



PROJECT TEAM

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PROJECT SUMMARY

ADDRESS: 128 LORTON AVENUE, BURLINGAME, CALIFORNIA	
ASSESSOR'S PARCEL NUMBER: 029-231-210	
EXISTING ZONING IN THE GENERAL PLAN: R-4 DISTRICT, MULTI-FAMILY RESIDENTIAL CONDOMINIUM	
CURRENT APPLICABLE CODES: 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)	
GROSS SITE AREA: MULTIFAMILY DWELLING UNITS: PARKING (CITY LIFT STACKED PARKING): DENSITY: CONSTRUCTION TYPE: OCCUPANCY GROUPS: PARKING GARAGE SQUARE FOOTAGE: LOT COVERAGE: BICYCLE STORAGE:	.172 ACRES 19/DU 17 PARKING SPACES 110.4 DU/AC TYPE IIIA RESIDENTIAL OVER TYPE 1A PARKING GARAGE R-2 RESIDENTIAL, S-2 PARKING GARAGE 5,904 GROSS SF, NATURALLY VENTILATED 78.7% BICYCLE STORAGE WILL BE WITHIN DWELLING UNITS

VICINITY MAP

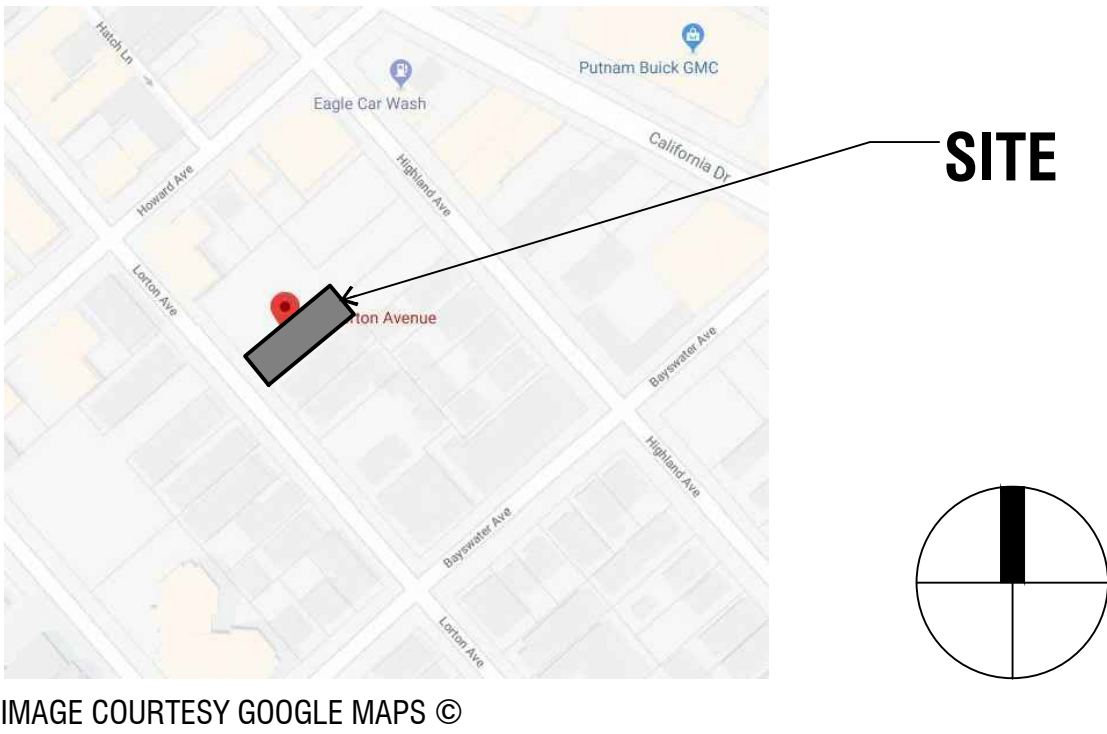


IMAGE COURTESY GOOGLE MAPS ©

ENTITLEMENT SUBMITTAL
128 LORTON AVENUE, BURLINGAME, CALIFORNIA

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BUILDING DEPARTMENT NOTES:

CONSTRUCTION HOURS:	WEEKDAYS: 8:00AM TO 7:00PM SATURDAYS: 9:00AM TO 6:00PM SUNDAYS AND HOLIDAYS: NO WORK ALLOWED
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SEE CITY OF BURLINGAME MUNICIPAL CODE SECTION 18.07.110 FOR DETAILS.

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM.

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.

ACCESSIBILITY REGULATIONS: CALIFORNIA BUILDING CODE CHAPTERS 11A AND 11B

REVISION LOG

NUMBER	DESCRIPTION	DATE
1	1ST CITY PLANNING SUBMITTAL	11/16/18
2	2ND CITY PLANNING SUBMITTAL	3/15/19
3	3RD CITY PLANNING SUBMITTAL	7/12/19
4	4TH CITY PLANNING SUBMITTAL	12/10/19
5	5TH CITY PLANNING SUBMITTAL	6/3/20



AERIAL VIEW LOOKING NORTH



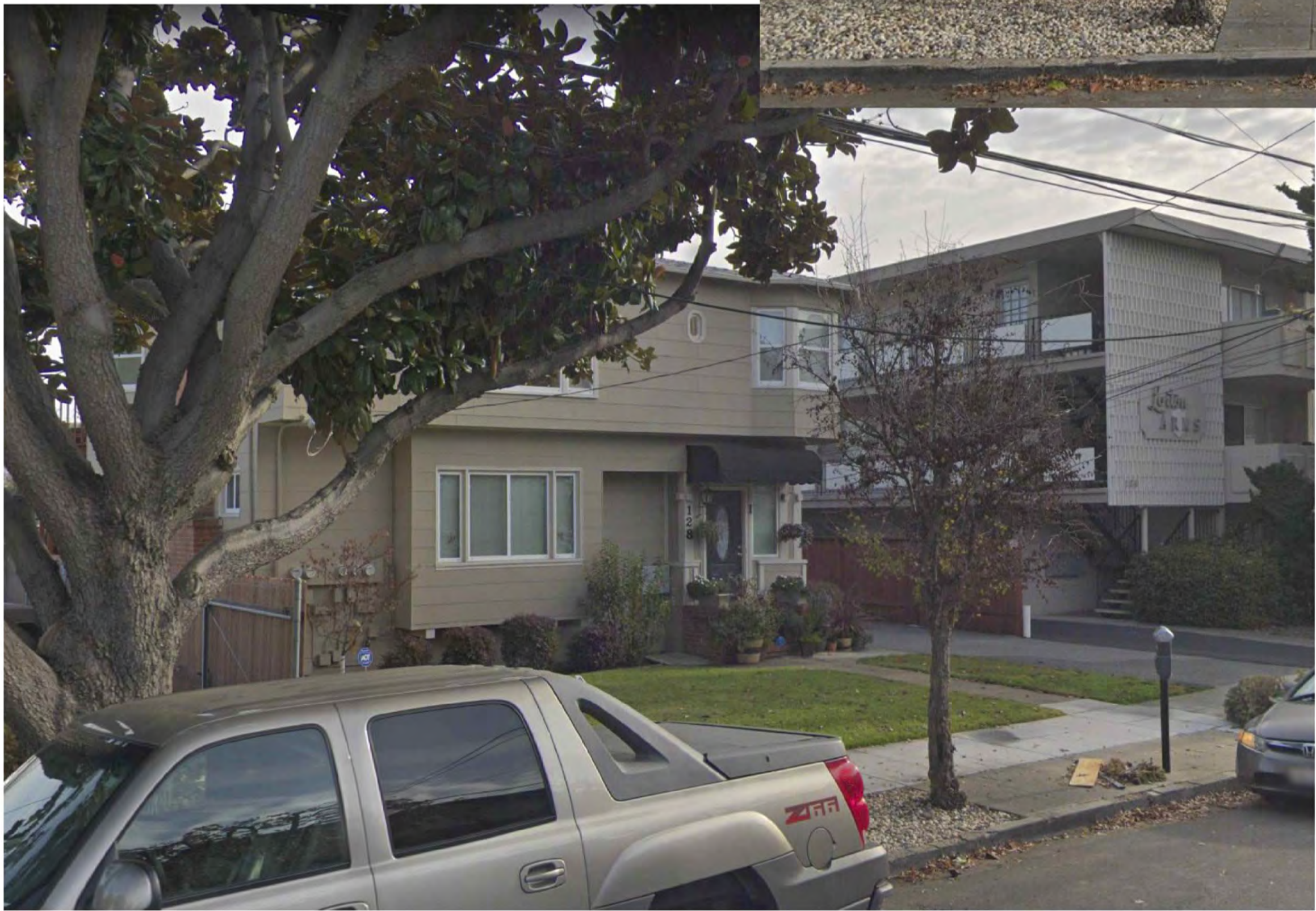
AERIAL VIEW LOOKING EAST



AERIAL VIEW LOOKING SOUTH



AERIAL VIEW LOOKING WEST





LORTON AVE STREET LEVEL VIEW



AERIAL VIEW FROM NORTHEAST

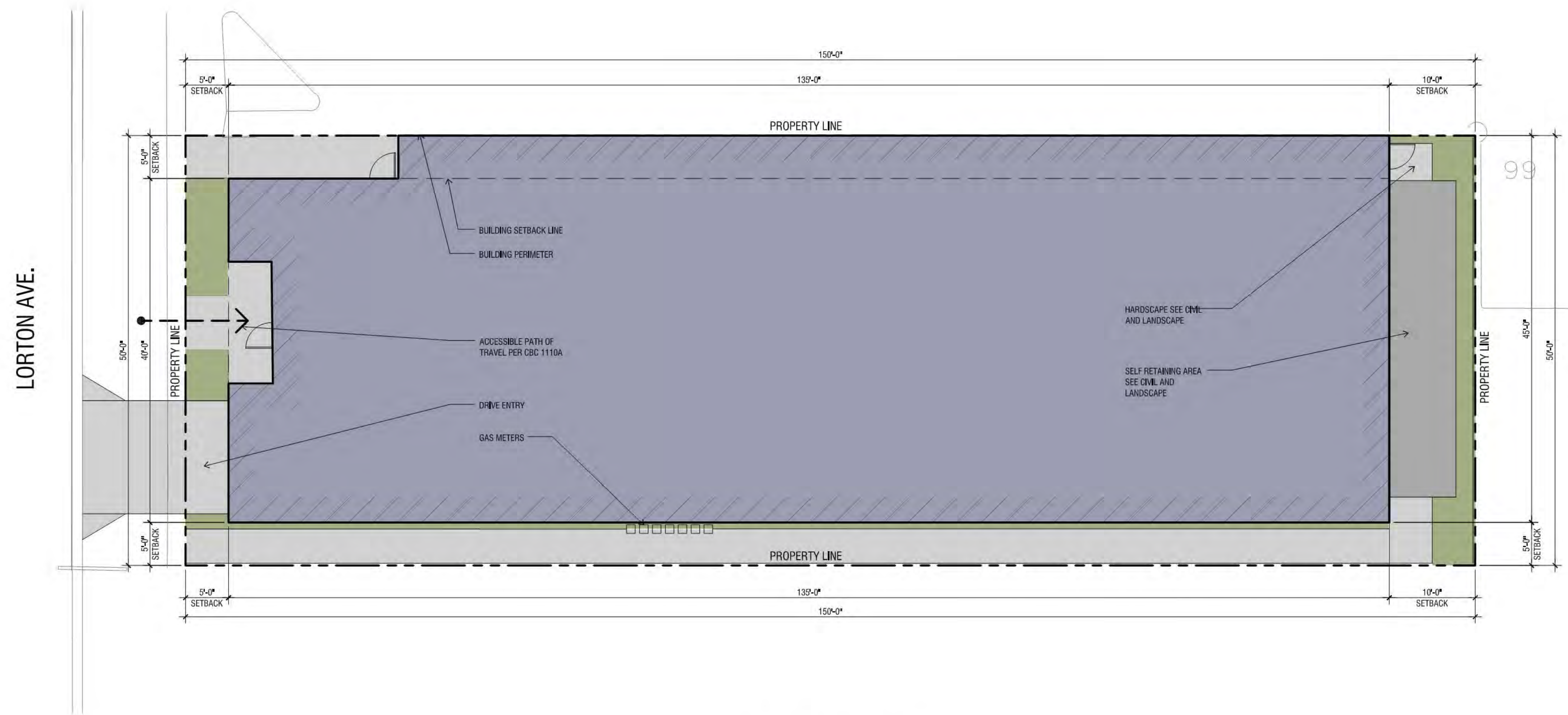


LORTON AVE STREET LEVEL VIEW

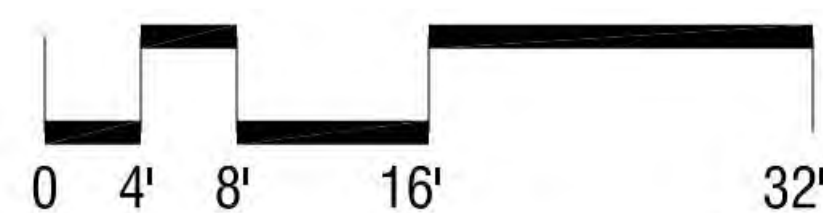
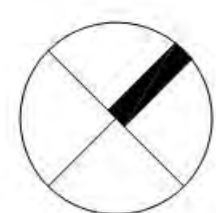
NEW APPROVED PUBLIC PARKING
GARAGE ON LOT "N"



AERIAL VIEW FROM SOUTHWEST



SITE PLAN
SCALE 1/8" = 1'-0"



CBC SECTION 302
OCCUPANCY CLASSIFICATION

OCCUPANCY GROUP	DESCRIPTION
R-2	DWELLING UNITS
B	LOBBY; MAILROOM
S-2	OPEN PARKING GARAGE

CBC SECTION 504
BUILDING HEIGHT AND NUMBER OF STORIES

OCCUPANCY GROUP	R-2	B	S-2
MAX HEIGHT	85 FEET	50 FEET	50 FEET
MAX STORIES	5	4	UL
AREA INCREASE	NO	N/A	N/A
HEIGHT INCREASE	YES	N/A	N/A
ACTUAL HEIGHT	53 FEET	13 FEET	13 FEET
ACTUAL STORIES	4	1	1

CBC SECTION 506.2
FLOOR AREA JUSTIFICATION

BUILDING	LEVEL	AREA PROVIDED	AREA ALLOWED
GARAGE	GRADE	5,976 S.F.	UNLIMITED S.F.
TOTAL		5,976 S.F.	UNLIMITED S.F.
RESIDENTIAL	LEVEL 1	5,976 S.F.	24,000 S.F.
RESIDENTIAL	LEVEL 2	5,579 S.F.	24,000 S.F.
RESIDENTIAL	LEVEL 3	5,270 S.F.	24,000 S.F.
RESIDENTIAL	LEVEL 4	5,270 S.F.	24,000 S.F.
TOTAL		22,095 S.F.	48,000 S.F. (PER CBC SECTION 506.2.3)

CBC SECTION 508.4
OCCUPANCY SEPARATIONS

OCCUPANCY GROUP	DESCRIPTION
R-2/R-2	1 HOUR - DWELLING UNIT SEPARATION
B/S-2	NON SEPARATED OCCUPANCIES PER CBC 508.3

CBC SECTION 601
FIRE RESISTIVE CONSTRUCTION

BUILDING ELEMENT	TYPE IA / S-2	TYPE IIIA / R-2
PRIMARY STRUCTURAL FRAME	3 HOUR	1 HOUR
BEARING WALLS		
EXTERIOR	3 HOUR	2 HOUR
INTERIOR	3 HOUR	1 HOUR
NON-BEARING WALLS		
EXTERIOR	1 HOUR	1 HOUR
INTERIOR	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	2 HOUR (3 HOUR PER 510.2)	1 HOUR
ROOF CONSTRUCTION	N/A	1 HOUR

CBC SECTION 602
TYPE OF CONSTRUCTION

TYPE OF CONSTRUCTION	LOCATION
TYPE IIIA	1 HOUR FIRE RATED CONSTRUCTION WITH 2 HOUR FIRE RATED EXTERIOR WALLS CONSISTING OF FIRE RETARDANT WOOD MEMBERS - RESIDENTIAL DWELLING UNITS
TYPE IA	3 HOUR RATED CONSTRUCTION - PARKING GARAGE

CBC SECTION 703.7
MARKING AND IDENTIFICATION

FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS, OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILINGS, SUCH IDENTIFICATION SHALL:

1. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES.
2. BE LOCATED WITHIN 15 FEET OR THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND
3. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM $\frac{1}{8}$ " STROKE IN A CONTRASTING COLOR *FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS* OR OTHER WORDING.

EXCEPTION: WALLS IN GROUP R-2 OCCUPANCIES THAT DO NOT HAVE A REMOVABLE DECORATIVE CEILING ALLOWING ACCESS TO THE CONCEALED SPACE.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF FOUR STORIES OF RESIDENTIAL DWELLING UNITS LOCATED ABOVE A ONE STORY PARKING GARAGE. THE RESIDENTIAL DWELLING UNITS ARE OF TYPE IIIA WOOD FRAMED CONSTRUCTION, AND THE OPEN PARKING GARAGE IS OF TYPE IA CONCRETE AND CONCRETE MASONRY CONSTRUCTION. THE RESIDENTIAL DWELLING UNITS WILL BE CLAD IN EXTERIOR CEMENT PLASTER, AND STONE MASONRY VENEER. THE GARAGE WILL BE CLAD IN EXTERIOR CEMENT PLASTER, STONE MASONRY VENEER, AND RECLAIMED WOOD SIDING. THE ROOFING MATERIAL WILL BE A CLASS "A" TPO, SINGLE SHEET MEMBRANE. THE SPRINKLER SYSTEM WILL BE A FULL NFPA 13 SYSTEM. THE MAJORITY OF PARKING WILL BE ACCOMPLISHED USING CITYLIFT OR SIMILAR STACKED PARKING SYSTEM.

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE (CAL GREEN).



NORTHWEST ELEVATION ANALYSIS

CBC TABLE 705.8
5' > 10' = 25% ALLOWABLE UNPROTECTED OPENINGS

LEVEL 4
TOTAL WALL AREA = 135'-0" x 10'-0" = 1,350 S.F.
TOTAL ALLOWABLE OPENINGS 1,350 S.F. x 25% = 377 S.F.
TOTAL OPENING AREA = 208 S.F. **OK**

LEVEL 3
TOTAL WALL AREA = 135'-0" x 10'-0" = 1,350 S.F.
TOTAL ALLOWABLE OPENINGS 1,350 S.F. x 25% = 377 S.F.
TOTAL OPENING AREA = 208 S.F. **OK**

LEVEL 2
TOTAL WALL AREA = 135'-0" x 10'-0" = 1,350 S.F.
TOTAL ALLOWABLE OPENINGS 1,350 S.F. x 25% = 377 S.F.
TOTAL OPENING AREA = 208 S.F. **OK**

LEVEL 1
TOTAL WALL AREA = 135'-0" x 10'-0" = 1,350 S.F.
TOTAL ALLOWABLE OPENINGS 1,350 S.F. x 25% = 377 S.F.
TOTAL OPENING AREA = 214 S.F. **OK**

GRADE LEVEL
TOTAL WALL AREA = 135'-0" x 13'-0" = 1,755 S.F.
TOTAL ALLOWABLE OPENINGS 1,755 S.F. x 25% = 438 S.F.
TOTAL OPENING AREA = 24 S.F. **OK**



NORTHEAST ELEVATION ANALYSIS

CBC TABLE 705.8
10' > 15' = 45% ALLOWABLE UNPROTECTED OPENINGS

LEVEL 4
TOTAL WALL AREA = 45'-0" x 10'-0" = 450 S.F.
TOTAL ALLOWABLE OPENINGS 450 S.F. x 45% = 202.5 S.F.
TOTAL OPENING AREA = 111 S.F. **OK**

LEVEL 3
TOTAL WALL AREA = 45'-0" x 10'-0" = 450 S.F.
TOTAL ALLOWABLE OPENINGS 450 S.F. x 45% = 202.5 S.F.
TOTAL OPENING AREA = 96 S.F. **OK**

LEVEL 2
TOTAL WALL AREA = 45'-0" x 10'-0" = 450 S.F.
TOTAL ALLOWABLE OPENINGS 450 S.F. x 45% = 202.5 S.F.
TOTAL OPENING AREA = 111 S.F. **OK**

LEVEL 1
TOTAL WALL AREA = 45'-0" x 10'-0" = 450 S.F.
TOTAL ALLOWABLE OPENINGS 450 S.F. x 45% = 202.5 S.F.
TOTAL OPENING AREA = 111 S.F. **OK**

GRADE LEVEL
TOTAL WALL AREA = 45'-0" x 13'-0" = 585 S.F.
TOTAL ALLOWABLE OPENINGS UNLIMITED PER TABLE 705.8 (g)
TOTAL OPENING AREA = UNLIMITED PER TABLE 705.8 (g). **OK**



SOUTHEAST ELEVATION ANALYSIS

CBC TABLE 705.8
5' > 10' = 25% ALLOWABLE UNPROTECTED OPENINGS

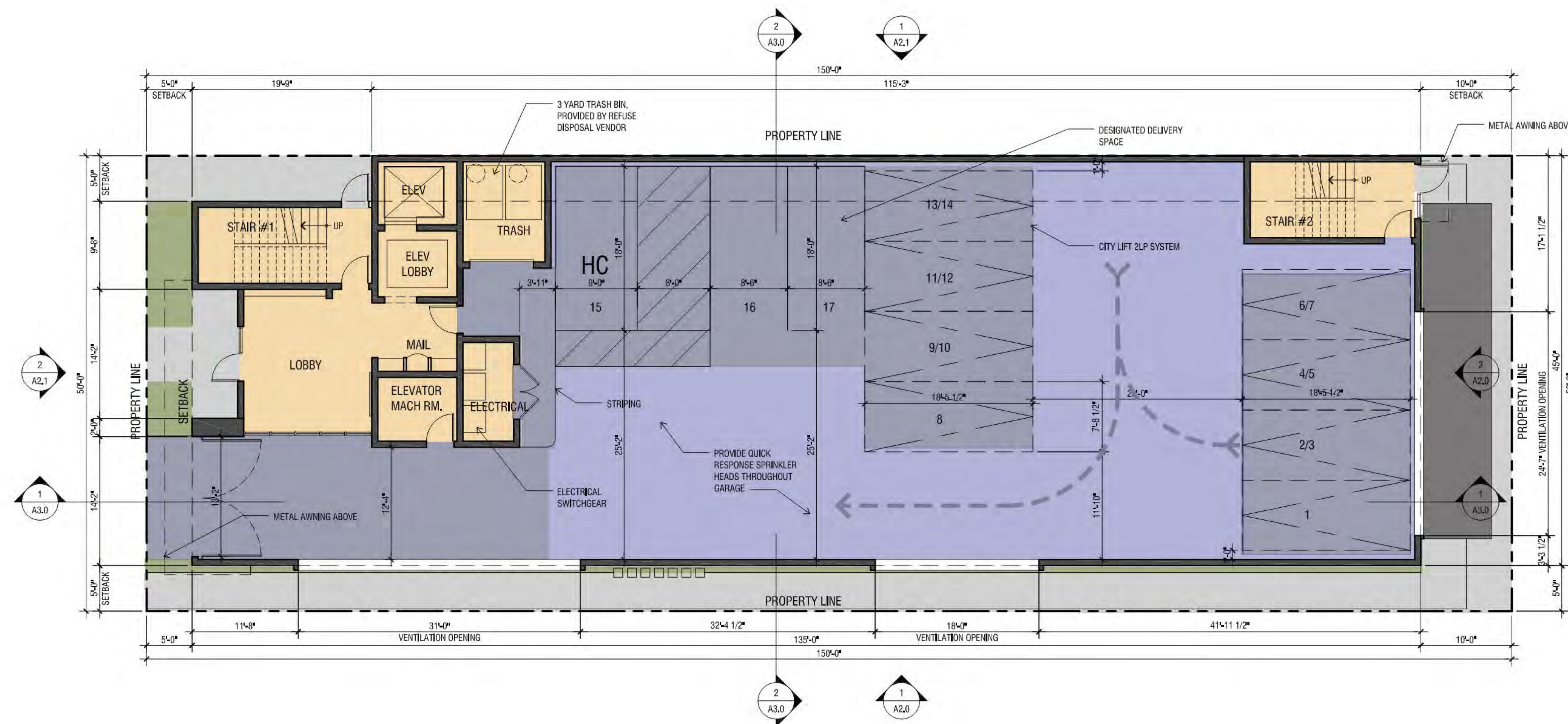
LEVEL 4
TOTAL WALL AREA = 128'-10" x 10'-0" = 1,248 S.F.
TOTAL ALLOWABLE OPENINGS 1,248 S.F. x 25% = 322 S.F.
TOTAL OPENING AREA = 288 S.F. **OK**

LEVEL 3
TOTAL WALL AREA = 128'-10" x 10'-0" = 1,248 S.F.
TOTAL ALLOWABLE OPENINGS 1,248 S.F. x 25% = 322 S.F.
TOTAL OPENING AREA = 276 S.F. **OK**

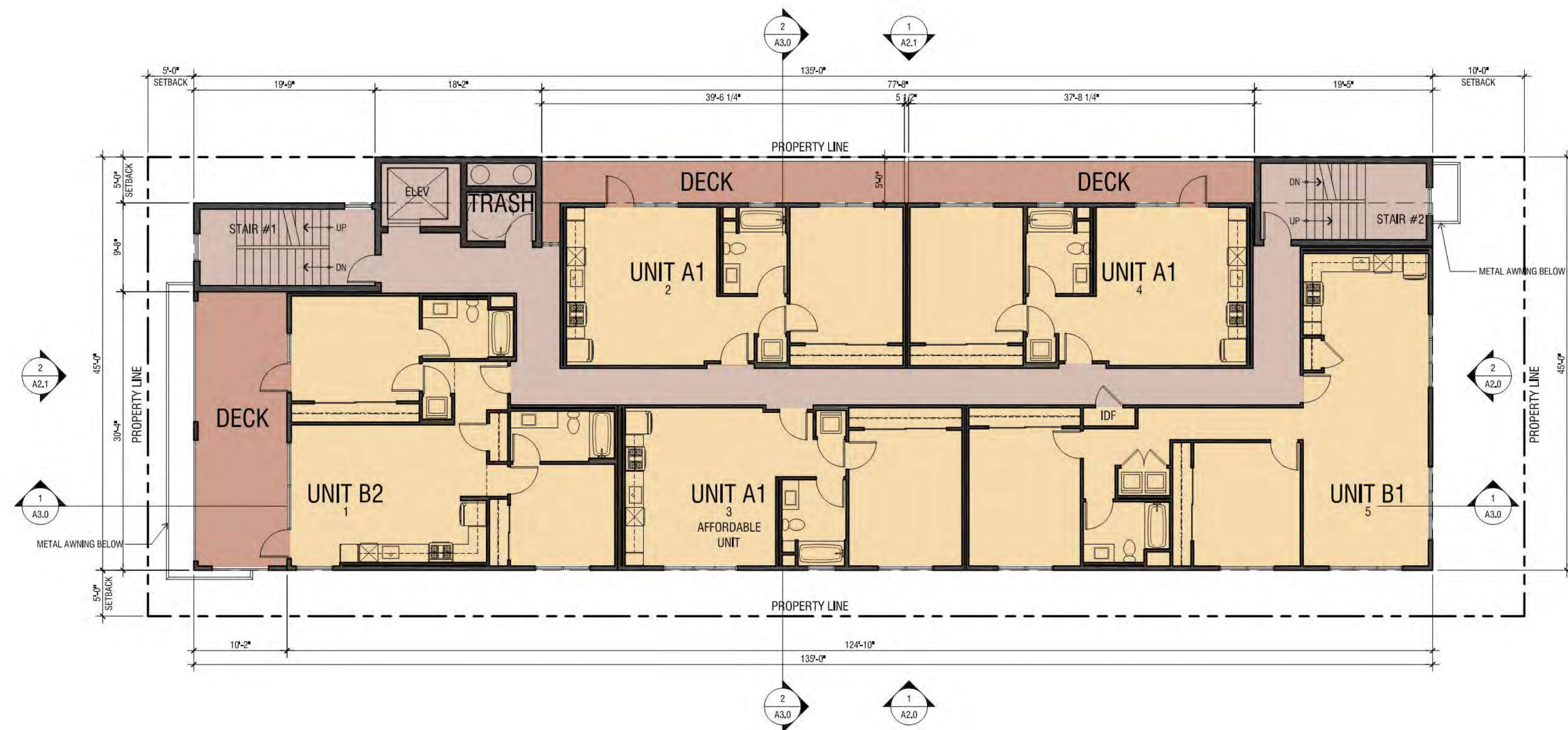
LEVEL 2
TOTAL WALL AREA = 128'-10" x 10'-0" = 1,248 S.F.
TOTAL ALLOWABLE OPENINGS 1,248 S.F. x 25% = 322 S.F.
TOTAL OPENING AREA = 276 S.F. **OK**

LEVEL 1
TOTAL WALL AREA = 128'-10" x 10'-0" = 1,248 S.F.
TOTAL ALLOWABLE OPENINGS 1,248 S.F. x 25% = 322 S.F.
TOTAL OPENING AREA = 321 S.F. **OK**

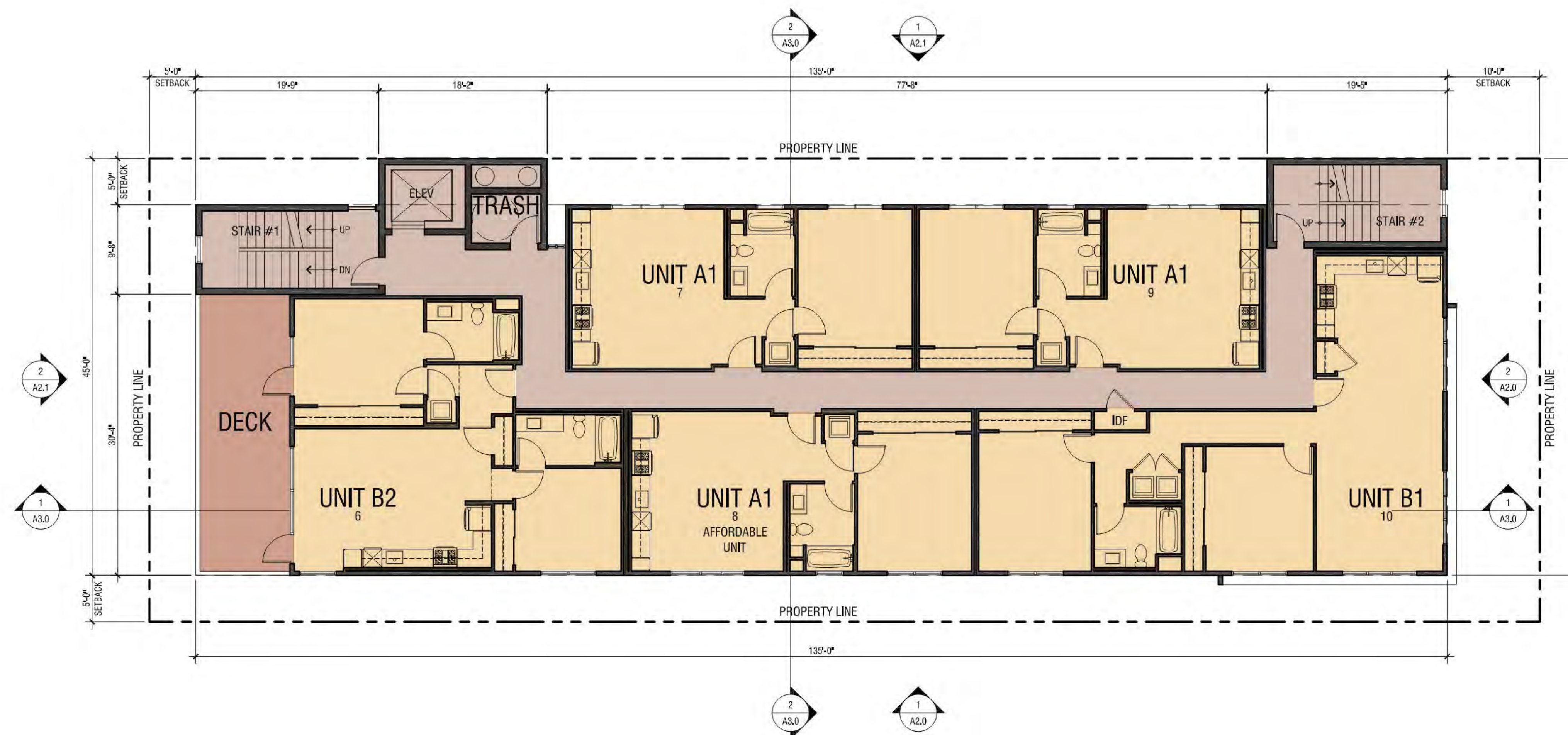
GRADE LEVEL
TOTAL WALL AREA = 128'-10" x 13'-0" = 1,248 S.F.
TOTAL ALLOWABLE OPENINGS 1,674 S.F. x 25% = 418 S.F.
TOTAL OPENING AREA = 322.5 S.F. **OK**



GARAGE PLAN
SCALE 1/8" = 1'-0"

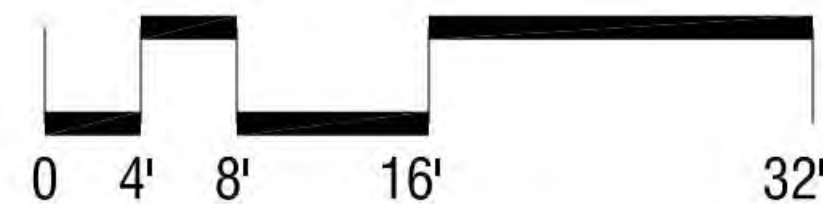
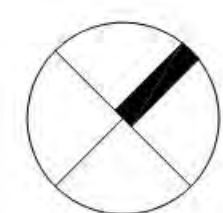


PODIUM LEVEL PLAN
SCALE 1/8" = 1'-0"



SECOND LEVEL PLAN

SCALE 1/8" = 1'-0"



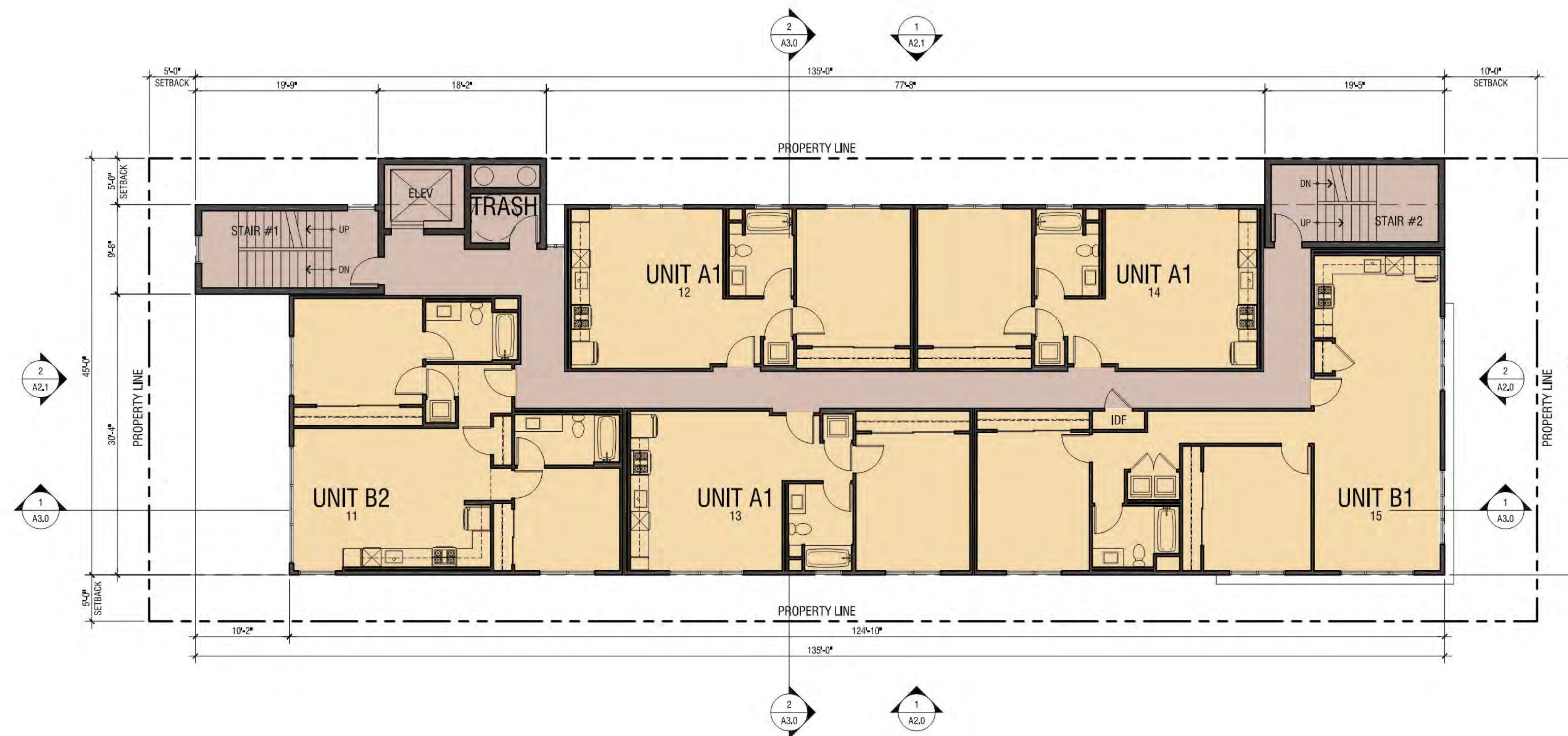
128 LORTON AVENUE

BURLINGAME, CALIFORNIA

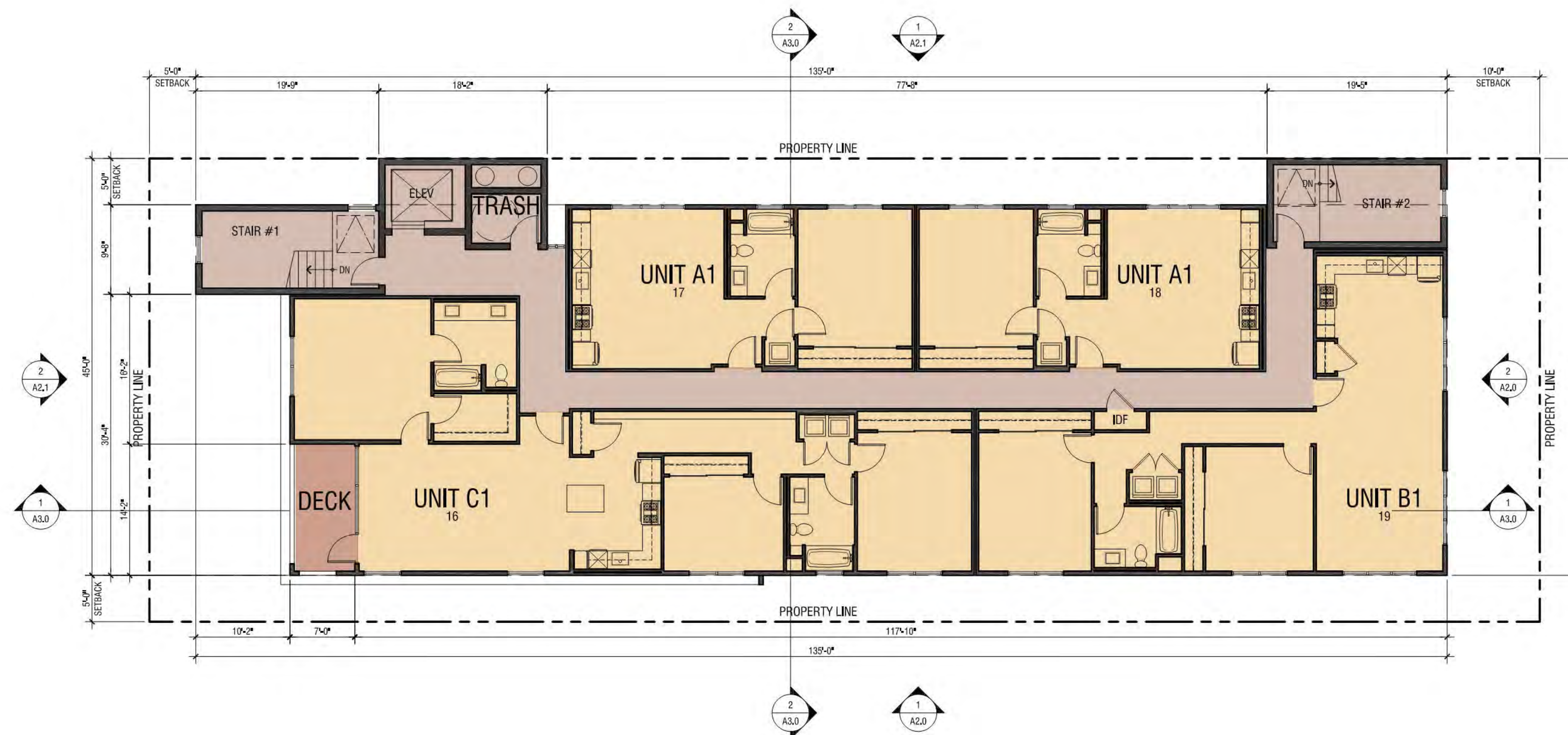
BUILDING PLAN **A1.2**

ENTITLEMENT SUBMITTAL

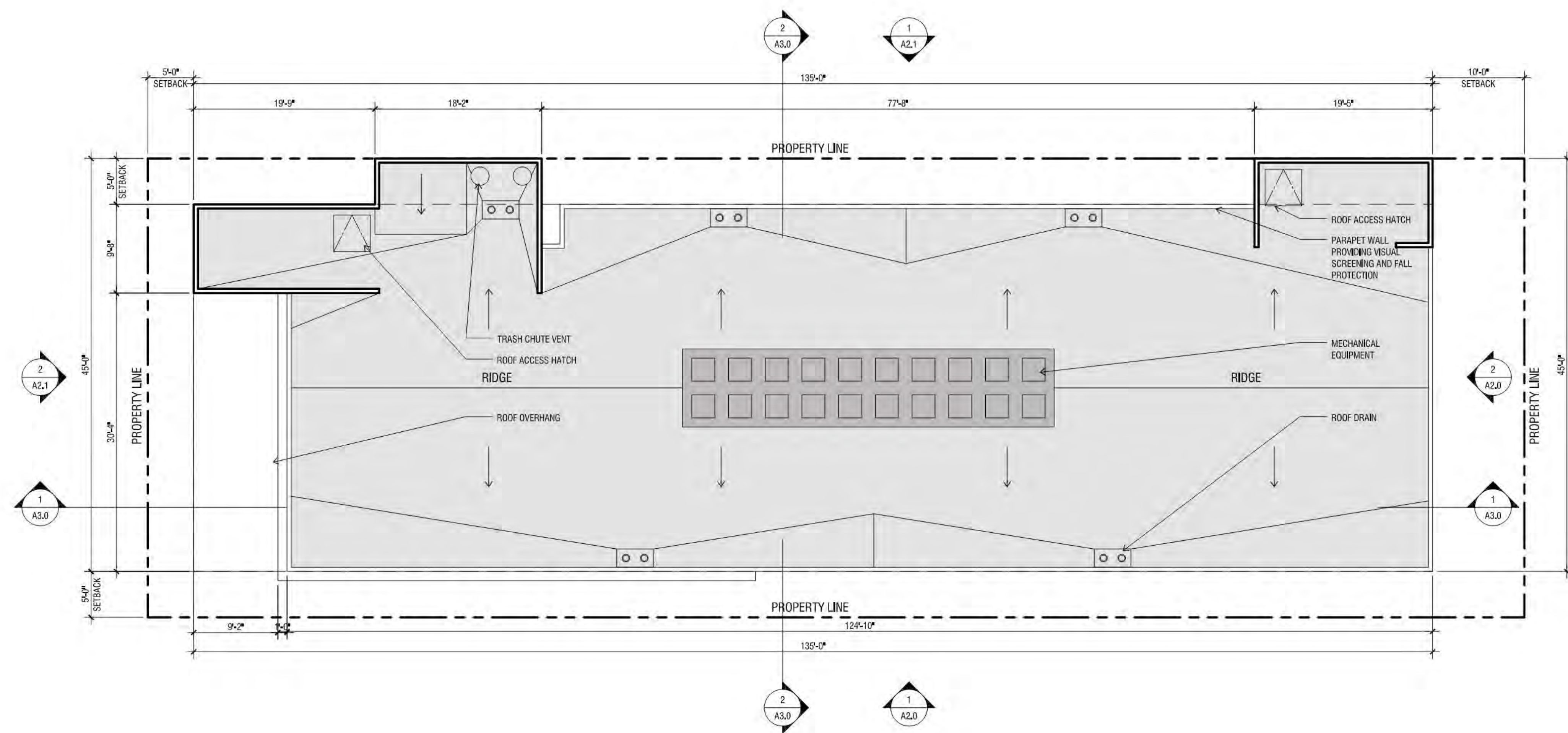
02-07-20



THIRD LEVEL PLAN
SCALE 1/8" = 1'-0"



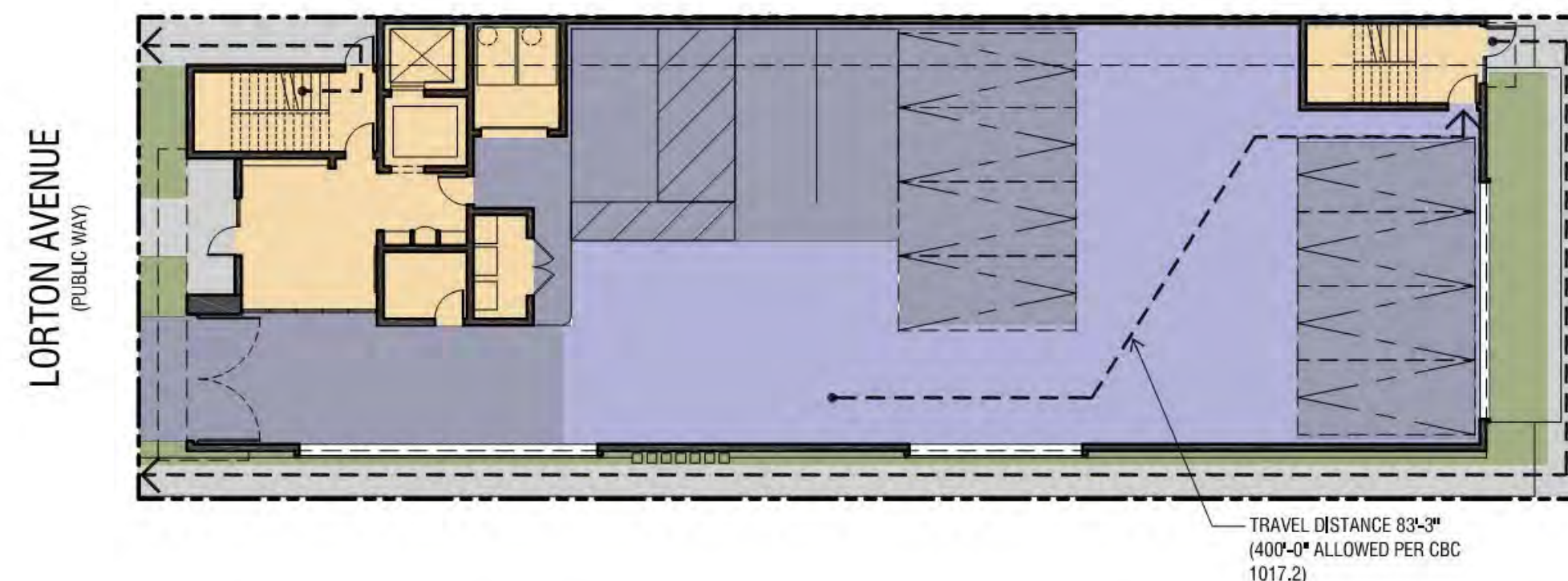
FOURTH LEVEL PLAN
SCALE 1/8" = 1'-0"



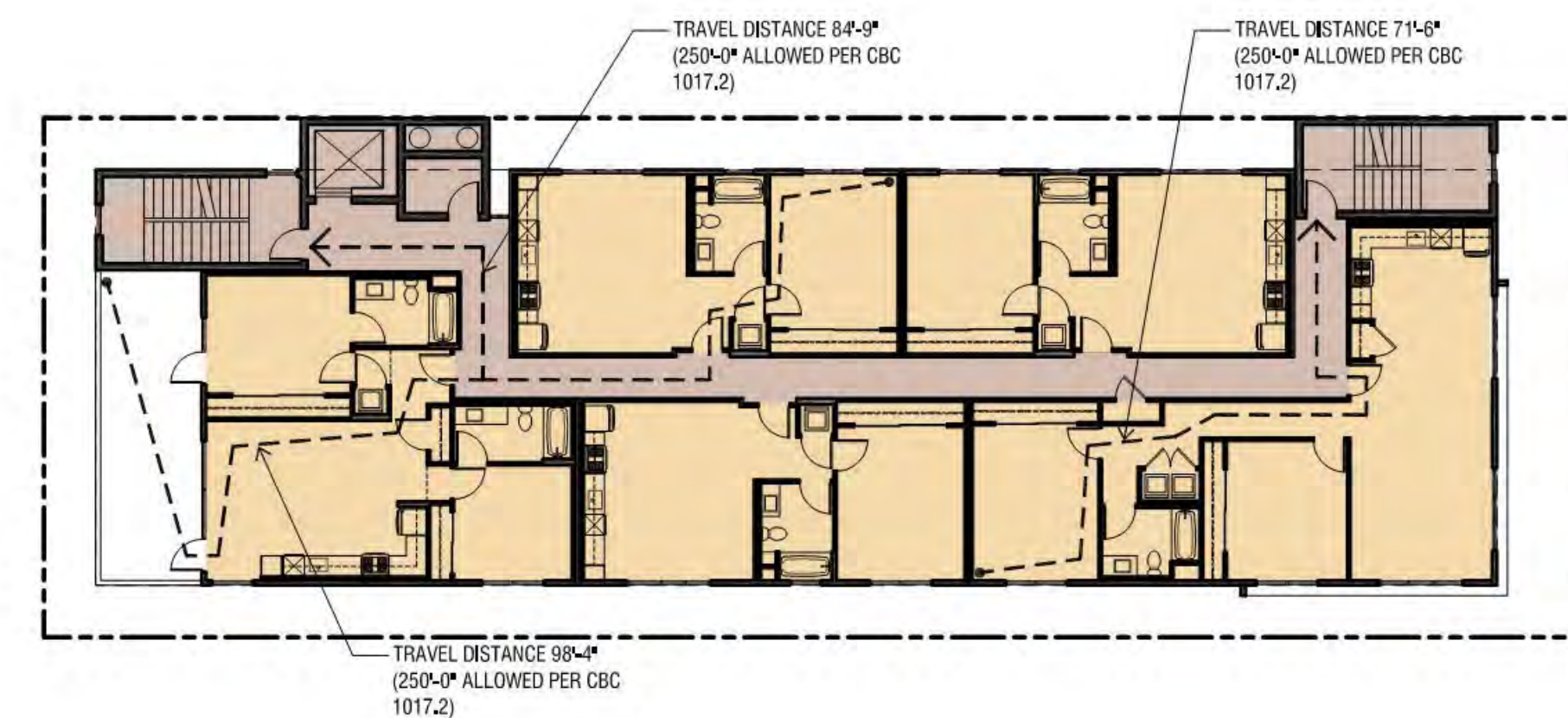
ROOF PLAN
SCALE 1/8" = 1'-0"

ROOF AREA PERCENTAGES

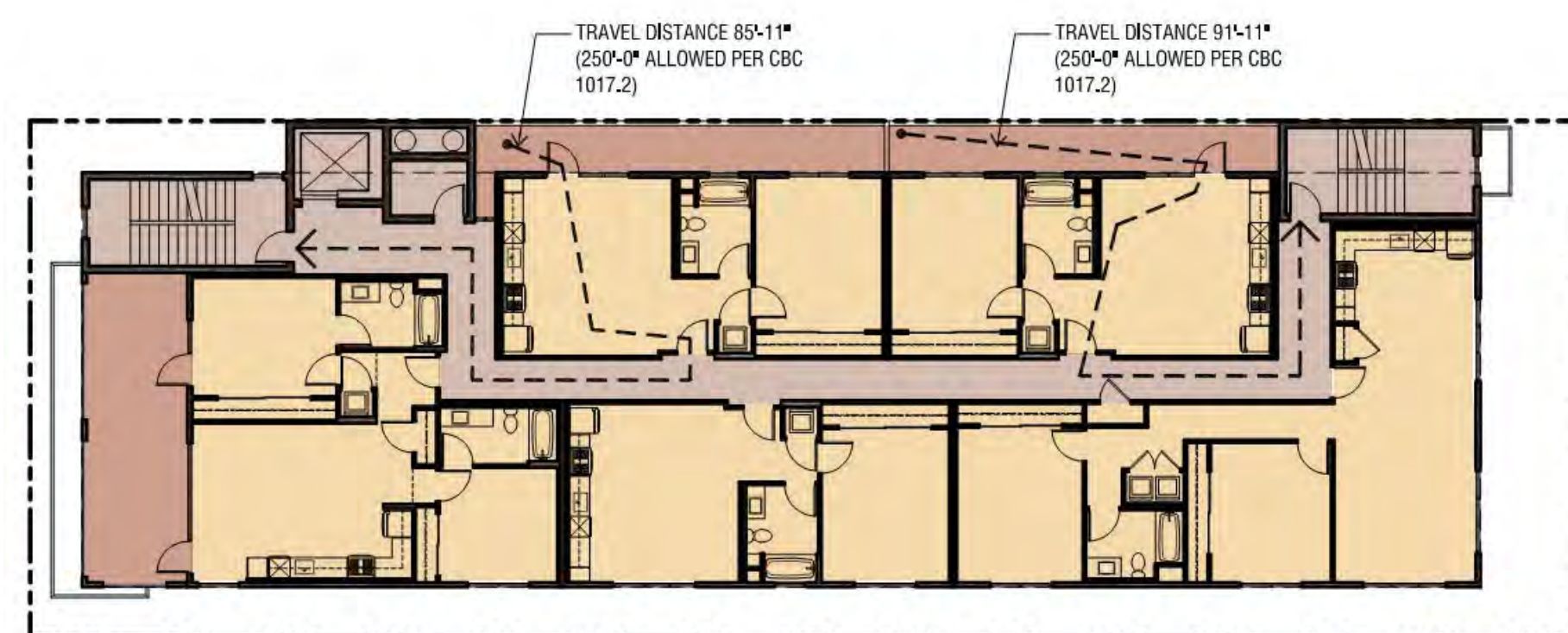
DESCRIPTION	ROOF HEIGHT	ROOF AREA	PERCENTAGE
MAIN ROOF AREA	58'-6"	5,136.9 SQUARE FEET	97.4%
HIGH PARAPET AND ELEV.	59'-6"	133.9 SQUARE FEET	2.6%
TOTAL ROOF AREA		5,270.8 SQUARE FEET	100%



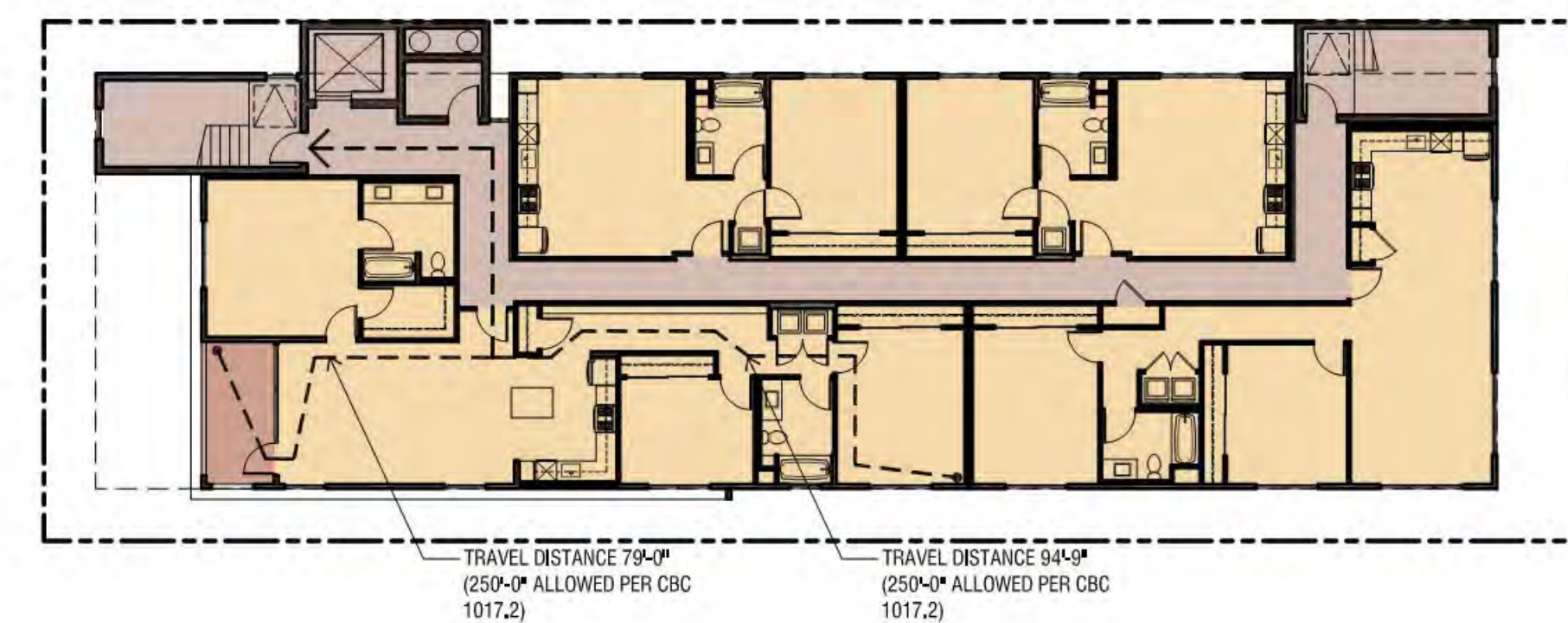
GARAGE LEVEL EXITING DIAGRAM
SCALE 1/16"=1'-0"



SECOND LEVEL EXITING DIAGRAM
SCALE 1/16"=1'-0"



PODIUM LEVEL EXITING DIAGRAM
SCALE 1/16"=1'-0"



FOURTH LEVEL EXITING DIAGRAM
SCALE 1/16"=1'-0"



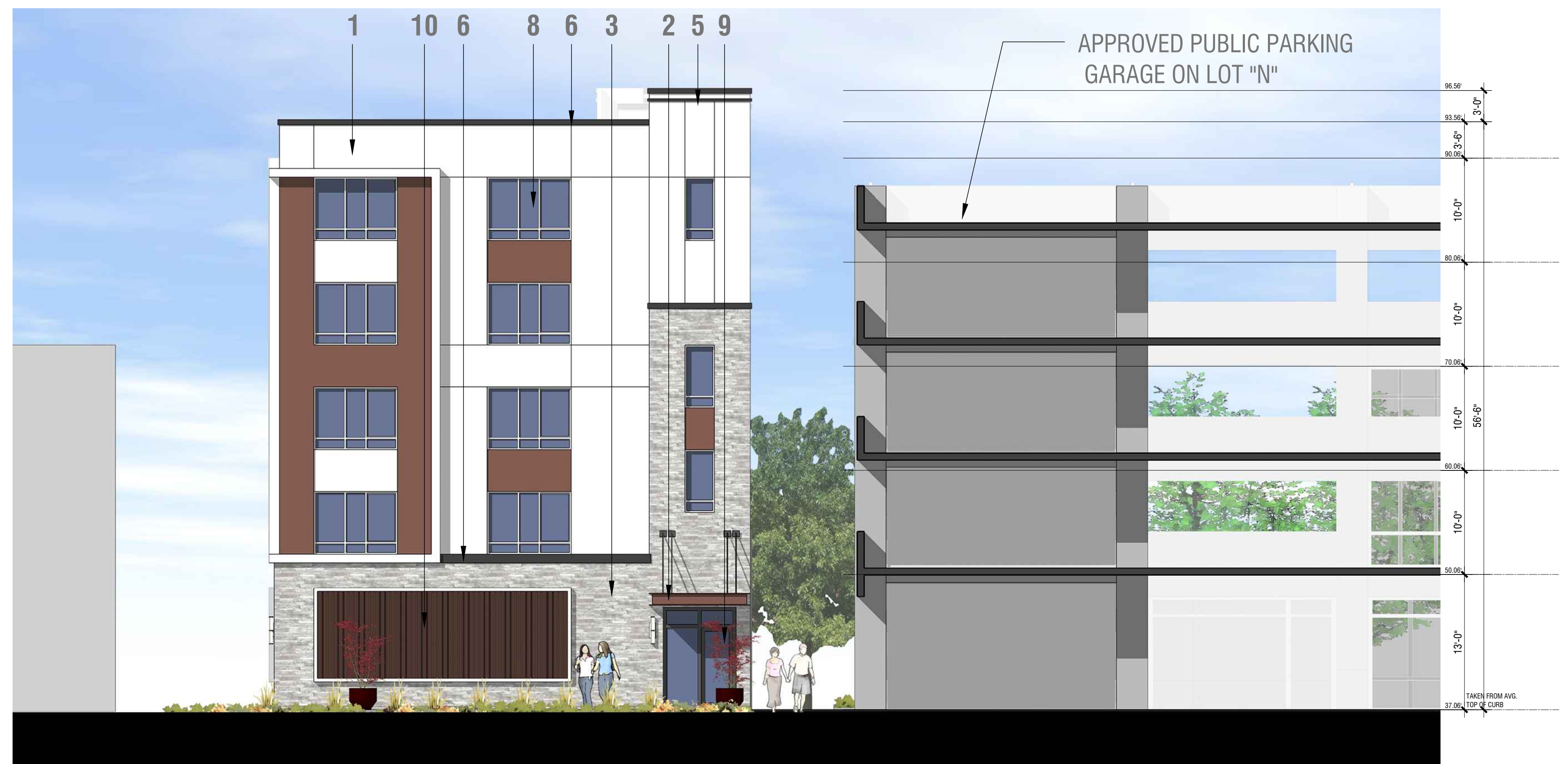
LORTON AVE ELEVATION - SOUTHWEST



SIDE ELEVATION - NORTHWEST

MATERIALS LEGEND

1. EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
2. PAINTED METAL AWNING
3. MANUFACTURED STONE VENEER
4. RECLAIMED WOOD SIDING
5. PLASTER CORNICE WITH SMOOTH FINISH
6. PLASTER TRIM WITH 20/30 SAND FINISH
7. GLASS GUARDRAIL
8. FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
9. GLASS PANEL ENTRY DOOR
10. LOUVERED GARAGE VENTILATION OPENING
11. METAL GARAGE GATE
12. DECORATIVE LIGHT FIXTURE

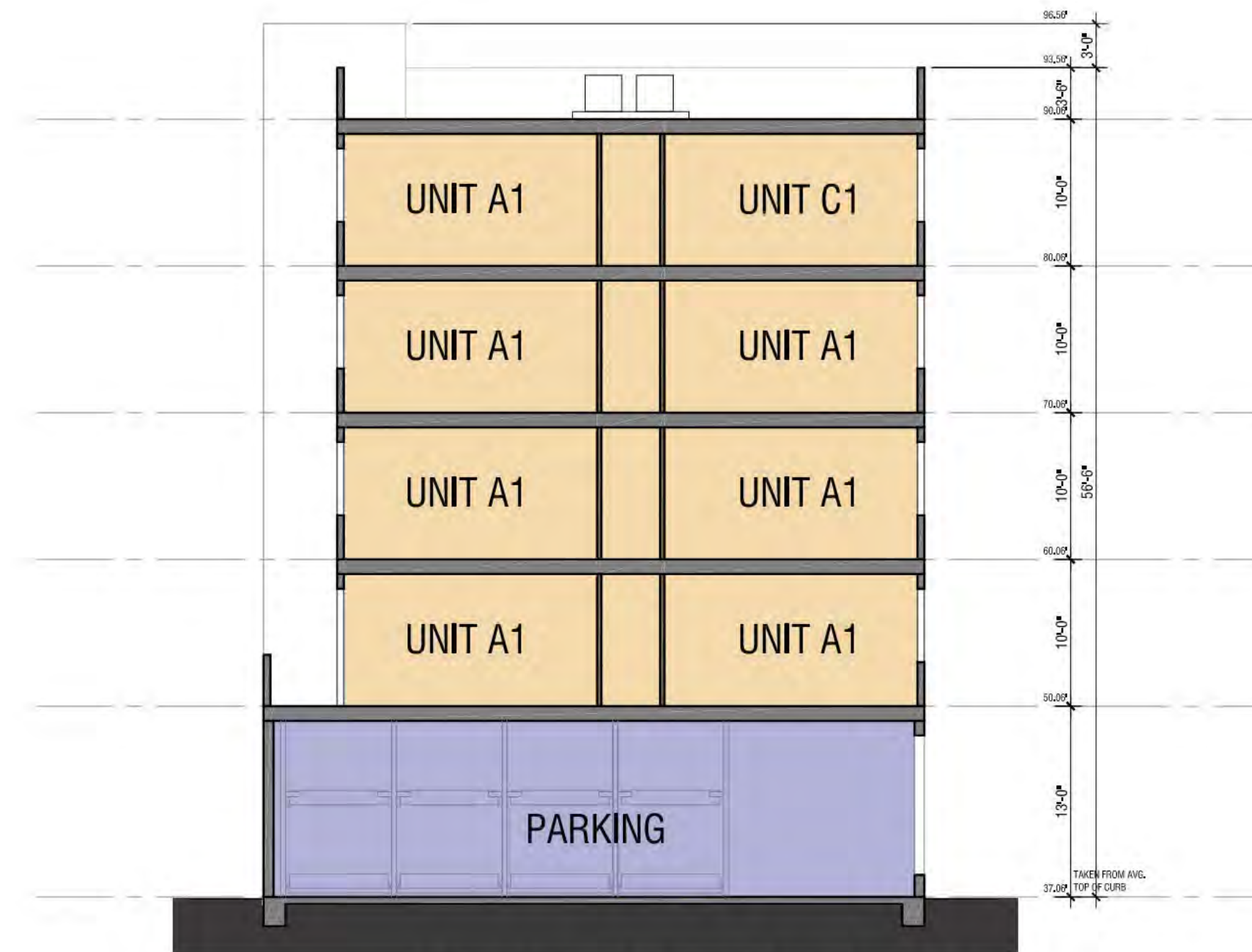


REAR ELEVATION - NORTHEAST



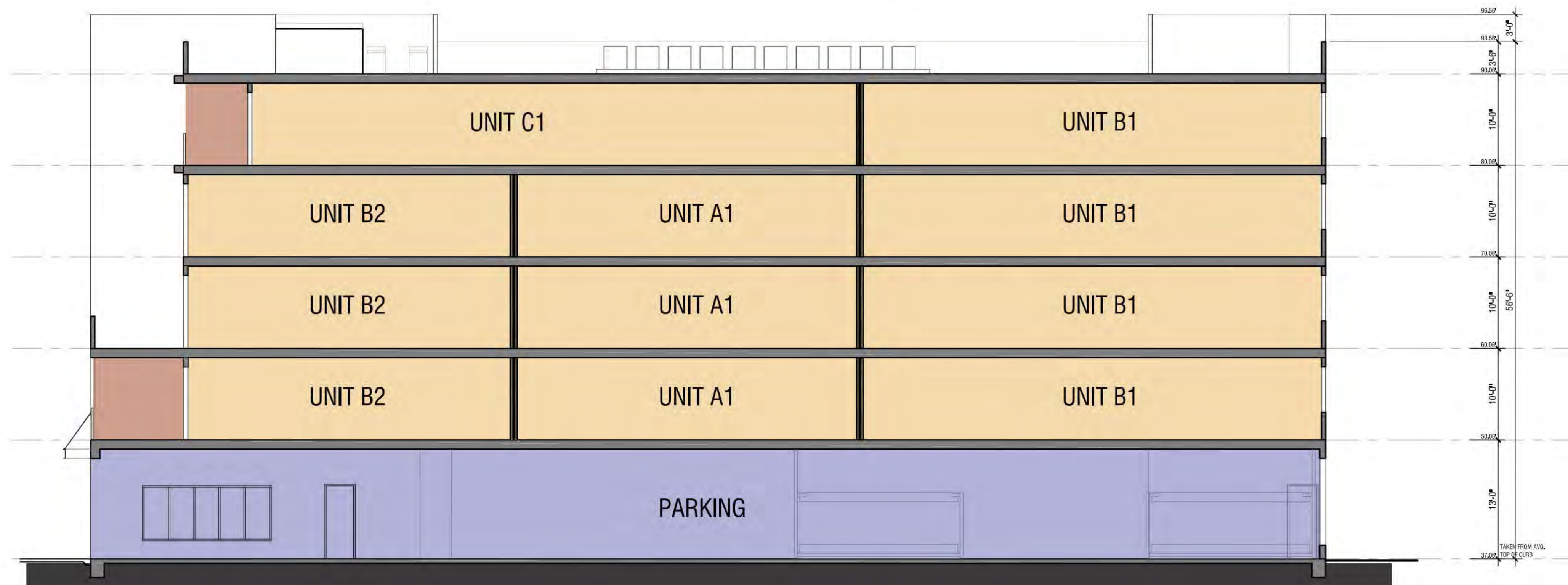
SIDE ELEVATION - SOUTHEAST

1. EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
2. PAINTED METAL AWNING
3. MANUFACTURED STONE VENEER
4. RECLAIMED WOOD SIDING
5. PLASTER CORNICE WITH SMOOTH FINISH
6. PLASTER TRIM WITH 20/30 SAND FINISH
7. GLASS GUARDRAIL
8. FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
9. GLASS PANEL ENTRY DOOR
10. LOUVERED GARAGE VENTILATION OPENING
11. METAL GARAGE GATE
12. DECORATIVE LIGHT FIXTURE



BUILDING SECTION

SCALE 1/8"=1'-0"



BUILDING SECTION

SCALE 1/8"=1'-0"



UNIT A1
 SCALE 1/4"=1'-0"
 675 S.F.



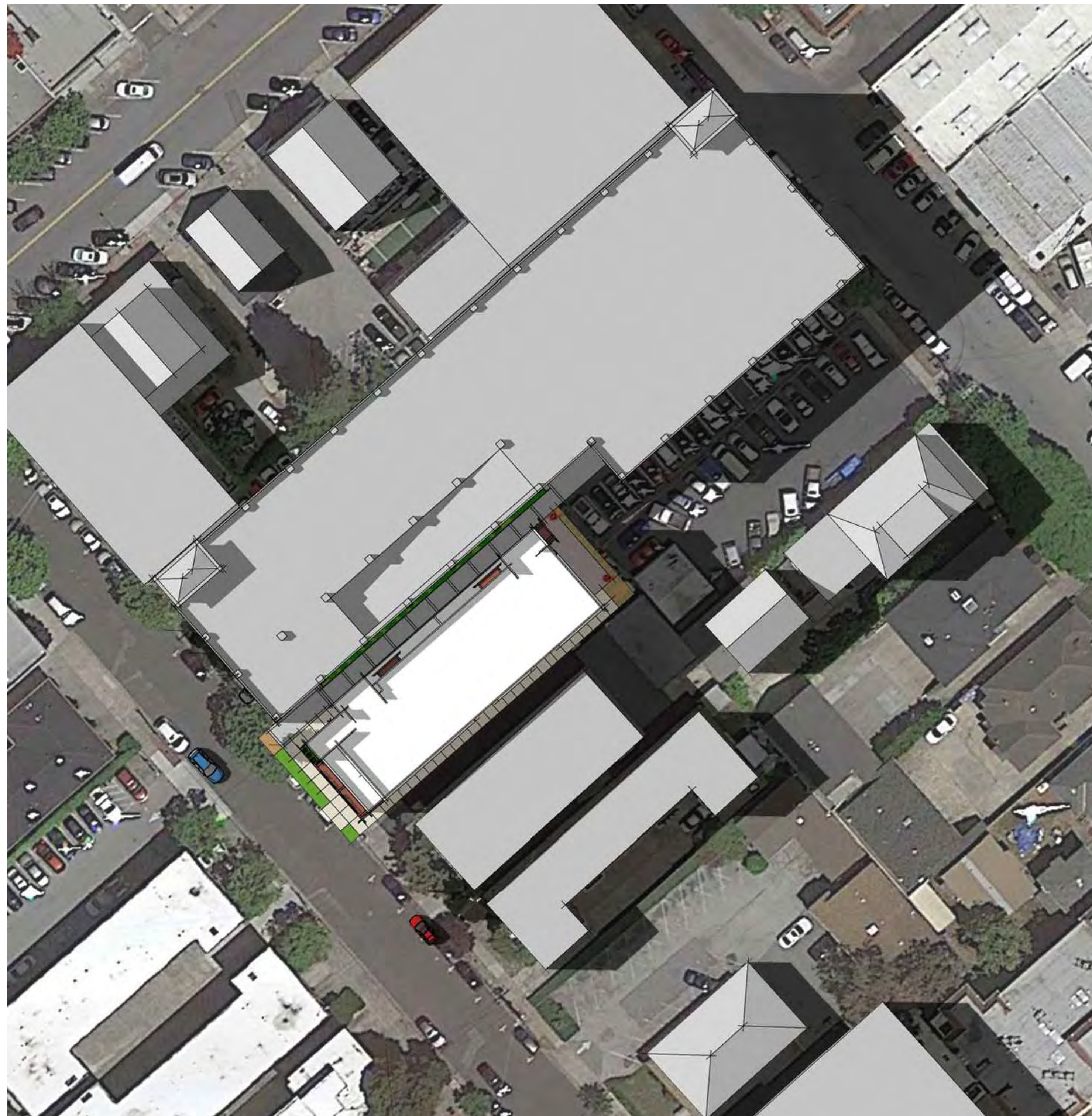
UNIT B1
 SCALE 1/4"=1'-0"
 1,150 S.F.



UNIT B2
 SCALE 1/4"=1'-0"
 950 S.F.



UNIT C1
 SCALE 1/4"=1'-0"
 1,528 S.F.



SHADOW STUDY A - June 21, 4:00 PM



SHADOW STUDY B - Sept. 21, 4:00 PM



PUZZLE

SPECIFICATION SHEET

PUZZLE



33 SECONDS
AVERAGE RETRIEVAL TIME

UP TO 7 LEVELS
2 - 7 LEVEL CONFIGURATIONS

40,000
SPACES INSTALLED

Our most popular and versatile mechanical parking solution is the Puzzle. It comes in 2, 3, 4, 5, 6, and 7-level configurations; with or without pits and is ideal for new construction or retrofits. This mechanical parking lift also works in a tandem configuration without impacting retrieval time. They are widely used in residential, mixed use, and public garages in impacted urban areas. Replacing traditional stackers with the Puzzle can drastically reduce valet costs since each space is independently accessed. The Puzzle can be used indoors or outdoors and requires a minimum clear height of 11' 7 3/4" beginning with the 2 level system.



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PUZZLE



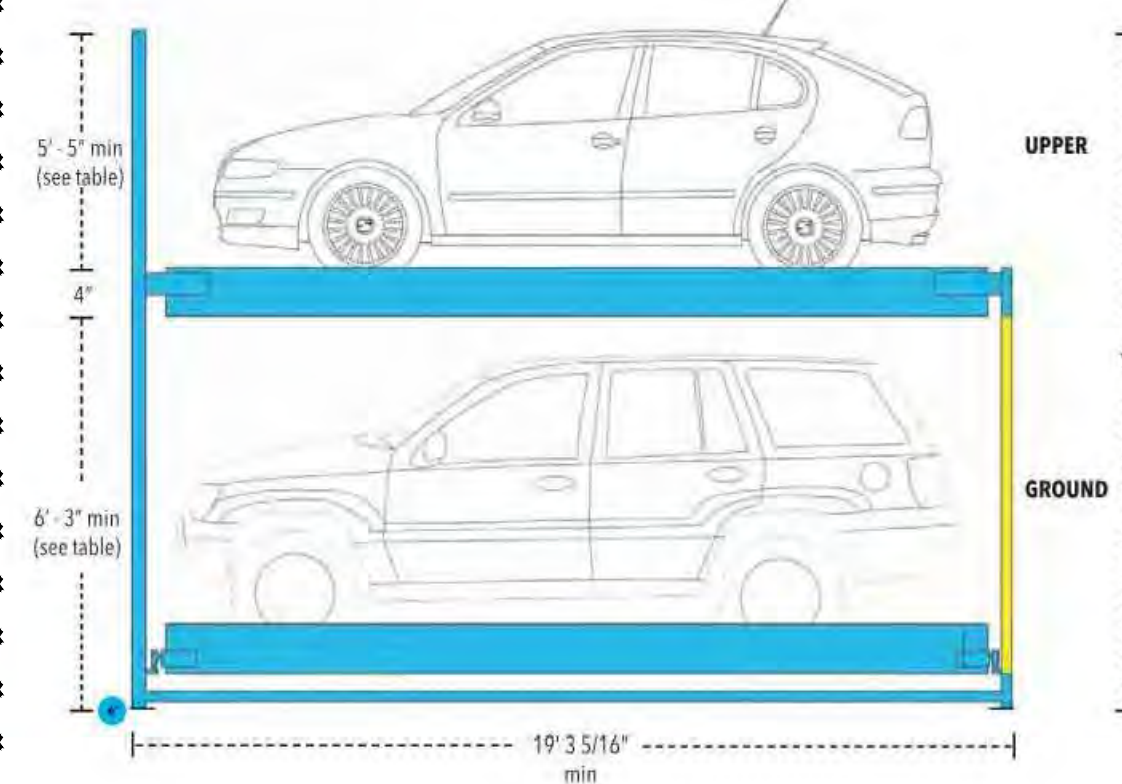
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TWO-LEVEL



MODEL NO 2LP



CAR SIZES

	LENGTH	WIDTH
UPPER	17' - 0" ^{1/2}	6' - 10"
GROUND	17' - 0" ^{1/2}	6' - 10"

HEIGHT OPTIONS

	MINIMUM	RECOMMENDED
UPPER	5'-5"	6'-5"
GROUND	6'-3"	7'-0"

NOTES:

- Recommended car sizes are listed above
- Additional sizes can be customized. See Car Sizes page.
- Each dimension has a tolerance of:
 - 6\"/>
- Recommend 4\"/>
- Usable space dimensions will not change for flat pallets
- 6\"/>

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TECHNICAL SPECS



Average Retrieval Time	Ranges from 30-90 seconds depending on system
Maximum Vehicle Weight	5,200 pounds (6,000 pounds optional)
Electrical Requirement	480 3-Phase or 208 3-Phase
Lifting Motor	4.0kW-4P or 2.2 kW-4P (5.5kW for +5 Systems)
Traverse Motor	0.37 kW-4P
Control Method	PLC control
Circuit Breaker	ABB S204-C40
Operation Method	Button type or touch panel control
Emergency Stop Switch	XB2-BS542C
Optoelectronic Switch	LA31/K31/25/31/115
Remote Monitoring	Primitive Logic / AMI
Drive System/Motor	SEW-Germany
PLC/Sensor	Rockwell
Applicable Code	CA Building Code, 2016 edition
Seismic Loads	Ch. 15 ASCE 7-10: Steel ordinary moment frame
Machine Bolts	Min tensile strength = 900 MP
Anchor Bolts/Rods	ASTM F1554, GR.55
Welding Electrodes	480 MP (E-70 KSI) MIN



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CAR SIZES



LARGE		MEDIUM		SMALL	
LENGTH	WIDTH	LENGTH	WIDTH	LENGTH	WIDTH
17' - 0' ^{30"}	6' - 10"	16' - 5"	6' - 10"	15' - 9"	6' - 10"
17' - 0' ^{30"}	6' - 6' ^{10"}	16' - 5"	6' - 6' ^{30"}	15' - 9"	6' - 6' ^{30"}
NOT AVAILABLE	NOT AVAILABLE	NOT AVAILABLE	NOT AVAILABLE	15' - 9"	6' - 4' ^{30"}

NOTES:

- Recommended car sizes are listed above
- Additional sizes can be customized
- Each dimension has a tolerance of:
 - 6\"/>
- Recommend 4\"/>
- Usable space dimensions will not change for flat pallets

SAMPLE CAR LIST

LARGE			
BMW 5-Series	Audi Q5	Tesla Model S	Volvo XC60
MEDIUM			
Audi A6	BMW X5	Dodge Durango	Jeep Grand Cherokee
SMALL			
Acura ILX	BMW 3-Series	Honda Civic	Lexus IS

Note: Standard load is 5,200 lbs per vehicle. Heavier loads available. Individual cars should be measured for size fit. Above is a sample list of 2016 model cars that can fit on the different platform sizes given a 6\"/>

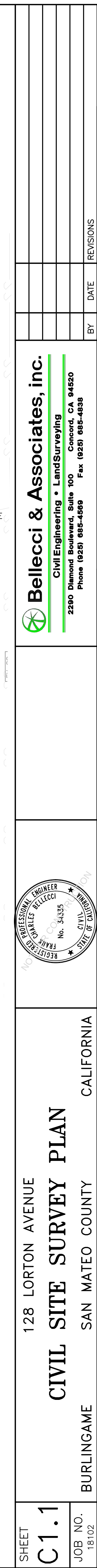
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128 LORTON AVENUE
BURLINGAME, CALIFORNIA

PARKING LIFT INFORMATION **A6.0**
ENTITLEMENT SUBMITTAL
02-07-20





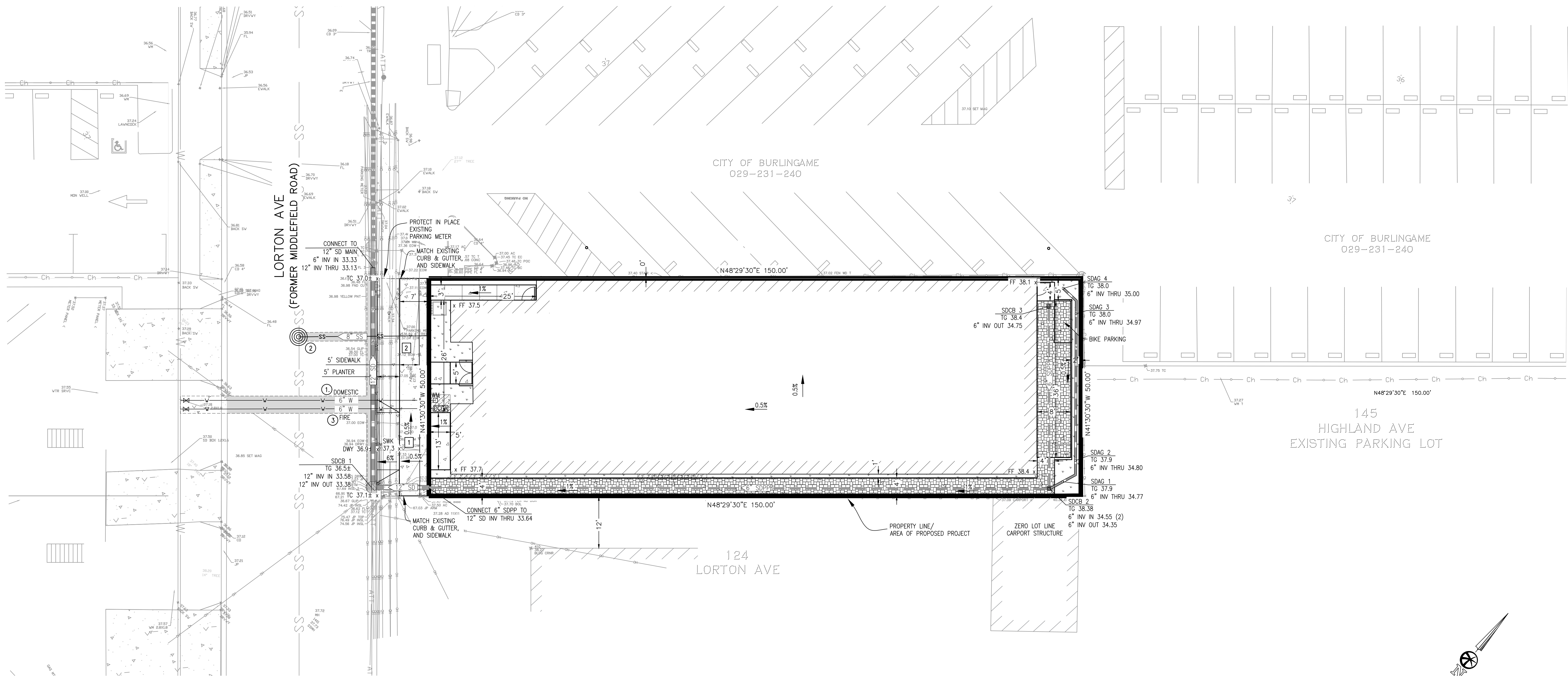
BASIS OF BEARINGS
THE BEARINGS OF THIS SURVEY ARE BASED ON THE LINE BETWEEN FOUND CUT CROSSES
ON THE CONCRETE WALK OF HOWARD AVENUE AS SHOWN ON PARCEL MAP 61 PM 72
BEARING TAKEN AS N48°29'30"E.

VERTICAL DATUM: ELEVATIONS SHOWN ARE BASED ON NAVD 88.

LEGEND

	BACKFLOW PREVENTION		BOX		BOX
	BOLLARD/POST		CB		CATCH BASIN
	CATCH BASIN		DI		DRAINAGE INLET
	ELECTRIC BOX		ELEC		ELECTRIC
	FIRE HYDRANT		FNC		FENCE
	FOUND MONUMENT		JP		JOINT POLE
	GAS VALVE		LP		LIGHT POLE
	GAS METER		MH		MANHOLE
	GUY ANCHOR		MW		MONITORING WELL
	GUY POLE		SD		STORM DRAIN
	HANDICAP ACCESS PARKING		SDCO		STORM DRAIN CLEAN OUT
	JOINT UTILITY POLE		SDMH		STORM DRAIN MAN HOLE
	LIGHT POLE		SL		STREETLIGHT
	MONITORING WELL		SS		SANITARY SEWER
	SANITARY SEWER CLEAN OUT		SSMH		SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE		UTL		UTILITY
	SIGN		WV		WATER VALVE
	STORM DRAIN MANHOLE		WM		WATER METER
	TELEPHONE BOX				
	WATER METER				
	WATER VALVE				
	BUILDING				
	CHAINLINK FENCE				
	PROPERTY LINE				
	WALL				
	ATT LINE				
	SANITARY SEWER LINE				
	STORM DRAIN LINE				
	WATER LINE				

PRELIMINARY
4TH SUBMITTAL - FEB. 10, 2020



SERVICE LATERAL NOTES:

1. NEW WATER METER AND POTABLE WATER LINE
2. SANITARY SEWER SERVICE FOR GARAGE
3. FIRE SERVICE FOR ENTIRE BUILDING

CONSTRUCTION NOTES:

1. REMOVE EXISTING DRIVEWAY. FILL WITH CONCRETE TO MATCH PROPOSED SIDEWALK.
2. REMOVE EXISTING TREE.

NOTES:

1. SETBACKS: ALL BUILDING SETBACKS ARE 1.0' TO PROPERTY LINE.
3. THIS PLAN WAS PREPARED FOR PROJECT ENTITLEMENT PURPOSES.
4. DESIGN INFORMATION SHOWN IN TENTATIVE AND SUBJECT TO CHANGE BASED ON FINAL DETAILED ENGINEERING DESIGN.
5. EXISTING TOPOGRAPHIC FEATURES SHOWN IN GRAYS.
6. ALL SIDEWALKS, DRIVEWAYS, CURB & GUTTER SHOULD BE CONSTRUCTED PER THE CITY OF BURLINGAME STANDARD DRAWING SW-1: SIDEWALK, DRIVEWAY, CURB AND GUTTER.

BASIS OF BEARINGS

THE BEARINGS OF THIS SURVEY ARE BASED ON THE LINE BETWEEN FOUND CUT CROSSES ON THE CONCRETE WALK OF HOWARD AVENUE AS SHOWN ON PARCEL MAP 61 PM 72 BEARING TAKEN AS N48°29'30"E.

VERTICAL DATUM: ELEVATIONS SHOWN ARE BASED ON NAVD 88.

LEGEND

BACKFLOW PREVENTION	BOX	BOX
BOLLARD/POST	BWK	BACK OF WALK
CATCH BASIN	CB	CATCH BASIN
ELECTRIC BOX	DCV	DOUBLE DETECTOR CHECK VALVE
FIRE HYDRANT	DI	DRAINAGE INLET
FOUND MONUMENT	DWY	DRIVEWAY
GAS VALVE	ELEC	ELECTRIC
GAS METER	FF	FINISH FLOOR
GUY ANCHOR	FNC	FENCE
GUY POLE	GB	GRADE BREAK
HANDICAP ADA PARKING	INV	INVERT ELEVATION
JOINT UTILITY POLE	JP	JOINT POLE
LIGHT POLE	LP	LIGHT POLE
MONITORING WELL	MH	MANHOLE
SANITARY SEWER CLEAN OUT	MW	MONITORING WELL
SANITARY SEWER MANHOLE	SD	STORM DRAIN
SIGN	SDCB	STORM DRAIN CATCH BASIN
STORM DRAIN MANHOLE	SDCO	STORM DRAIN CLEAN OUT
TELEPHONE BOX	SDMH	STORM DRAIN MAN HOLE
WATER METER	SDPP	STORM DRAIN PERFORATED PIPE
WATER VALVE	SOTD	STORM DRAIN TRENCH DRAIN
BUILDING	SL	STREETLIGHT
CHAINLINK FENCE	SS	SANITARY SEWER
PROPERTY LINE	SSMH	SANITARY SEWER MANHOLE
WALL	SWK	SIDEWALK
ATT LINE	UTL	UTILITY
SANITARY SEWER LINE	WV	WATER VALVE
STORM DRAIN LINE	WM	WATER METER
WATERLINE	WMS	WETLAND MODULAR SYSTEM
SAWCUT LINE		
PROPOSED CONCRETE		
PROPOSED ASPHALT		
PROPOSED PERVIOUS PAVERS		
PROPOSED LANDSCAPE		
PROPOSED STORM DRAIN LINE		
PROPOSED STORM DRAIN PERFORATED PIPE		



128 LORTON AVENUE

CIVIL SITE PLAN, PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

C1.2

BURLINGAME

SAN MATEO COUNTY

CALIFORNIA

NO. 18102

JOB NO.

DATE

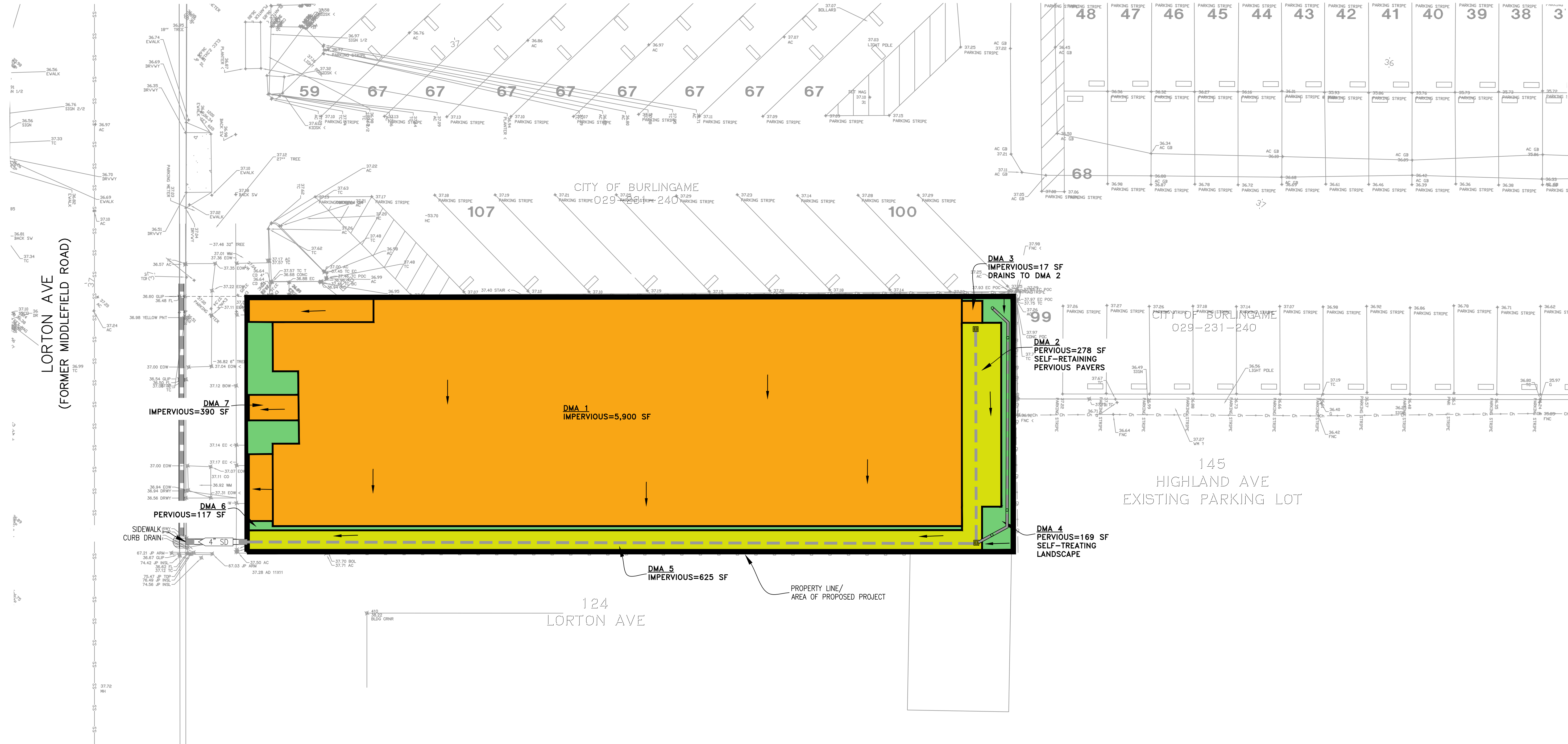
REVISIONS

Bellecci & Associates, inc.

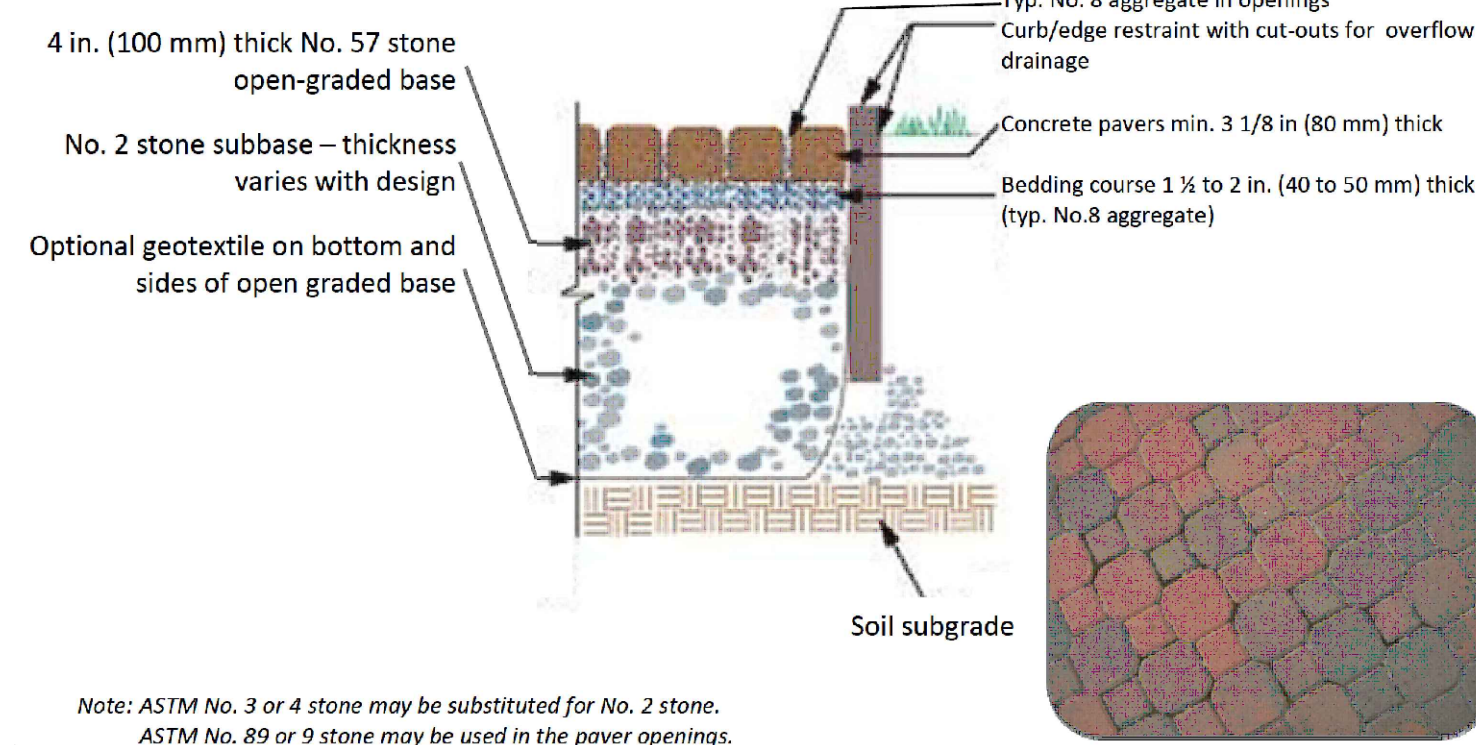
Civil Engineering • Land Surveying

2280 Diamond Boulevard, Suite 100 Concord, CA 94520

Phone (925) 885-4888 Fax (925) 885-4838



Permeable Interlocking Concrete Pavers



PERMEABLE PAVER DETAIL (TYP)

Note: ASTM No. 3 or 4 stone may be substituted for No. 2 stone.
ASTM No. 89 or 9 stone may be used in the paver openings.

TOTAL DMA SUMMARIZATION

PERVIOUS	
DMA 3	168 SF (SELF-TREATING)
DMA 4	897 SF (SELF-RETAINING)
DMA 5	117 SF (SELF-TREATING)
DMA 7	561 SF (SELF-TREATING)
DMA 9	95 SF (SELF-TREATING)
TOTAL	1,333 SF
IMPERVIOUS	
DMA 1	5,901 SF (TO SELF-RETAINING, DMA 4)
DMA 2	17 SF (IMPERVIOUS CONCRETE)
DMA 6	66 SF (IMPERVIOUS CONCRETE)
DMA 8	50 SF (IMPERVIOUS CONCRETE)
DMA 10	123 SF (IMPERVIOUS CONCRETE)
TOTAL	6,157 SF

*NOTE

- THIS PROJECT MEETS SITE DESIGN REQUIREMENTS FOR SMALL PROJECTS.
TOTAL PROJECT AREA = 7,490 SF
TOTAL REPLACED IMPERVIOUS AREA = 6,846 SF
- SMALL PROJECT ON-SITE SITE DESIGN MEASURES USED INCLUDE CONSTRUCT WALKWAY WITH PERMEABLE PAVERS, DIRECTING ROOF RUNOFF TO PERMEABLE PAVERS, AND SELF-TREATING LANDSCAPE AREAS.

LEGEND

BACKFLOW PREVENTION	BOX	BOX
BOLLARD/POST	CB	CATCH BASIN
CATCH BASIN	DI	DRAINAGE INLET
ELECTRIC BOX	ELEC	ELECTRIC
FIRE HYDRANT	FNC	FENCE
FOUND MONUMENT	JP	JOINT POLE
GAS VALVE	LP	LIGHT POLE
GAS METER	MH	MANHOLE
GUY ANCHOR	MW	MONITORING WELL
GUY POLE	SD	STORM DRAIN
HANDICAP ADA PARKING	SDCO	STORM DRAIN CLEAN OUT
JOINT UTILITY POLE	SDMH	STORM DRAIN MAN HOLE
LIGHT POLE	SL	STREETLIGHT
MONITORING WELL	SS	SANITARY SEWER
SANITARY SEWER CLEAN OUT	SSMH	SANITARY SEWER MANHOLE
SANITARY SEWER MANHOLE	UTIL	UTILITY
SIGN	WV	WATER VALVE
STORM DRAIN MANHOLE	WM	WATER METER
TELEPHONE BOX		
WATER METER		
WATER VALVE		
PROPERTY LINE		
WALL		
ATT LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
WATERLINE		
DMA BOUNDARY LINE		
DMA - IMPERVIOUS (TREATED)		
DMA - IMPERVIOUS (NOT TREATED)		
DMA - SELF-TREATING/PERVIOUS LANDSCAPE		
STORM DRAIN PERFORATED PIPE		
STORM DRAIN LINE		
DIRECTION OF FLOW		

PRELIMINARY
4TH SUBMITTAL - FEB. 10, 2020

FRONT SETBACK LANDSCAPING

(CODE SECTION 26.30.010 (E) (1))

50% OF THE FRONT SETBACK OF THE BUILDING SHALL BE SOFT LANDSCAPING.

FRONT SETBACK AREA: 250 SF (5' X 50')

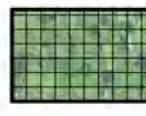
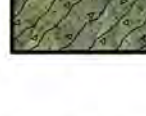
50% OF FRONT SETBACK AREA: 125 SF (0.50 X 250 SF)

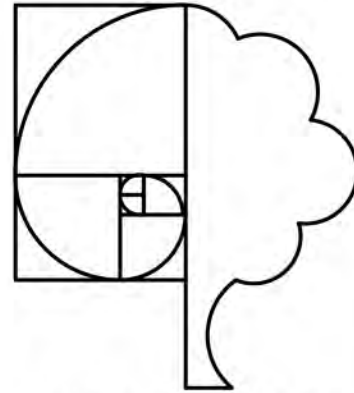
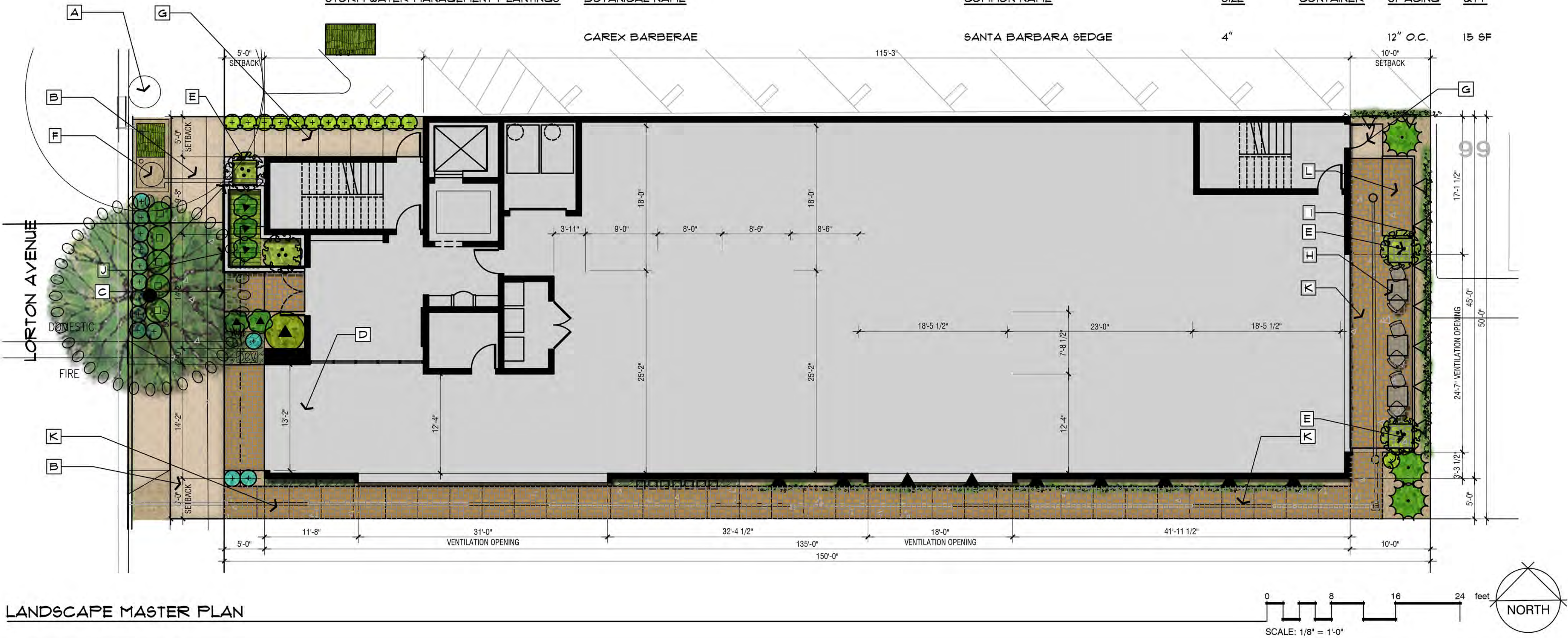
THE LANDSCAPING AREA PROVIDED WITHIN THE FRONT SETBACK AREA MEASURES 121.3 SF (48.5% OF FRONT SETBACK AREA). AN ADDITIONAL 45 SF IS WITHIN THE ALCOVE FOR A TOTAL OF 167.2 SF OF LANDSCAPE AREA

PLAN NOTES:

- A. EXISTING STREET TREE TO REMAIN (MAGNOLIA GRANDIFLORA)
- B. NEW SIDE WALK
- C. DECORATIVE CONCRETE ENTRANCE TO BUILDING
- D. CONCRETE DRIVE WAY
- E. 36" SQUARE X 42" HIGH DECORATIVE PLANTER
- F. STORM WATER MANAGEMENT AREA, REFER TO THE PLANT LEGEND
- G. FIRE ACCESS CONCRETE WALK WAY
- H. BISTRO TABLE AND CHAIRS
- I. EVERGREEN VINES ON FENCE
- J. 18" HIGH RAISED PLANTER / BENCH
- K. PERVIOUS PAVERS FOR SELF-RETAINING STORM WATER MANAGEMENT
- L. "DOUBLEUP SINGLE SIDED RACK" MODEL: 543-4010VERTICAL BIKE STORAGE: 4 RACK / 8 BIKE (93" SPAN, APPROX 108" W/BIKES)

PLANT SCHEDULE

TREES	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	DWARF SOUTHERN MAGNOLIA	24"		1	
SHRUBS	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	
	ACER PALMATUM 'DISSECTUM ATROPURPUREUM EVER RED'	EVER RED JAPANESE LACELEAF MAPLE	24"	BOX	4	
	AZALEA SATSUKI HYBRID 'GUMPO WHITE'	SATSUKI AZALEA	1 GAL.		5	
	DAFNE ODORA 'MARGINATA'	WINTER DAPHNE	5 GAL.		1	
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL.		3	
PERENNIALS	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL.		5	
	FESTUCA OVINA GLAUCA 'SISKIYOU BLUE'	BLUE FESCUE	1 GAL.		13	
	HEUCHERA SANGUINEA	CORAL BELLS	1 GAL.		13	
VINES	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	
	CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	5 GAL.		3	
	FICUS PUMILA	CREEPING FIG	5 GAL.		3	
GROUND COVERS	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>	<u>QTY</u>
	CAMPANULA POSCHARSKYANA	SIBERIAN BELLFLOWER	4"		12" O.C.	39 SF
	LAMIUM MACULATUM 'BEACON SILVER'	BEACON SILVER LAMIUM	4"		12" O.C.	4 SF
MATERIALS	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>	<u>QTY</u>
	3/4 CRUSHED ROCK SONOMA GOLD OR EQUAL	2" DEPTH OVER LANDSCAPE FABRIC	2" DEPTH			46 SF
STORM WATER MANAGEMENT PLANTINGS	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>	<u>QTY</u>
	CAREX BARBERAE	SANTA BARBARA SEDGE	4"		12" O.C.	15 SF



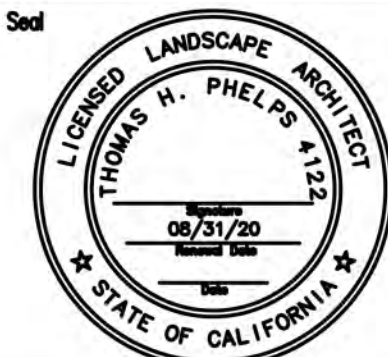
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THPLA, Inc.

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thphelps@sbcglobal.net

128 LORTON AVENUE RESIDENTIAL
LANDSCAPE IMPROVEMENT PLANS
128 LORTON AVENUE
BURLINGAME, CALIFORNIA

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Sheet Title
LANDSCAPE PLAN



No. Date Revision

Project Mgr: THP
Drawn By: THP
Scale: 1/8"=1'-0"
Date: 01 FEB 2020
File Name: 18-038 of sheets