DOOR SCHEDULE
- METAL SECTIONAL GARAGE DOOR; SEE DOOR SCHEDULE
- UNIT BALCONY WITH 2X REDWOOD GUARDS, 42" A.F.F.
- UNIT BALCONY WITH METAL RAILING GUARD
- 6" TALL 2X REDWOOD FENCE & GATE; S.L.D.
- 6' TALL METAL GRID FENCE WITH PLANTS; S.L.D.
- 6' TALL METAL GATE; S.L.D.
- LIGHTFIXTURE, SEE RCP'S ON A6 SERIES & S.E.D.
- USPS POSTMASTER APPROVED MAILBOXES
- 6" TALL BUILDING ADDRESS NUMBERS, BRUSHED STEEL
- G.S.M. FLASHING & COPING; PAINT TO MATCH ADJACENT FINISHES
- RAINWATER LEADER, DOWNSPOUT, & OVERFLOW; PAINT TO MATCH ADJACENT FINISHES
- ELEC. METERS; S.E.D.
- GAS METERS; S.P.D.

(C1) COLOR 1  
(C2) COLOR 2  
(C3) COLOR 3



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21 PARK ROAD  
BURLINGAME, CA



21 PARK ROAD  
APN: 029-223-130  
BURLINGAME, CA  
PROJECT NO. 2016-03

DATE SET ISSUE  
2019-12-18 BUILDING PERMIT  
2020-07-13 PLANNING COMMISSION FYI

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SCALE: AS NOTED

EXTERIOR  
ELEVATIONS

A3.1