

1812 CASTENADA DR.

APN: 025091200  
SITE ADDRESS: 1812 CASTENADA DR.  
SITE CITY STATE ZIP: BURLINGAME, CA 94010  
EXISTING STORIES: 1  
PROPOSED STORIES: 2  
EXISTING UNITS: 1  
CONSTRUCTION: TYPE VB  
ZONING: R1  
OCCUPANCY: R-3 (SINGLE FAMILY RESIDENTIAL)

LOT AREA: 6,699 SQFT

EXISTING:  
GROUND FLOOR AREA: 1,620 SQFT  
GARAGE: 389 SQFT  
TOTAL: 2,009 SQFT

PROPOSED:  
GROUND FLOOR AREA: 1,800 SQFT  
SECOND FLOOR: 720 SQFT  
GARAGE: 389 SQFT  
TOTAL AREA: 2,909 SQFT

HOMEOWNER & CONTRACTOR:  
TO VERIFY ALL DIMENSIONS,STRUCTURAL DETAILS, AND BUILDING CODES.

ALL WORKS SHALL COMPLY WITH:  
2022 California Building Code  
2022 California Electrical Code  
2022 California Mechanical Code  
2022 California Plumbing Code  
2022 California Energy Code

ALL WORKS SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS TITLE 24:  
2022Residential Building Code  
2022 Green Building Standards Code

CONSTRUCTION HOURS:  
No person shall erect (including excavation and grading), demolish, alter or repair any building or structure other than between the following hours except in the case of urgent necessity in the interest of public health and safety, and then only with prior written approval from the Building Official, which approval shall be granted for a period not to exceed three days. No work on Sundays and Holidays.

Holidays are the first day of January, the third Monday of February, the last Monday of May, the fourth day of July, the first Monday of September, the eleventh day of November, the fourth Thursday in November and the twenty-fifth day of December. If the first day of January, the fourth day of July, the eleventh day of November, or the twenty-fifth day of December falls upon a Sunday the following Monday is a holiday. Provide the following construction hours on the plans per City of Burlingame Municipal Code 18.07.110.

Monday through Friday: 8AM TO 7PM  
Saturdays: 9AM TO 6PM

INDEX:

- T1.0 COVER SHEET
- A1.0 BLOCK MAP/ EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 LOT COVERAGE AND FAR DIAGRAM
- A1.3 EXISTING/ PROPOSED ROOF PLANS
- A2.0 EXISTING/ PROPOSED FIRST FLOOR PLANS
- A2.1 PROPOSED SECOND FLOOR
- A3.0 EXISTING/ PROPOSED ELEVATIONS/ SECTION
- A4.0 EXISTING/ PROPOSED ELEVATIONS
- A5.0 EXISTING/ PROPOSED ELEVATIONS
- A6.0 EXISTING/ PROPOSED ELEVATIONS
- D1.0 DETAILS
- R1.0 RENDERS

REVISED

RECEIVED

JUL 9, 2025

CITY OF BURLINGAME  
CDD-PLANNING DIVISION

SCOPE OF WORK:

- 1. REMODEL (E) KITCHEN
- 2. INSTALL (N) WINDOWS
- 3. REMOVE (E) FIREPLACE
- 4. BUILD SECOND FLOOR ADDITION
- 5. BUILD SECOND STORY DECK IN REAR OF PROPERTY



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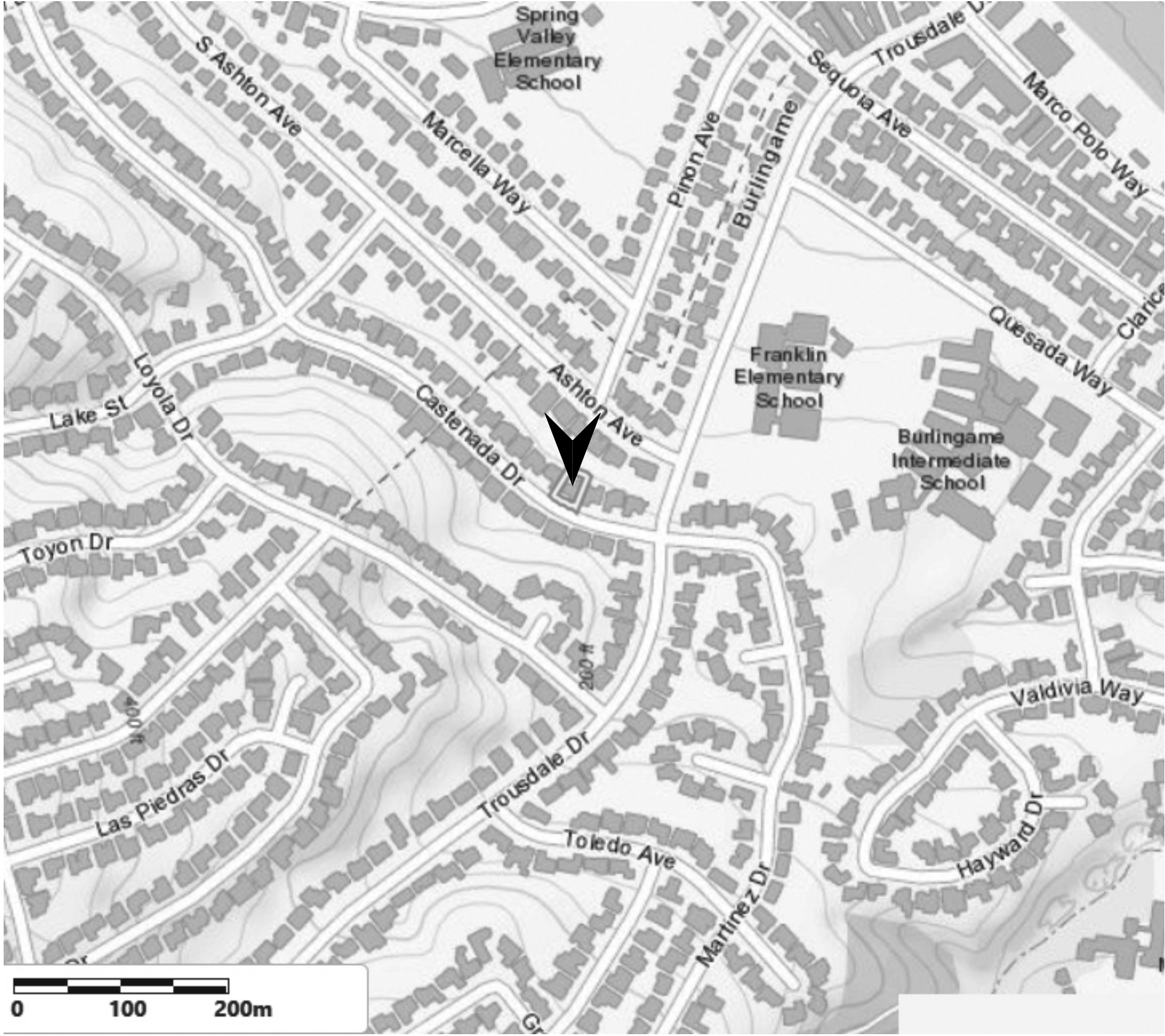
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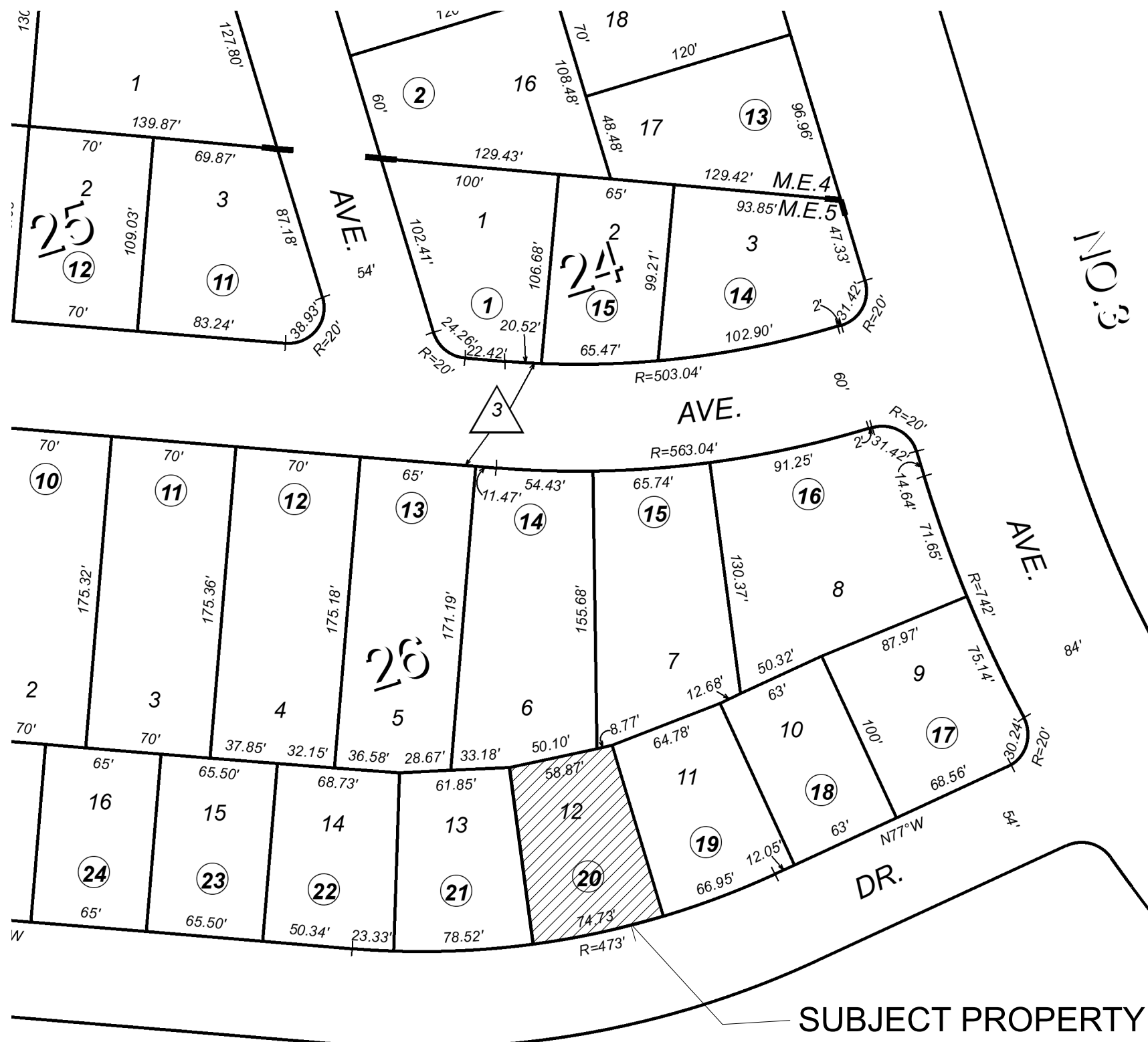
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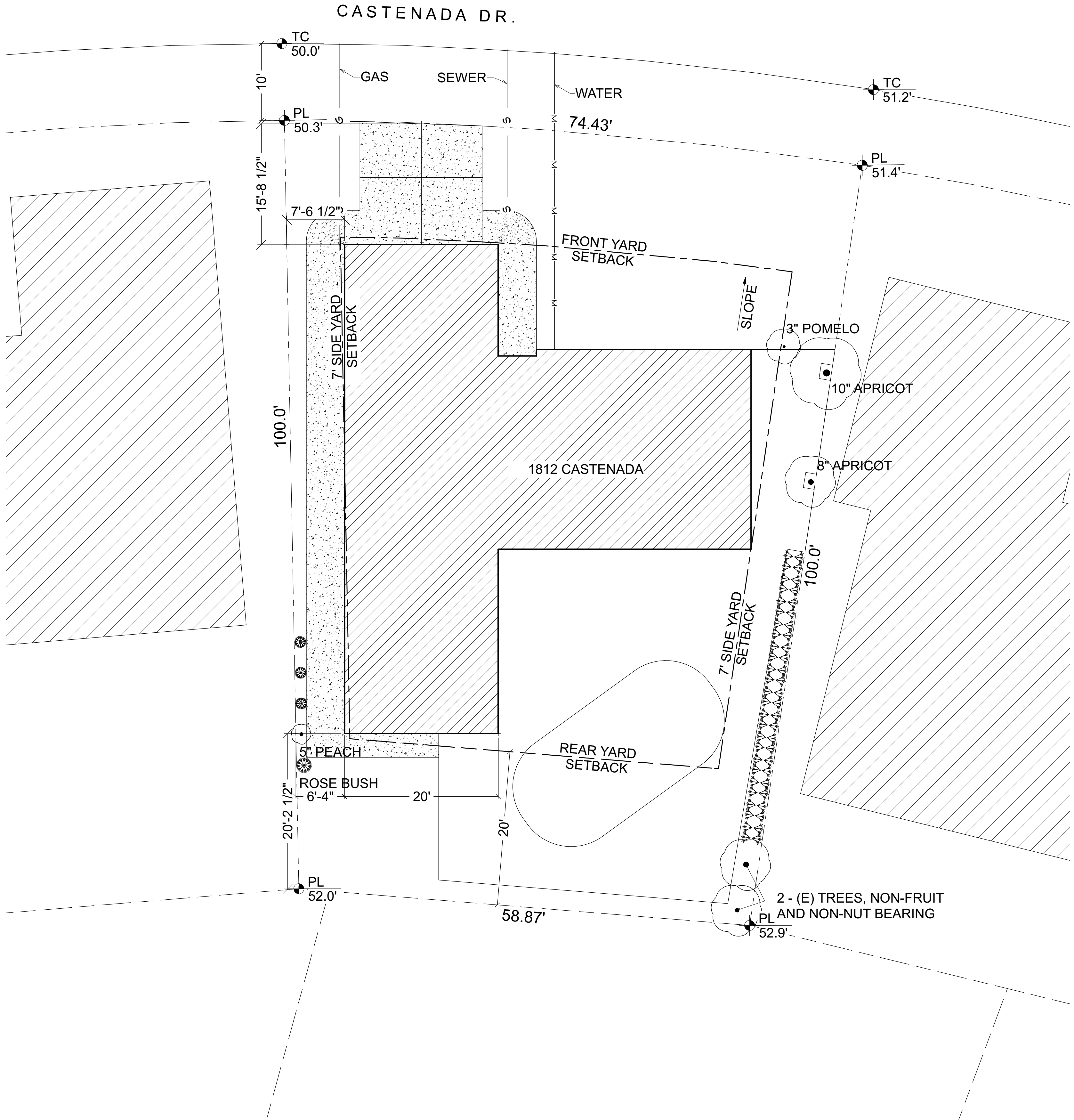




1 NEIGHBORHOOD MAP



2 BLOCK MAP



3 EXISTING SITE PLAN



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1/8" = 1'-0"  
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LEGEND

- ADDITION
- EXISTING BUILDING

CASTENADA DRIVE SETBACK CALCULATION		
ADDRESS	SETBACK	EXCLUDE MIN./MAX.
1804 CASTENADA DR.	15.5'	
1808 CASTENADA DR.	16'	
1812 CASTENADA DR.	15.5'	N/A
1820 CASTENADA DR.	16'	
1826 CASTENADA DR.	17'	
1830 CASTENADA DR.	16'	
1834 CASTENADA DR.	16.5'	
1838 CASTENADA DR.	19'	
370 CASTENADA DR.	20'	
360 CASTENADA DR.	22'	
350 CASTENADA DR.	22.5'	N/A
340 CASTENADA DR.	22'	
330 CASTENADA DR.	22'	
320 CASTENADA DR.	21'	
320 CASTENADA DR.	21'	
310 CASTENADA DR.	15.5'	
AVERAGE CALC	280.5 / 15	
ALLOWABLE SETBACK	18.7 OR 18'-08"	



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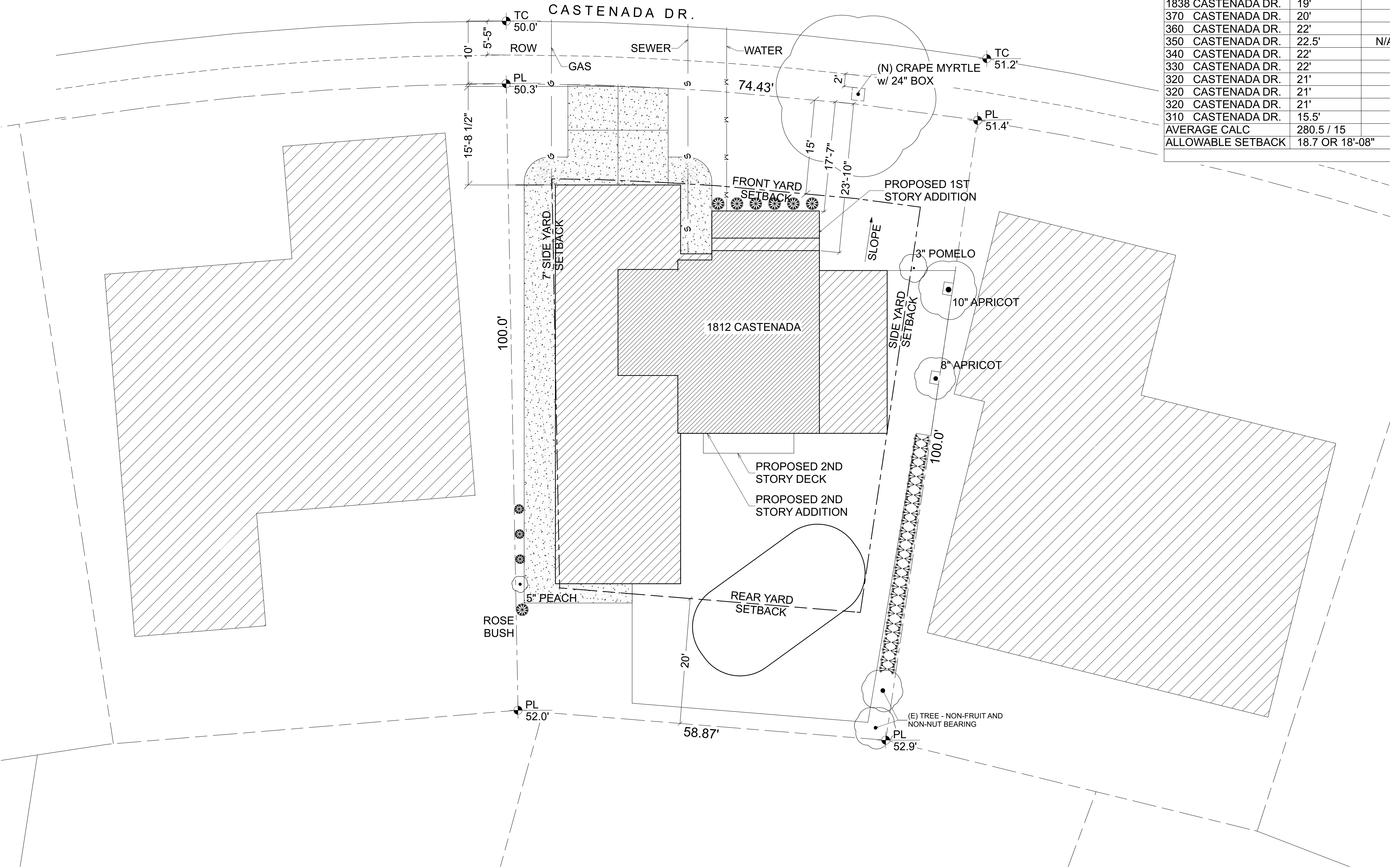
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A1.1







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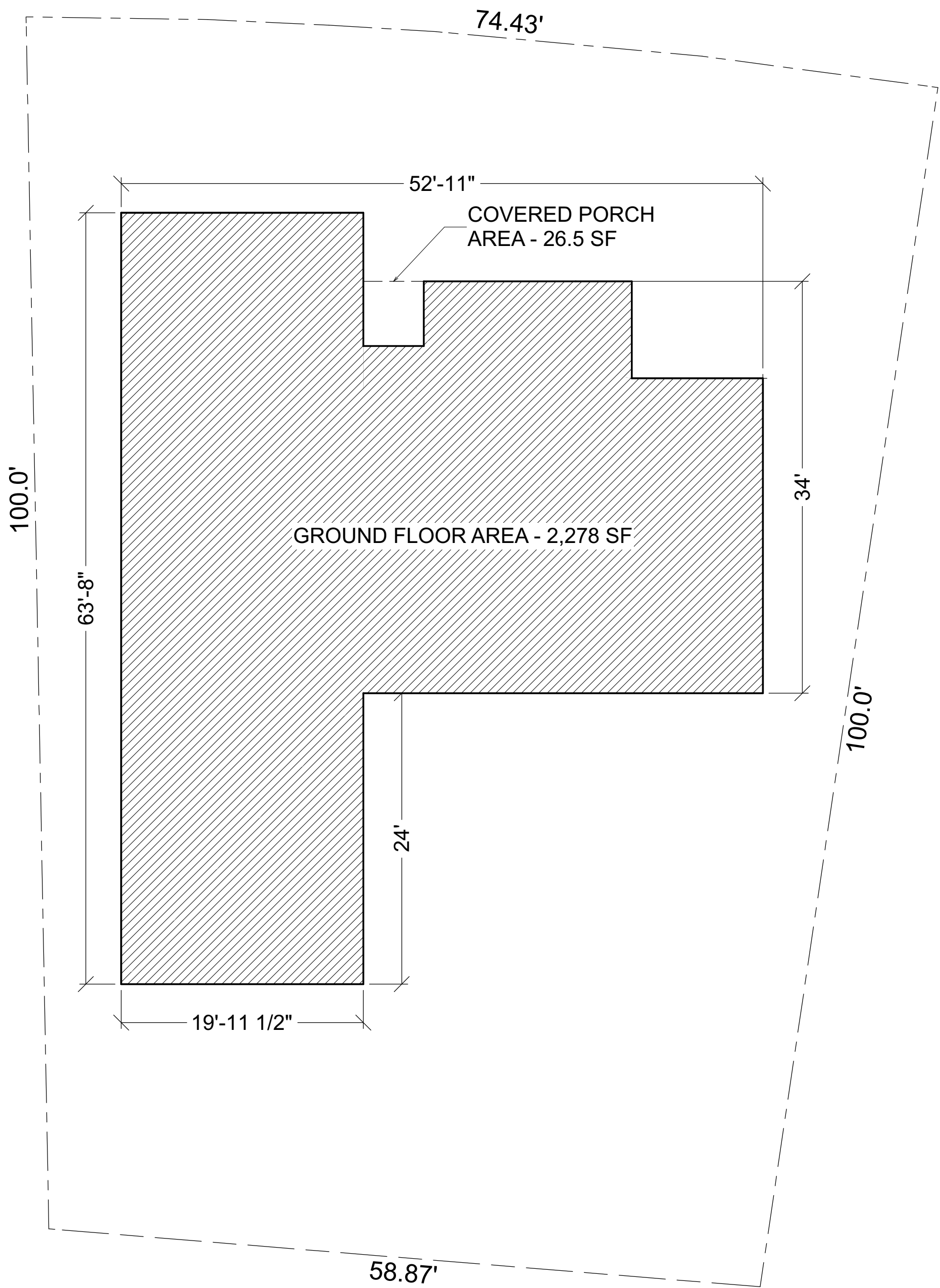
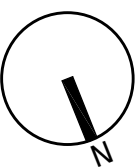


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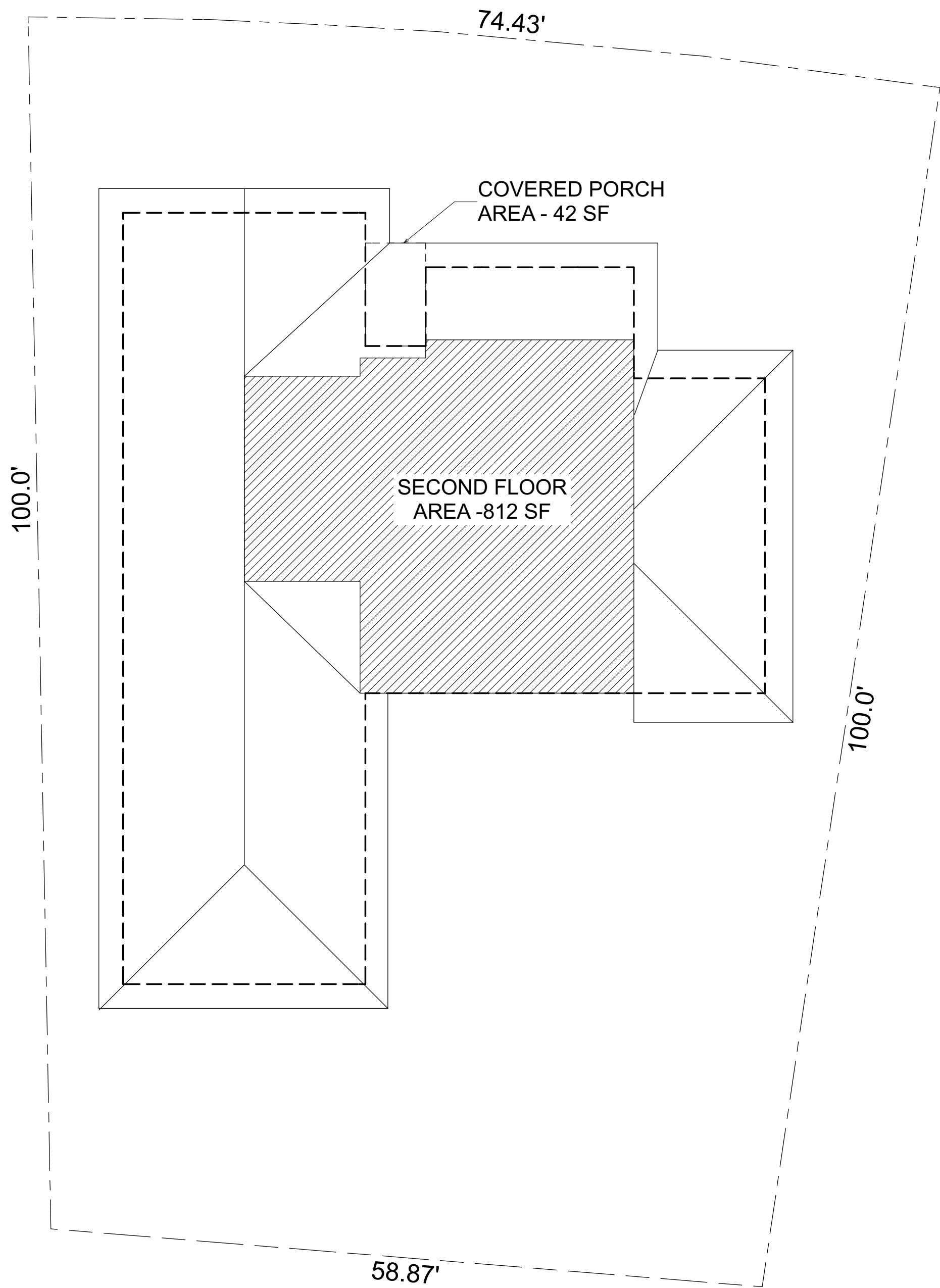
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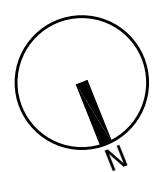
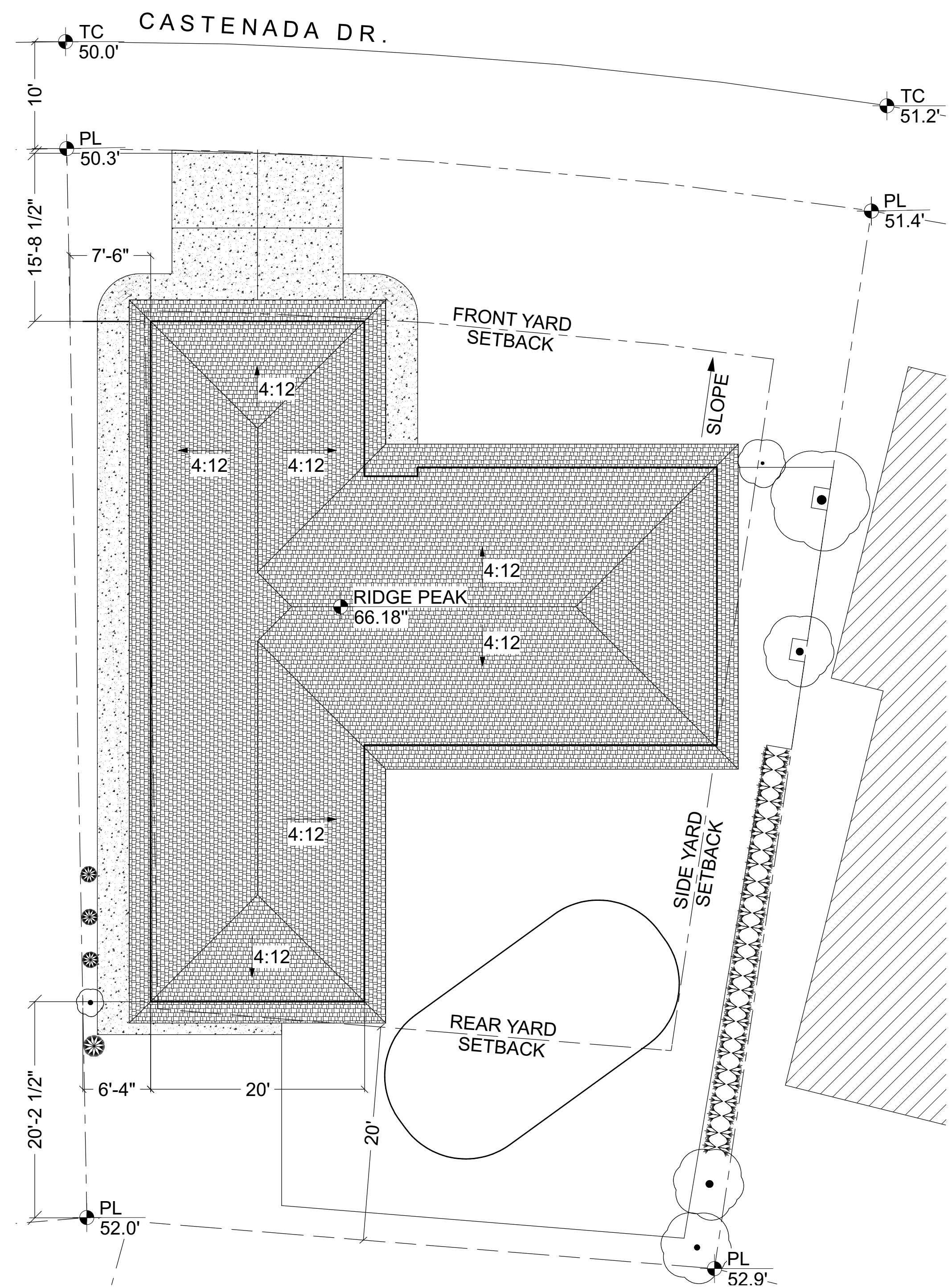


FIRST FLOOR

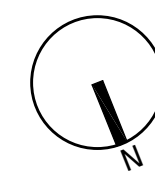
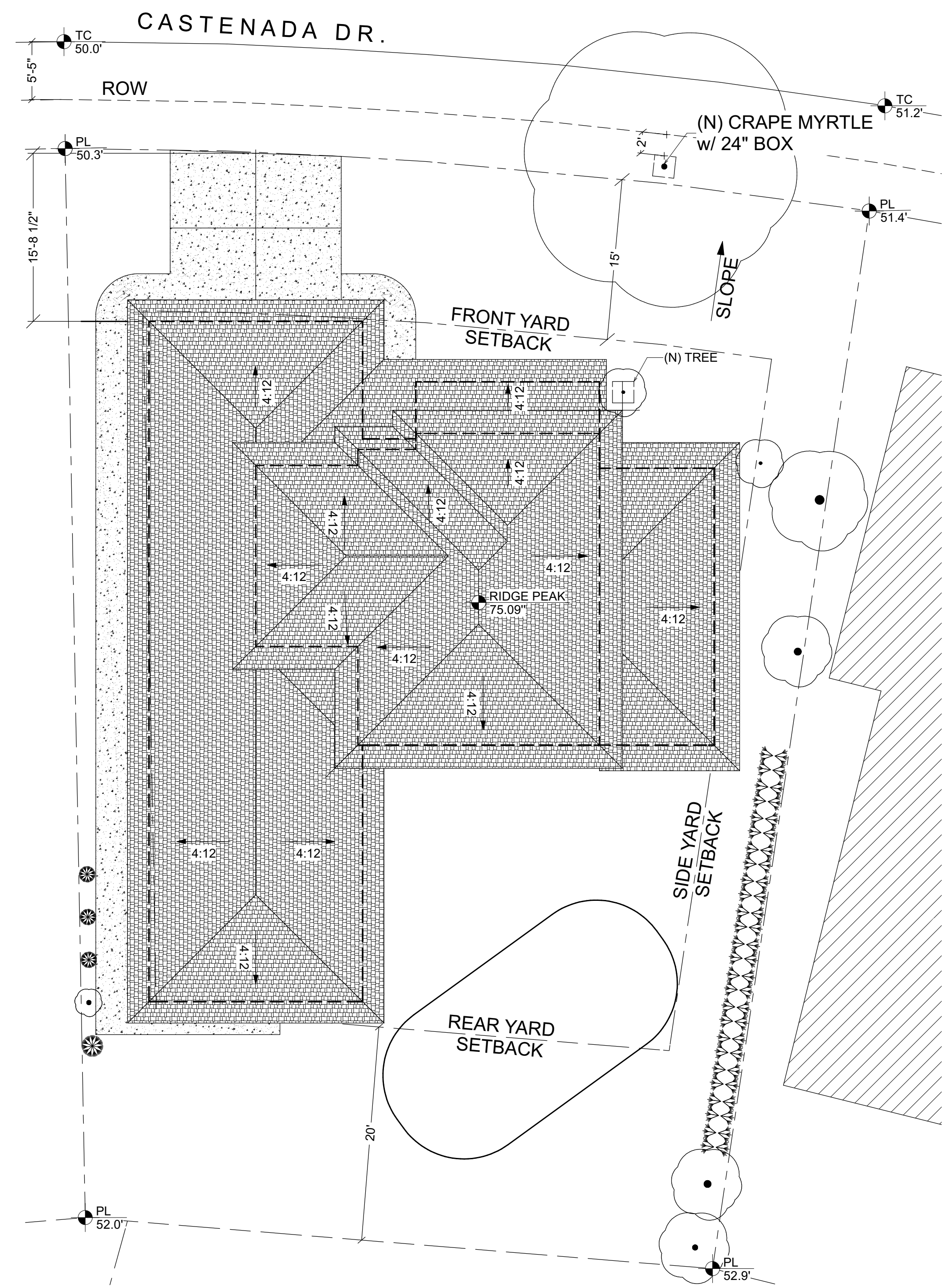


SECOND FLOOR

**CALCULATIONS**  
PROPOSED LOT COVERAGE  
FOOT PRINT / LOT SIZE (SF) = LOT COVERAGE  
2278 / 6699 = 0.34  
PROPOSED FAR  
TOTAL SF / LOT SIZE (SF) = FLOOR AREA RATIO  
3066 / 6699 = 0.46



1 EXISTING ROOF PLAN



2 PROPOSED ROOF PLAN



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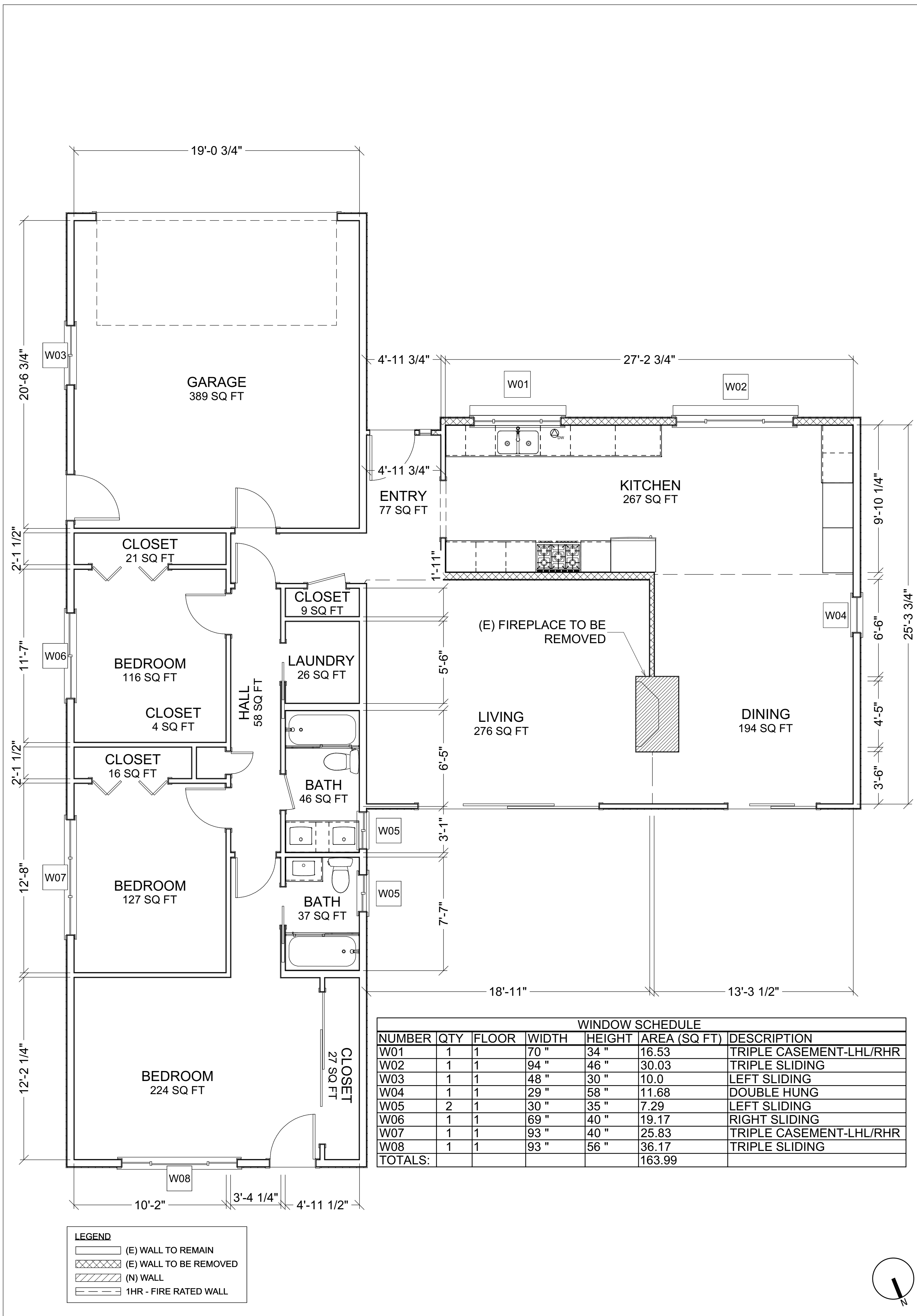
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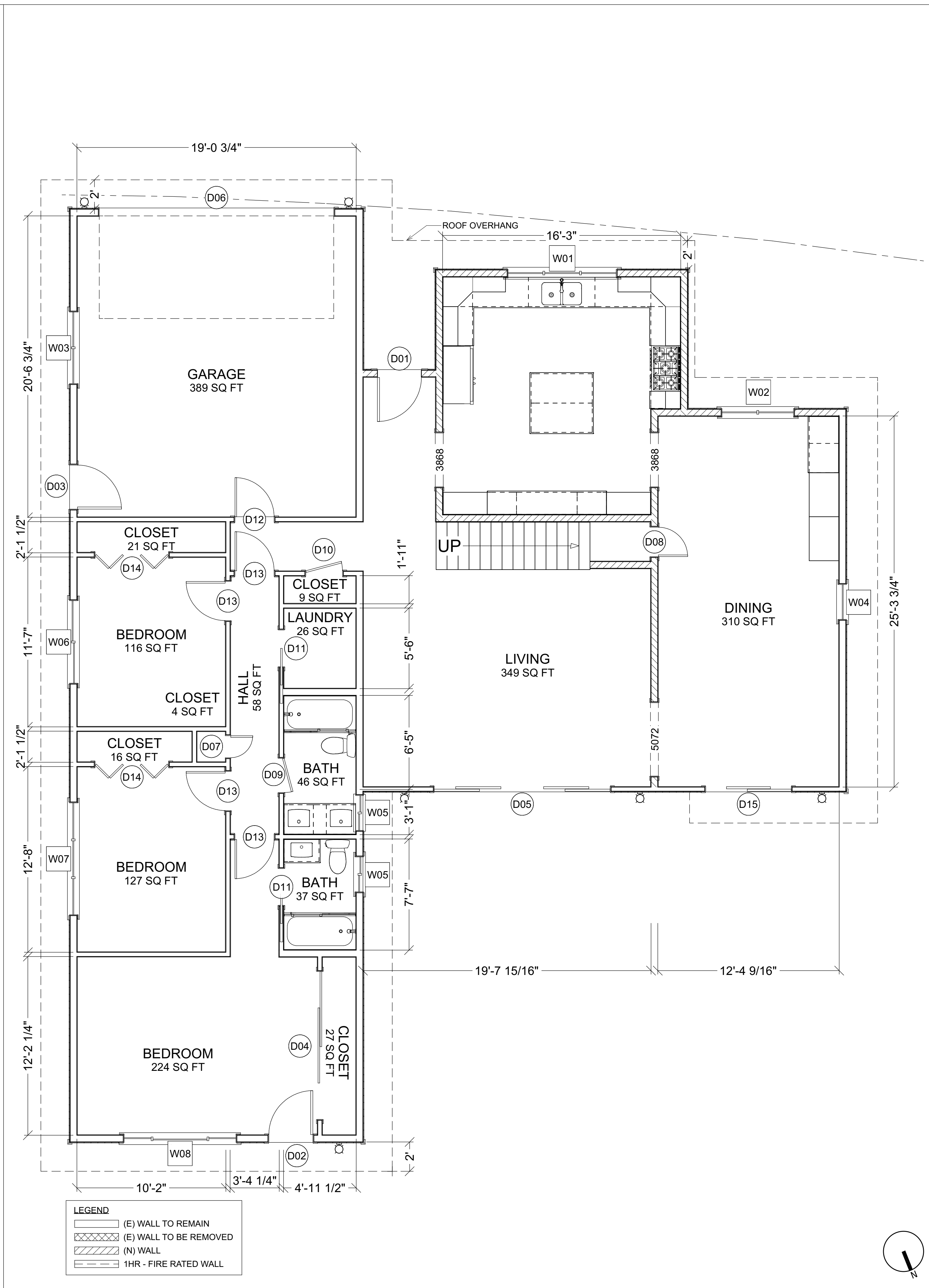
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1 EXISTING GROUND FLOOR PLAN



2 PROPOSED GROUND FLOOR PLAN



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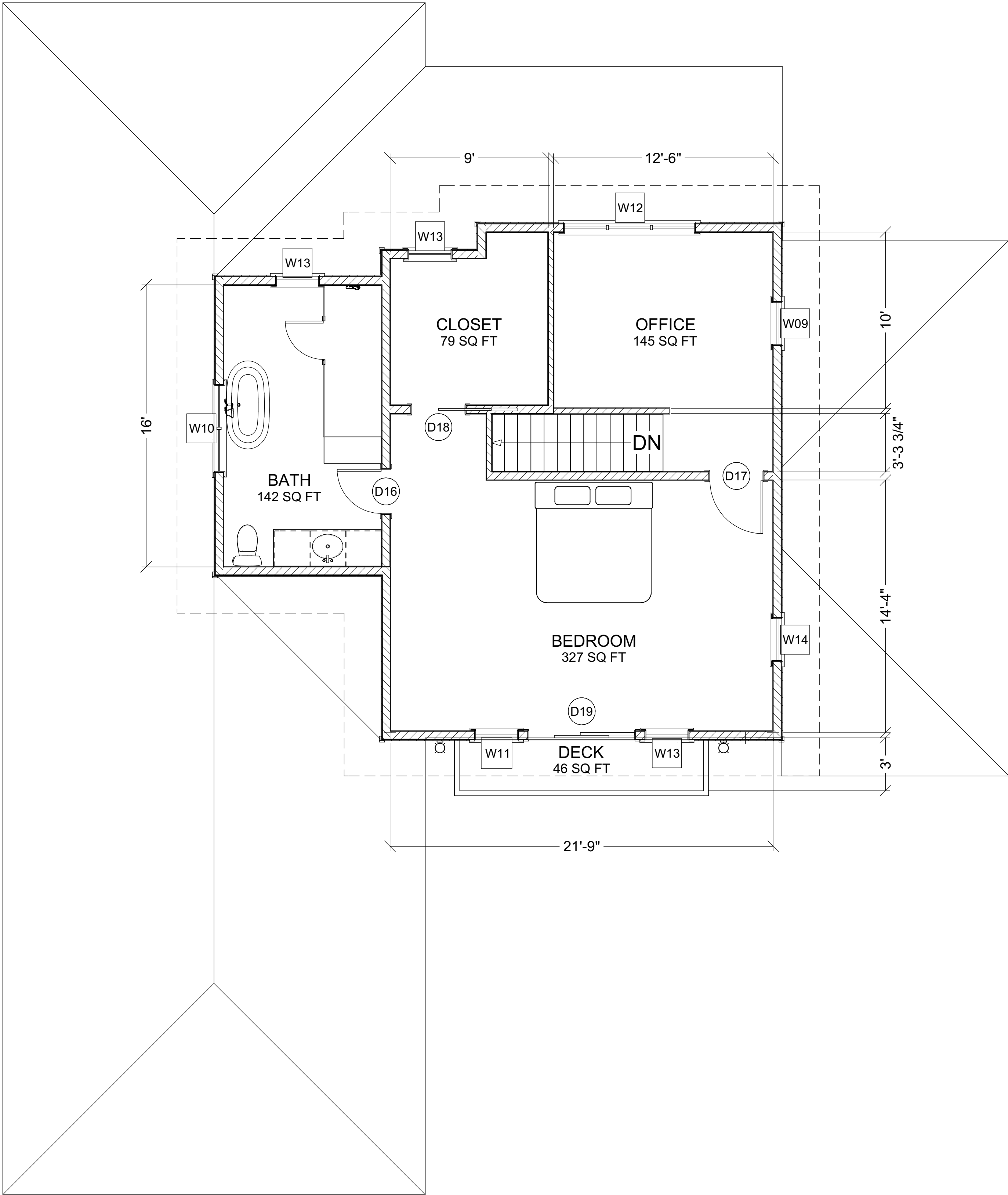


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LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL
	1HR - FIRE RATED WALL

WINDOW SCHEDULE							
NUMBER	QTY	FLR	WIDTH	HEIGHT	AREA (SQ FT)	DESCRIPTION	STATUS
W01	1	1	90 "	40 "	25.0	TRIPLE CASEMENT-LHL/RHR	NEW
W02	1	1	60 "	50 "	20.83	DOUBLE CASEMENT-LHL/RHR	NEW
W03	1	1	60 "	30 "	12.5	DOUBLE CASEMENT-LHL/RHR	EXISTING - SAME SIZE
W04	1	1	30 "	53 "	11.04	SINGLE CASEMENT-HL	EXISTING - SAME SIZE
W05	2	1	30 "	35 "	7.29	LEFT SLIDING	EXISTING - SAME SIZE
W06	1	1	69 "	40 "	19.17	RIGHT SLIDING	EXISTING - SAME SIZE
W07	1	1	93 "	40 "	25.83	TRIPLE CASEMENT-LHL/RHR	EXISTING - SAME SIZE
W08	1	1	93 "	56 "	36.17	TRIPLE SLIDING	EXISTING - SAME SIZE
W09	1	2	30 "	48 "	10.0	SINGLE CASEMENT-HL	NEW
W10	1	2	60 "	46 "	19.17	DOUBLE CASEMENT-LHL/RHR	NEW
W11	1	2	30 "	46 "	9.58	SINGLE CASEMENT-HR	NEW
W12	1	2	90 "	46 "	28.75	TRIPLE CASEMENT-LHL/RHR	NEW
W13	3	2	30 "	46 "	9.58	SINGLE CASEMENT-HL	NEW
W14	1	2	30 "	48 "	10.0	SINGLE CASEMENT-HR	NEW
TOTALS:					271.36		

DOOR SCHEDULE							
NUMBER	QTY	FLR	WIDTH	HEIGHT	DESCRIPTION	STATUS	
D01	1	1	36 "	80 "	EXT. HINGED-DOOR 1	NEW	
D02	1	1	36 "	80 "	EXT. HINGED-DOOR 2	NEW	
D03	1	1	36 "	80 "	EXT. HINGED-DOOR 3	NEW	
D04	1	1	121 "	80 "	SLIDER-DOOR	EXISTING	
D05	1	1	144 "	80 "	EXT. QUAD SLIDER-GLASS PANEL	NEW	
D06	1	1	192 "	84 "	GARAGE-PANEL	NEW	
D07	1	1	18 "	80 "	HINGED-DOOR	EXISTING	
D08	1	1	24 "	80 "	HINGED-DOOR	NEW	
D09	1	1	28 "	80 "	HINGED-DOOR	EXISTING	
D10	1	1	30 "	80 "	HINGED-DOOR	EXISTING	
D11	2	1	30 "	80 "	POCKET-DOOR	EXISTING	
D12	1	1	32 "	80 "	EXT. HINGED-DOOR	EXISTING	
D13	4	1	32 "	80 "	HINGED-DOOR	EXISTING	
D14	2	1	60 "	80 "	4 DR. BIFOLD-LOUVERED	EXISTING	
D15	1	1	70 "	80 "	EXT. SLIDER-GLASS PANEL	NEW	
D16	1	2	36 "	80 "	HINGED-DOOR	NEW	
D17	1	2	30 "	80 "	HINGED-DOOR	NEW	
D18	1	2	36 "	80 "	POCKET-DOOR	NEW	
D19	1	2	72 "	80 "	EXT. SLIDER-GLASS PANEL	NEW	



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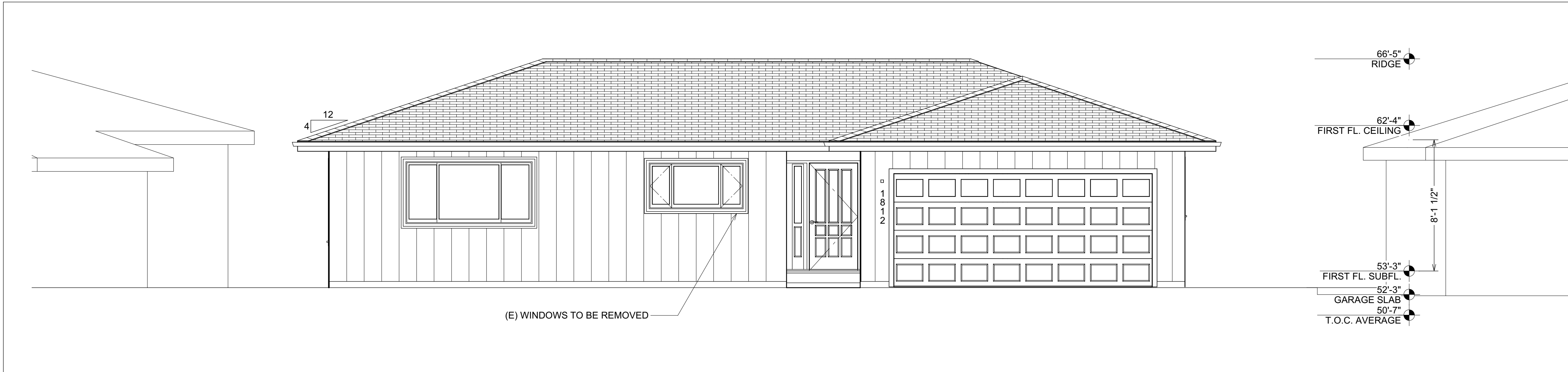
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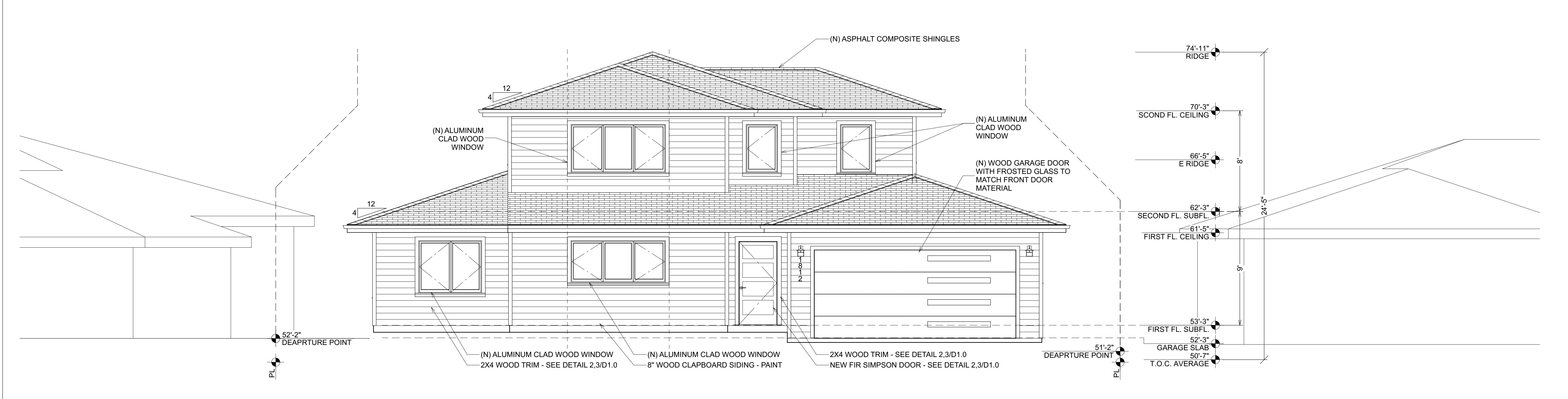




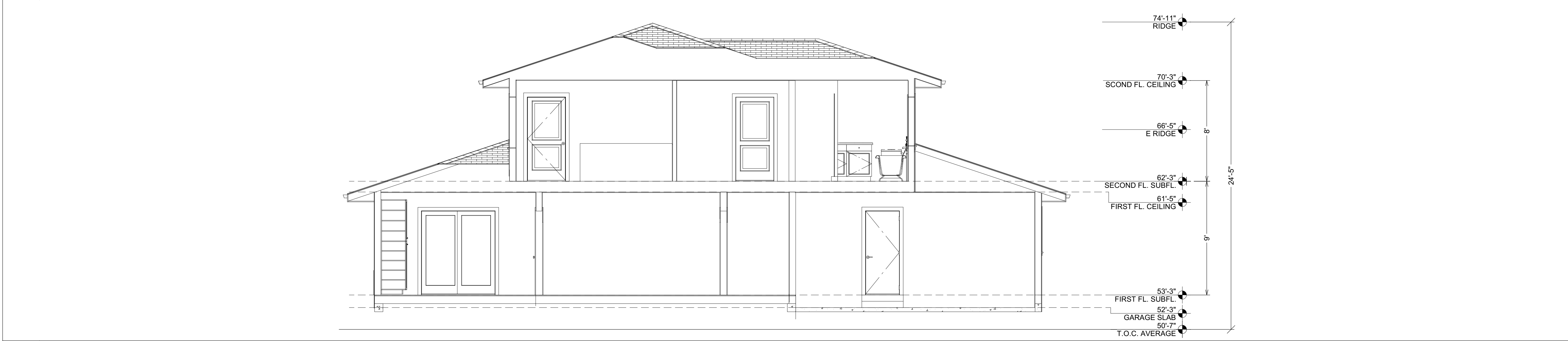
NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, SHALL BE A MINIMUM OF ONE-HALF INCH STROKE BY FOUR INCHES HIGH, AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE PER CITY OF BURLINGAME MUNICIPAL CODE 18.08.010. 2019 CBC 502.1

1 EXISTING SOUTH (FRONT) ELEVATION

4 BUILDING ADDRESS NOTE



2 PROPOSED SOUTH (FRONT) ELEVATION



3 PROPOSED SECTION



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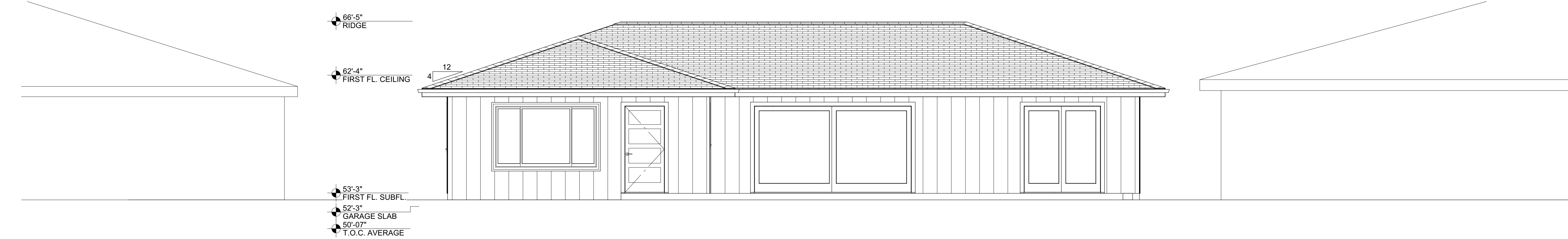
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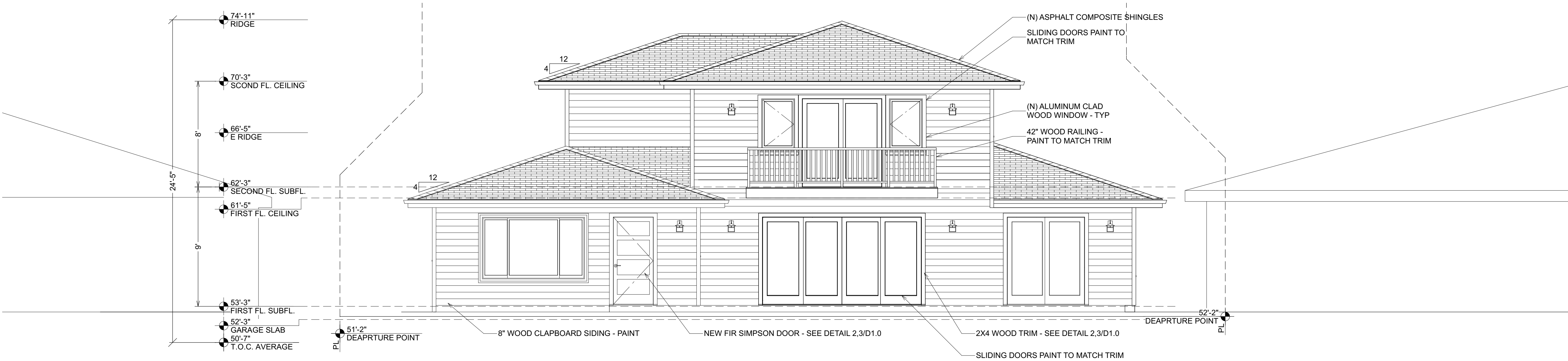
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1 EXISTING NORTH (REAR) ELEVATION



2 PROPOSED NORTH (REAR) ELEVATION

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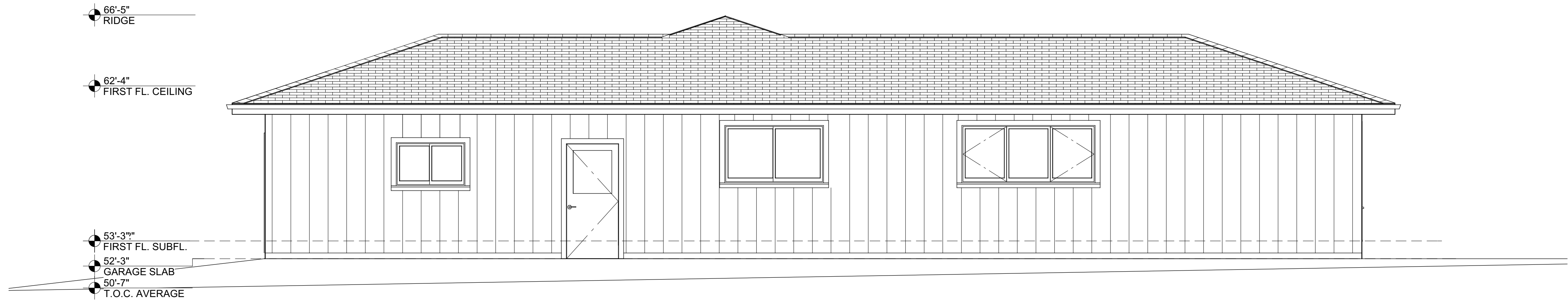


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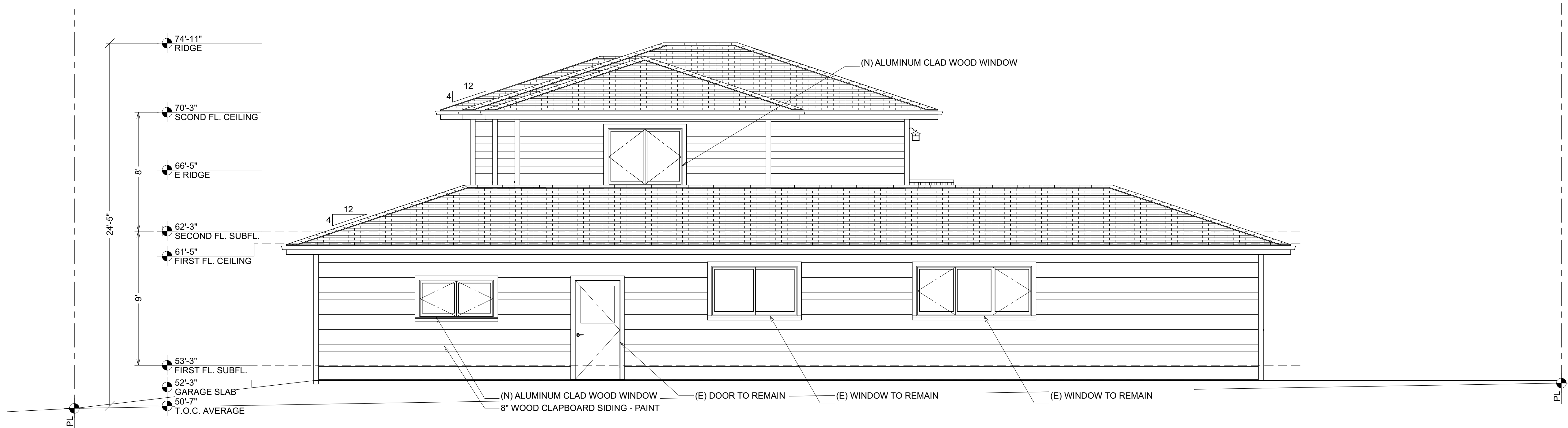
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1 EXISTING EAST (LEFT) ELEVATION



2 PROPOSED EAST (LEFT) ELEVATION



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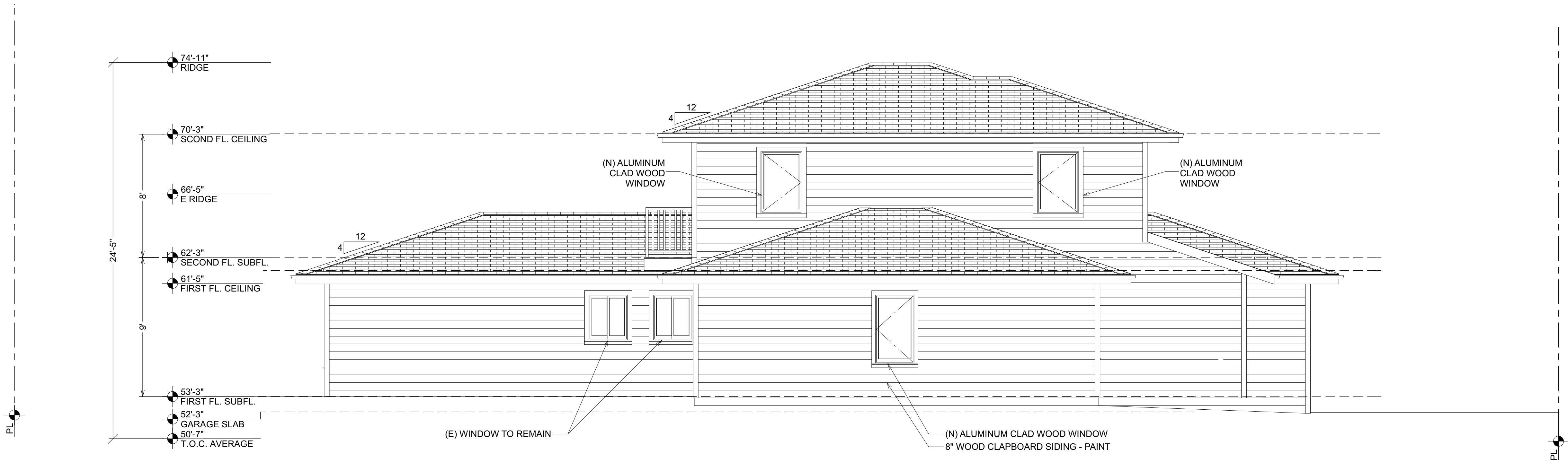


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1 EXISTING WEST (RIGHT) ELEVATION

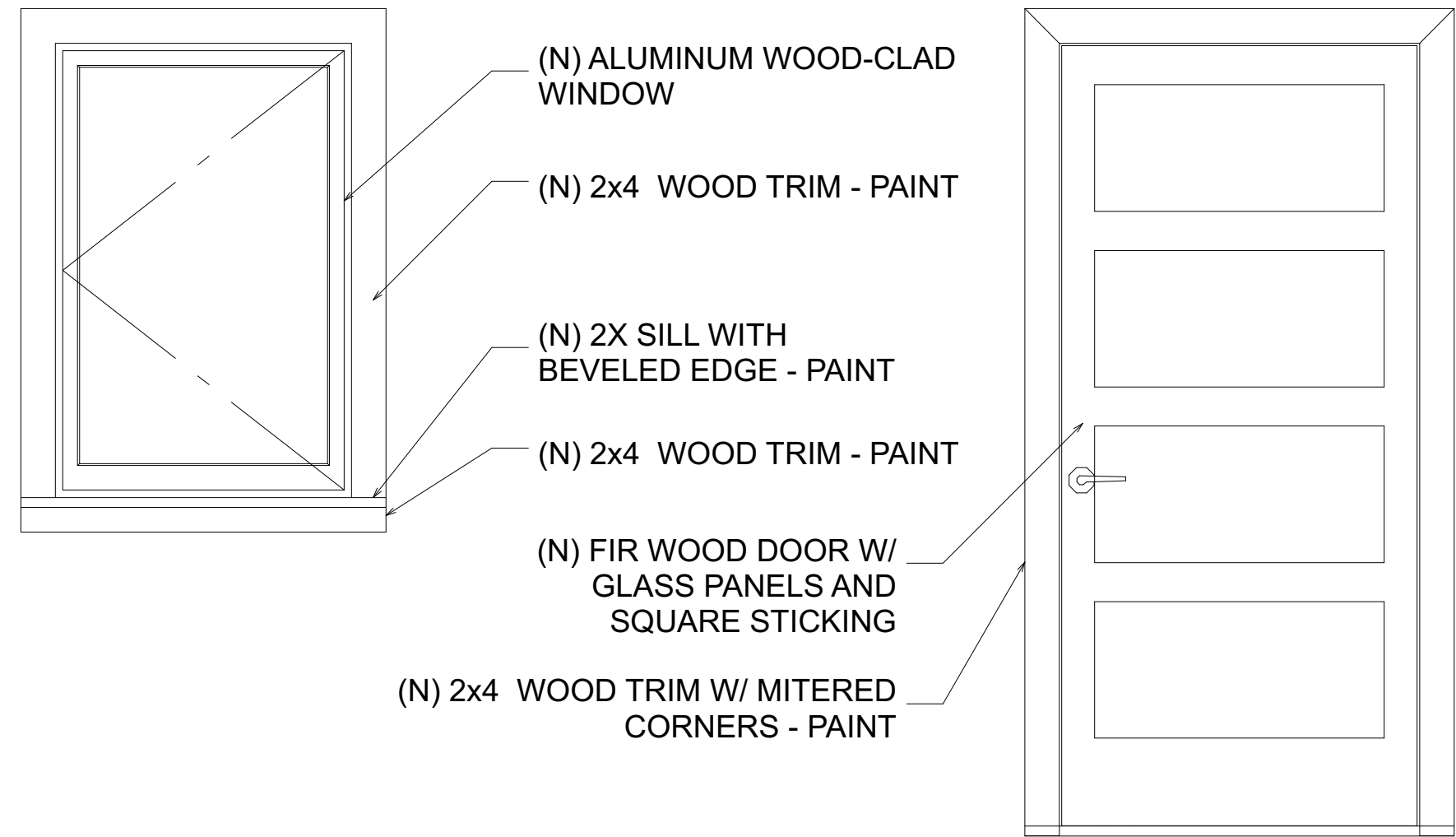
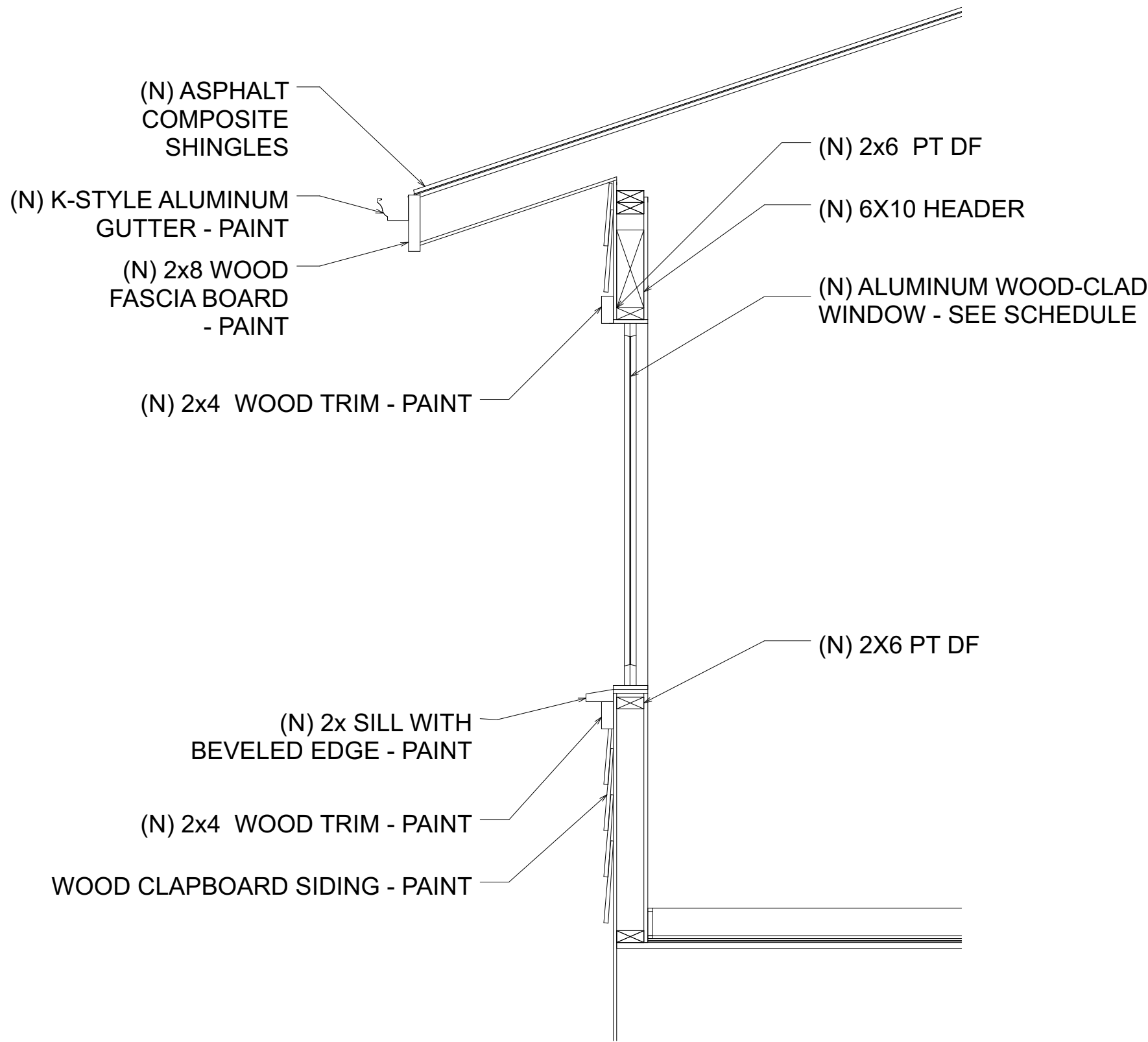
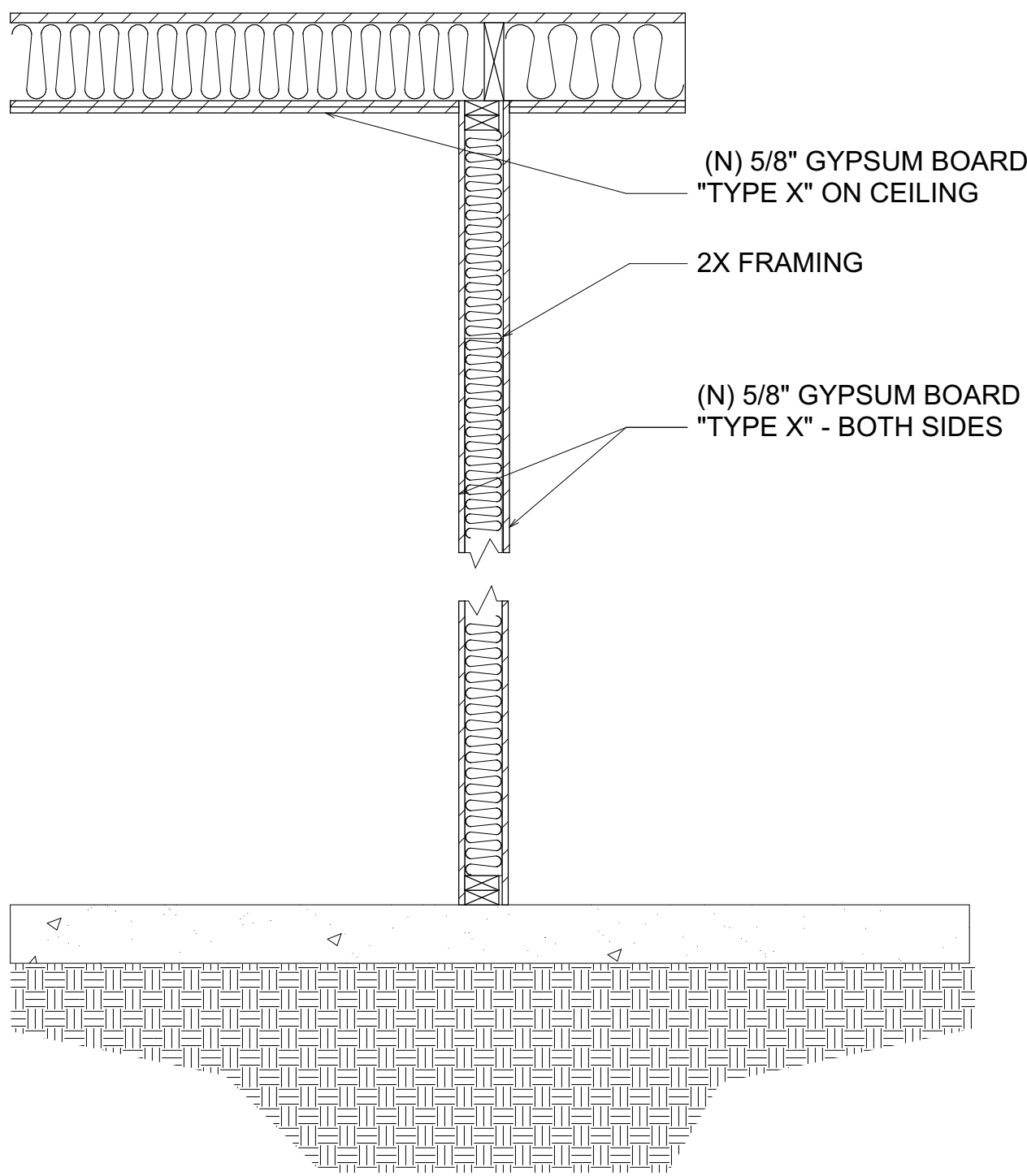


2 PROPOSED WEST (RIGHT) ELEVATION

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1 1-HR RATED FIRE WALL

2 FACADE FINISH DETAIL - TYP.

3 EXTERIOR WINDOW AND DOOR TRIM DETAIL - TYP.



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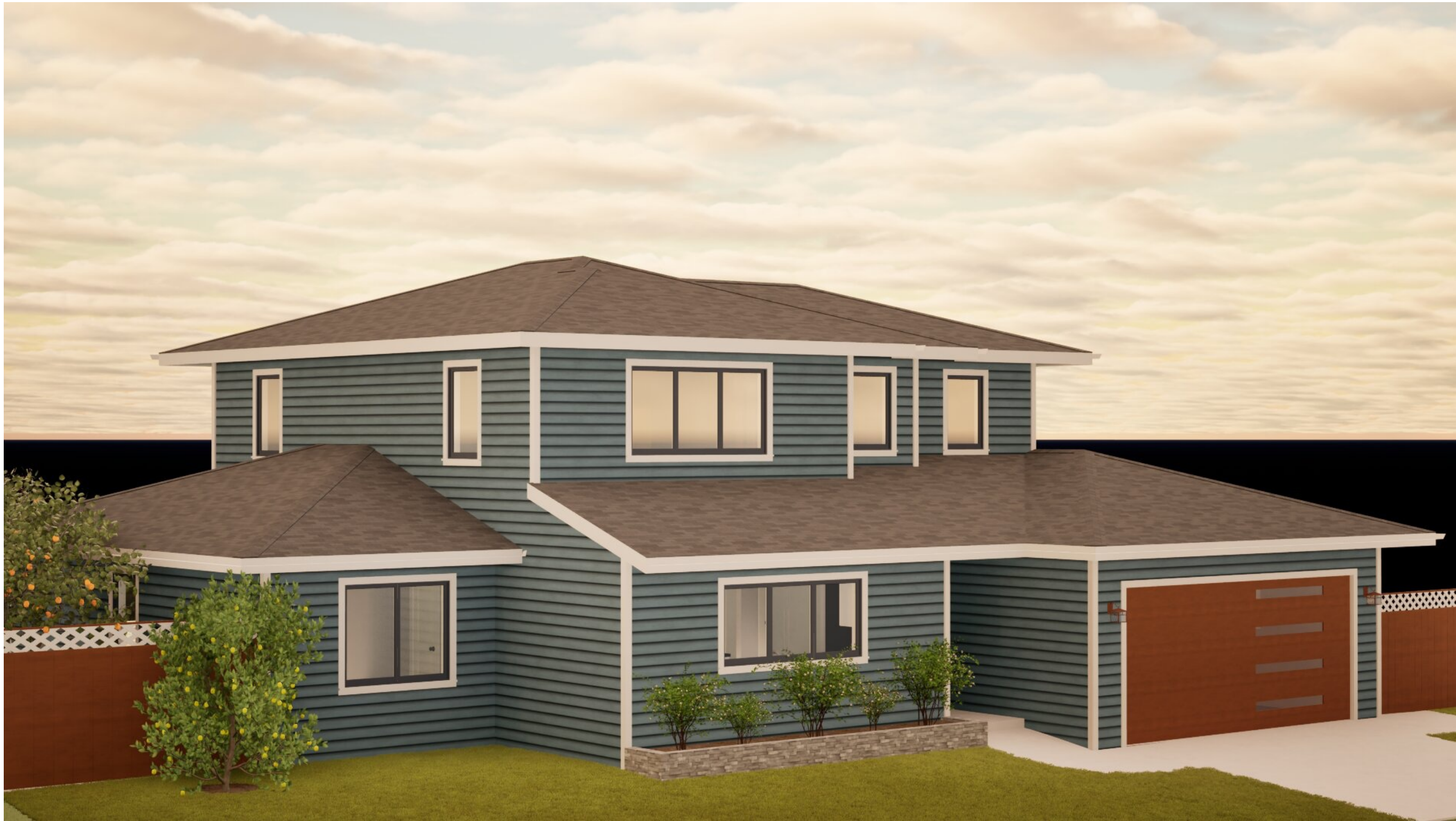
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1 FRONT FACADE



2 FRONT FACADE



3 REAR FACADE



4 REAR FACADE



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