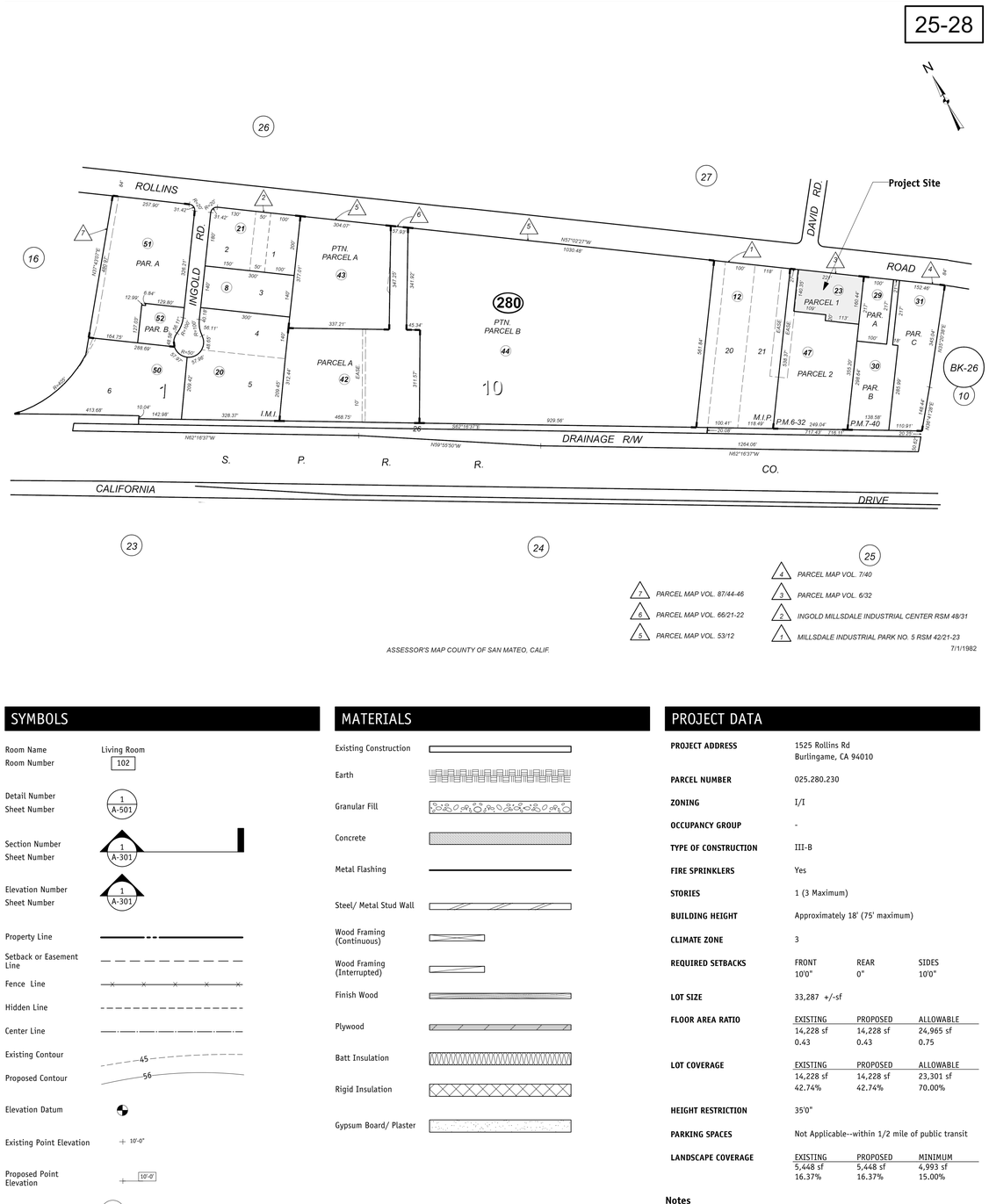
ABBREVIATIONS

&	and	EQ	equal	MAINT	maintenance	S	sink
@	at	EQUIP	equipment	MAS	masonry	SC	solid core
AC	air conditioning	EXTR	extruded	MAT	material	SCHED	schedule
AB	anchor bolt	EXG	existing	MAX	maximum	SD	soap dispenser
∠	angle	EXP	exposed	MB	machine bolt	SEC	section
ADJ	adjustable		expansion	MC	mechanical	SF	square feet
AL	aluminum	EXT	exterior		contractor,	SH	shelf, shelving
ALUM	aluminum				medicine cabinet	SHGL	shingle
ALT	alternate	FAU	forced air unit	MECH	mechanical	SHR	shower
ANC	anchor	FB	face brick	MEMB	membrane	SHT	sheet
AP	access panel	FD	floor drain	MET	metal	SHTG	sheathing
APPROX	approximate	FDN	foundation	MTL	metal	SIM	similar
ARCH	architect (ural)	FE	fire extinguisher	MFR	manufacturer	SL	slid (er) (ing)
AV	audio visual	FFE	finish floor	MH	manhole	SNT	sealant
			elevation	MIN	minimum	SPEC	specification
B	brick	FFL	finish floor level	MIR	mirror	SQ	square
BD	board	FIN	finish (ed)	MISC	miscellaneous	SST	stainless steel
BDG	bridging	FIX	fixture	ML	match line	STD	standard
BIT	bituminous	FL	floor (ing)	MO	masonry opening	STFR	stiffener
BLDG	building	FLG	flash (ing)	MSRY	masonry	STL	steel
BLKG	blocking	FOC	face of concrete	MTD	mounted	STOR	storage
BM	beam	FOF	face of finish	MUL	mullion	STRUC	structure, structural
	bench mark	FOM	face of masonry	MW	microwave	STR	structure, structural
BOT	bottom	FOS	face of stud			SUSP	suspend (ed) (sion)
BP	building paper	FP	fire proof	N	north	SV	sheet vinyl
BR	bedroom	FR	fire rated	(N)	new	SW	shear wall
BRG	bearing		fire retardant	NIC	not in contract	SYM	symmetrical
BTWN	between		frame (d) (ing)	NO, #	number	SYS	system
BUR	built-up roofing	FTG	footing	NOM	nominal		
		FUR	furr (ed) (ing)	NS	non-slip	T	tread
⊏	steel channel	FURN	furnish (ed)	NTS	not to scale	TB	towel bar
CAB	cabinet					TC	trash compactor
CAV	cavity	G	gas	OC	on center	T&G	tongue and groove
CB	catch basin	GA	gauge	OD	outside diameter	TEL	telephone
℄	center line	GALV	galvanized	OFF	office	TEMP	temperature, tempered
CEM	cement	GB	grade beam	OH	overhead	THK	thick
CER	ceramic		grab bar	OPNG	opening	THR	threshold
CFLG	counterflashing	GC	general	OPP	opposite	TOB	top of beam
CHAM	chamfer		contractor	OV	oven	TOBM	top of beam
CI	cast iron	GFCI	ground fault			TOC	top of concrete
CJ	construction joint		circuit inteuptor	PB	protection board		top of curb
CJT	control joint	GL	glass / glazing	PBD	particle board	TOF	top of footing
CLG	ceiling	GPBD	gypsum board	PC	precast	TOM	top of masonry
CLO	closet	GSM	galvanized sheet	PERIM	perimeter	TOMAS	top of masonry
CLR	clear (ance)		metal		plate	TOPL	top of plate
CMU	concrete masonry	GYP	gypsum	PL	property line	TPD	toilet paper dispenser
	unit			PLAM	plastic laminate	TPH	toilet paper holder
COL	column	HB	hose bib	PLAS	plaster	TS	tube steel
COMP	composition	HC	hollow core	PNL	panel	TSL	top of slab
CONC	concrete	HCPD	handicapped	PRKG	parking	TST	top of steel
CONN	connect (tion)	HDR	header	PNT	paint (ed)	TYP	typical
CONST	construction	HDW	hardware	PR	pair		
CONT	continuous	HM	hollow metal	PSF	pounds per square	UNO	unless noted otherwise
CONTR	contractor	HORIZ	horizontal		foot		
CPT	carpet (ed)	HPWD	hardwood	PSI	pounds per square	VAN	vanity
CT	ceramic tile		plywood		inch	VAR	varies
CTR	center (ed)	HR	hour	PT	pressure treated	VB	vapor barrier
CW	cold water	HT	height		wood, point,	VCT	vinyl composition tile
		HW	hot water		paint (ed)	VENT	ventilator (ing)
D	dryer	HWD	hardwood	PTD	paper towel	VERT	vertical
DEM	demolish /				dispenser	VEST	vestibule
	demolition	ID	inside diameter	PTN	partition	VIF	verify in field
DET	detail	INCL	include (d) (ing)	PWD	plywood	VIN	vinyl
DF	drinking fountain	INS	insulate (d)			VIN B	vinyl base
	douglas fir		insulation	QT	quarry tile	VNR	veneer
DIA, Ø	diameter	INT	interior	QTY	quantity	VSE	veneer shelf elevation
DIAG	diagonal					VT	vinyl tile
DIM	dimension	J	joist	R	riser		
DN	down	JAN	janitor	RA	return air	W	steel wide flange
DP	damproofing	JST	joist	RAD	radius	W/	with
DR	door	JT	joint	RD	roof drain	W/O	without
DS	downspout			RDN	radiation	WC	water closet
DT	drain tile	KIT	kitchen	REC	recessed	WD	wood
DWG	drawing	KO	knockout	REF	reference	WDW	window
DW	dishwasher			REFR	refrigerator	WH	water heater
DWR	drawer	L	light, linen	REINF	reinforce (d) (ing)	WP	waterproof
		LAM	laminate (d)	REQ	required	WR	water resistent
(E)	existing	LAU	laundry	RESIL	resilient	WT	weight
EA	each	LAV	lavatory	RET	retain (ing)	WWF	welded wire fabric
EJT	expansion joint	LD, #	pound	REV	revise (d), revision		
EL	elevation	LDG	landing	RFG	roofing	X	by (dimensions)
ELEC	electric (al)	LF	light fixture,	RM	room		
ELEV	elevator		linear feet	RMV	remove (d) (able)	YD	yard
EPB	electrical panel	LOC	locat (e) (ion)	RO	rough opening		
	board	LT	light	RWD	redwood		
		LWT	light weight	RWL	rain water leader		

GL

VICINITY MAP



GENERAL NOTES

Scope of Work
The project involves converting vacant office space in Suite B for church gatherings, instruction, and administrative office purposes.

Automatic Fire Sprinkler, Fire Alarm Systems, and Fire Extinguishers
The entire building is equipped with an automatic fire sprinkler and fire alarm systems. It has fire extinguishers.

Deferred Submittals
These permit applications shall be submitted separately.
1. Fire sprinkler evaluation is required for TI work due to changes to interior walls.
2. Fire alarm system requires evaluation and upgrading.

RECEIVED
9.19.25
CITY OF BURLINGAME
CDD-PLANNING DIVISION

PROJECT TEAM

Applicant:
Pastor Eglai DeAlmeida
House of Prayer, Word and Family Church
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Architect:
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tenant improvement:

house of prayer, word, and family church

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apn: 025.280.230

SYMBOLS

Room Name — Living Room
Room Number — 102
Detail Number / Sheet Number — 1 / A-501
Section Number / Sheet Number — 1 / A-301
Elevation Number / Sheet Number — 1 / A-301
Property Line
Setback or Easement Line
Fence Line
Hidden Line
Center Line
Existing Contour — 45
Proposed Contour — 56
Elevation Datum
Existing Point Elevation — 10'-0"
Proposed Point Elevation — 10'-0"
Column/ Grid line — A
Window Identification — 1
Door Identification — 1
Revision — 1

MATERIALS

Existing Construction
Earth
Granular Fill
Concrete
Metal Flashing
Steel/ Metal Stud Wall
Wood Framing (Continuous)
Wood Framing (Interrupted)
Finish Wood
Plywood
Batt Insulation
Rigid Insulation
Gypsum Board/ Plaster

PROJECT DATA

PROJECT ADDRESS	1525 Rollins Rd Burlingame, CA 94010
PARCEL NUMBER	025.280.230
ZONING	I/I
OCCUPANCY GROUP	-
TYPE OF CONSTRUCTION	III-B
FIRE SPRINKLERS	Yes
STORIES	1 (3 Maximum)
BUILDING HEIGHT	Approximately 18' (75' maximum)
CLIMATE ZONE	3

REQUIRED SETBACKS

FRONT	REAR	SIDES
10'0"	0"	10'0"

LOT SIZE 33,287 +/-sf

FLOOR AREA RATIO

EXISTING	PROPOSED	ALLOWABLE
14,228 sf	14,228 sf	24,965 sf
0.43	0.43	0.75

LOT COVERAGE

EXISTING	PROPOSED	ALLOWABLE
14,228 sf	14,228 sf	23,301 sf
42.74%	42.74%	70.00%

HEIGHT RESTRICTION 350"

PARKING SPACES Not Applicable--within 1/2 mile of public transit

LANDSCAPE COVERAGE

EXISTING	PROPOSED	MINIMUM
5,448 sf	5,448 sf	4,993 sf
16.37%	16.37%	15.00%

Notes
1. Calculations not to be used for leasing, rental or sale purposes. Verify on the site.
2. Per CBC Table 504.3 the building meets the most restrictive requirements for occupancy groups A-3, M, and B.
   1. Building Height = 18' approximately, maximum height = 75'
   2. Number of Stories = 1, maximum number of stories = 3
   3. Building Area = 14,228 SF, maximum = 28,500 SF
3. The scope of work for Suite B only affects the interior of the building and does not expand the building's footprint. The project does not require landscaping to comply with the current zoning code.

APPLICABLE CODES

1. 2022 California Building Code
2. 2022 California Plumbing Code
3. 2022 California Mechanical Code
4. 2022 California Electrical Code
5. 2022 California Fire Code
6. 2022 California Green Building Code
7. 2022 California Energy Code
8. 2022 Building Energy Efficiency Standards
9. City of Burlingame Municipal Codes

DRAWING INDEX

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job name	house of prayer church
job number	250730
date	08.18.25
revision	

A-001

2507300D-2025.vwx

EXISTING USE SUMMARY

SUITE	TENANT	RETAIL	OFFICE	WAREHOUSE	RELIGIOUS GATHERING
A	Sherwin-Williams	1,222 SF		4,279 SF	
B	Vacant		6,165 SF	666 SF	
C	National Pharmatek Corporation		1,118 SF	770 SF	
	TOTAL SF	1,222 SF	7,283 SF	5,715 SF	

PROPOSED USE SUMMARY

SUITE	TENANT	RETAIL	OFFICE	WAREHOUSE	RELIGIOUS GATHERING
A	Sherwin-Williams	1,222 SF		4,279 SF	
B	House of Prayer, Word, and Family Church		5,120 SF		1,711 SF
C	National Pharmatek Corporation		1,118 SF	770 SF	
	TOTAL SF	1,222 SF	6,238 SF	5,049 SF	1,711 SF

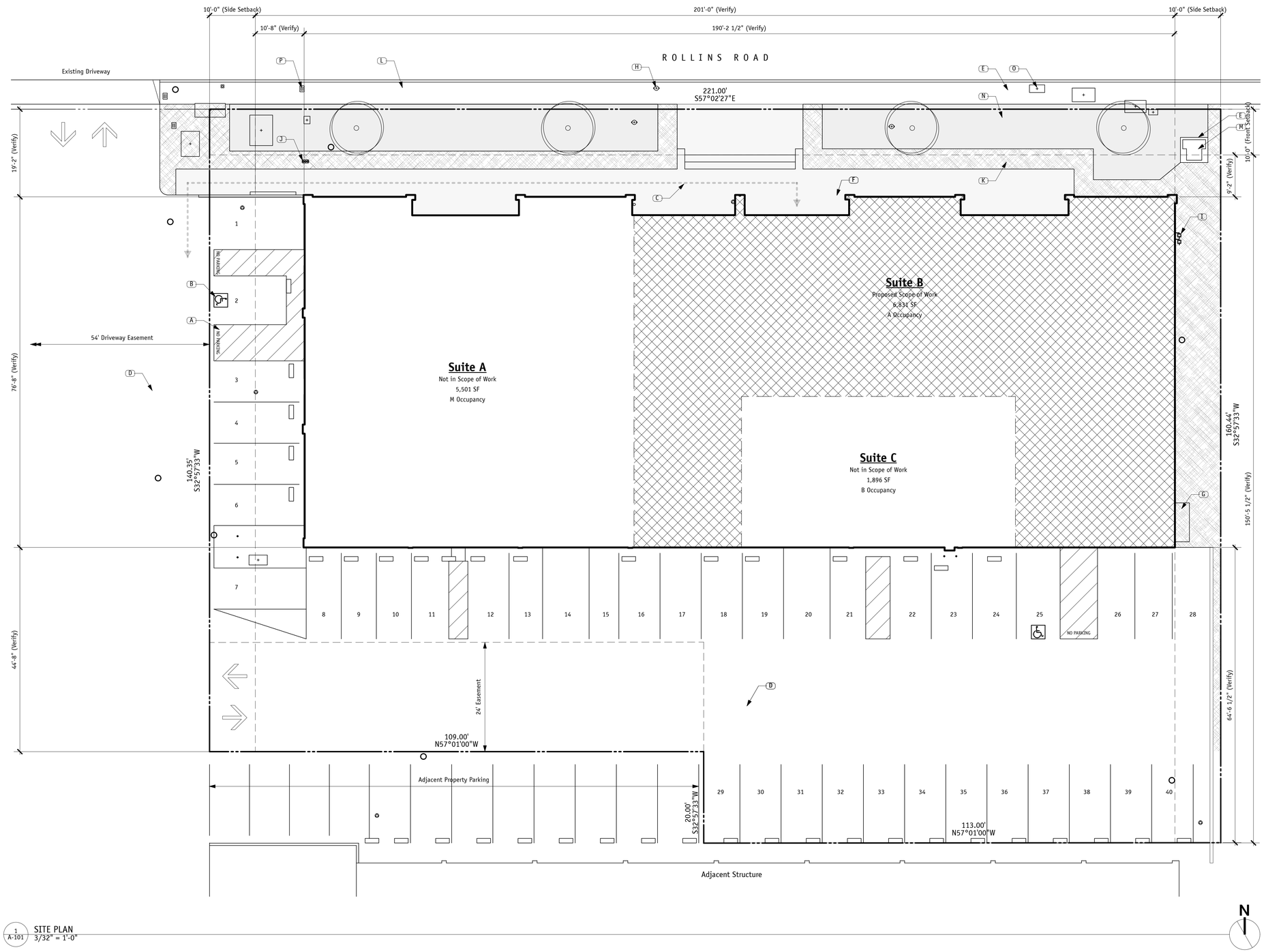
EXISTING PARKING RATIO SUMMARY

SUITE	USE	NUMBER OF OFF-STREET PARKING SPACES PER SF	TOTAL SF	TOTAL PARKING SPACES
A	Retail	1 space per 400 SF	1,222 SF	3.06
	Warehouse	1 space per 1,000 SF	4,279 SF	4.28
B	Office	1 space per 300 SF	6,165 SF	20.55
	Warehouse	1 space per 1,000 SF	666 SF	0.67
C	Office	1 space per 300 SF	1,118 SF	3.73
	Warehouse	1 space per 1,000 SF	770 SF	0.77
				33 Spaces
				40 Spaces Existing

PROPOSED PARKING RATIO SUMMARY

SUITE	USE	NUMBER OF OFF-STREET PARKING SPACES PER SF	TOTAL SF	TOTAL PARKING SPACES
A	Retail	1 space per 400 SF	1,222 SF	3.06
	Warehouse	1 space per 1,000 SF	4,279 SF	4.28
B	Office	1 space per 300 SF	5,120 SF	17.07
	Religious Gathering	1 space per 60 SF	1,711 SF	12.03
C	Office	1 space per 300 SF	1,118 SF	3.73
	Warehouse	1 space per 1,000 SF	770 SF	0.77
				41 Spaces
				40 Spaces Existing

Notes
1. Calculations not to be used for leasing, rental or sale purposes. Verify on the site.
2. This property is located within half a mile of major transit options and is therefore exempt from off-street parking requirements under AB 2097.



1 A-101 SITE PLAN
3/32" = 1'-0"

Site Plan Keynotes
A. (E) Accessible loading space, typ.
B. (E) Accessible parking space, typ.
C. (E) Accessible path
D. (E) Asphalt
E. (E) Concrete
F. (E) Decorative concrete
G. (E) Electric box
H. (E) Fire hydrant
I. (E) Gas service meter
J. (E) Irrigation controls
K. (E) Planting area, typ
L. (E) Sidewalk, typ.
M. (E) Transformer
N. (E) Turf, typ.
O. (E) Utility box, typ.
P. (E) Water meter, typ.

Site Plan General Notes
1. All site construction work shall conform to the City of Burlingame requirements and/or standard details and specifications, and shall be subjected to city inspection and approval.
2. Maintain 3' x 3' minimum landing at both sides of doors.
3. The contractor is responsible for repairing or replacing damages or damaged areas to an as-was or better condition, if it can be reasonably construed that such damages were due to the contractor's construction activity or lack of adequate protective measures.
4. The current accessibility for disabled individuals at the project site, including the accessible route from public parking to common areas, shall not be diminished or otherwise altered by this project's work.
5. The design intention of these drawings reflects the overall design goals to be implemented on the site. The Contractor is responsible for contacting the Architect for additional clarification or details required to accommodate site conditions.
6. The indicated utilities are in approximate locations based on as-built drawings and visual observations. The general contractor must verify their locations, sizes, types, and other details with the municipality and utility providers.
7. Topography: The site is relatively flat as is the general vicinity.
8. Trees with a circumference exceeding 48 inches, measured 54 inches above natural grade, cannot be removed without a protected tree removal permit from the Parks Division. All protected trees onsite must remain healthy during and after the project. Additionally, storage, staging, site access, debris disposal, or temporary structures are prohibited under trees.
9. Upon completion, the Contractor shall certify that all work has been installed per the Contract Documents. All variations from the documents must be presented to the Architect accurately and/or graphically on record drawings before final acceptance. Refer to specifications for additional close-out information and procedures.
10. Verify all existing conditions and dimensions in the field prior to starting work. Report any discrepancies to the Owner and Architect.
11. Verify location of underground utilities.

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Job name	house of prayer church
Job number	250730
date	10.30.25
revision	

A-101

250730DDv2025.vwx

Demolition Plan Keynotes

A. (E) Electrical panel
B. (E) Gas meter to remain, typ.
C. Remove (E) appliances as indicated.
D. Remove (E) door, casing, jambs, and wall, typ.
E. Remove (E) millwork and countertops as indicated.
F. Remove (E) office cubicles, typ.
G. Remove (E) partition wall, typ.
H. Remove (E) plumbing fixtures as indicated.
I. Remove (E) sink and cap plumbing.
J. Remove (E) window, casing, jambs, and wall, typ.

General Demolition Plan Notes

1. All dimensions are approximate and based on PPM as-built drawings, 6/2/2025. Verify all dimensions and conditions on site.
2. Install a dust barrier to shield areas outside the work scope from construction dirt or dust.
3. Remove abandoned equipment, pipes, and wiring, including combustibles in plenums.
4. Verify all locations of Mechanical, Plumbing, and Electrical requirements, chases, and runs.

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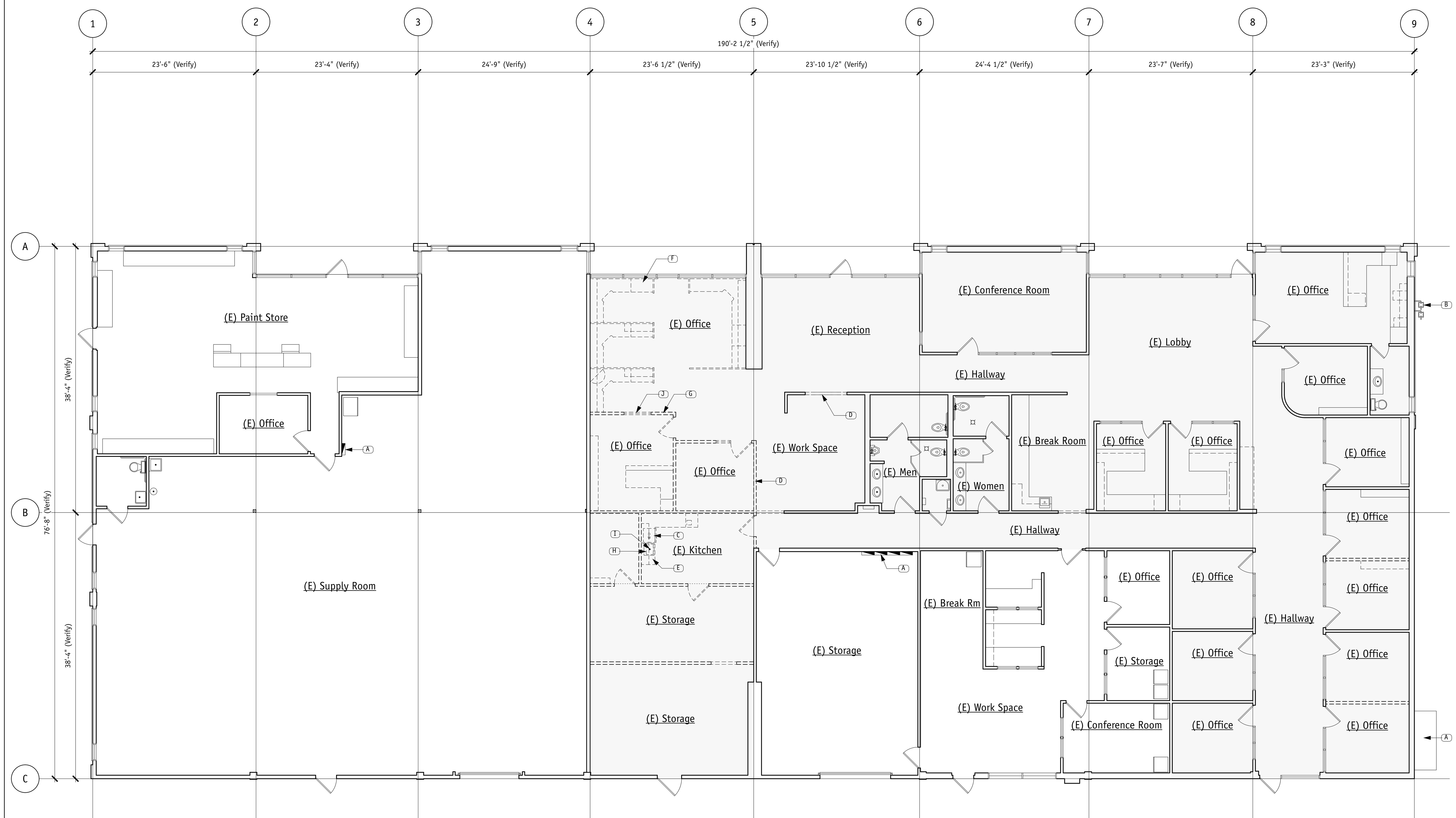

1
A-102
DEMOLITION PLAN
1/8" = 1'-0"

N

Wall Type Legend

Existing wall

Remove existing wall

New Interior Wall. 2 1/2", 25-gauge metal studs at 24" o.c. with 5/8" gypsum board on both sides. Wall framing extends from the floor slab to 6" above the suspended ceiling partition, approximately 10'-6" in height. Match existing adjacent walls.

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A-102

250730DDv2025.vwx

DOOR SCHEDULE

A	Existing 3' x 7' aluminum, tempered glass storefront entry door with push-pull hardware, closer, and stop. Provide new panic hardware.
B	Existing 3' x 7' solid core door with lever latch set in existing aluminum and tempered glass interior system to remain.
C	Existing 3' x 7' hollow metal door and frame with lever hardware. Provide new panic hardware.
D	Existing 3' x 7' hollow metal door and frame with lever hardware to remain.

Door Schedule Notes

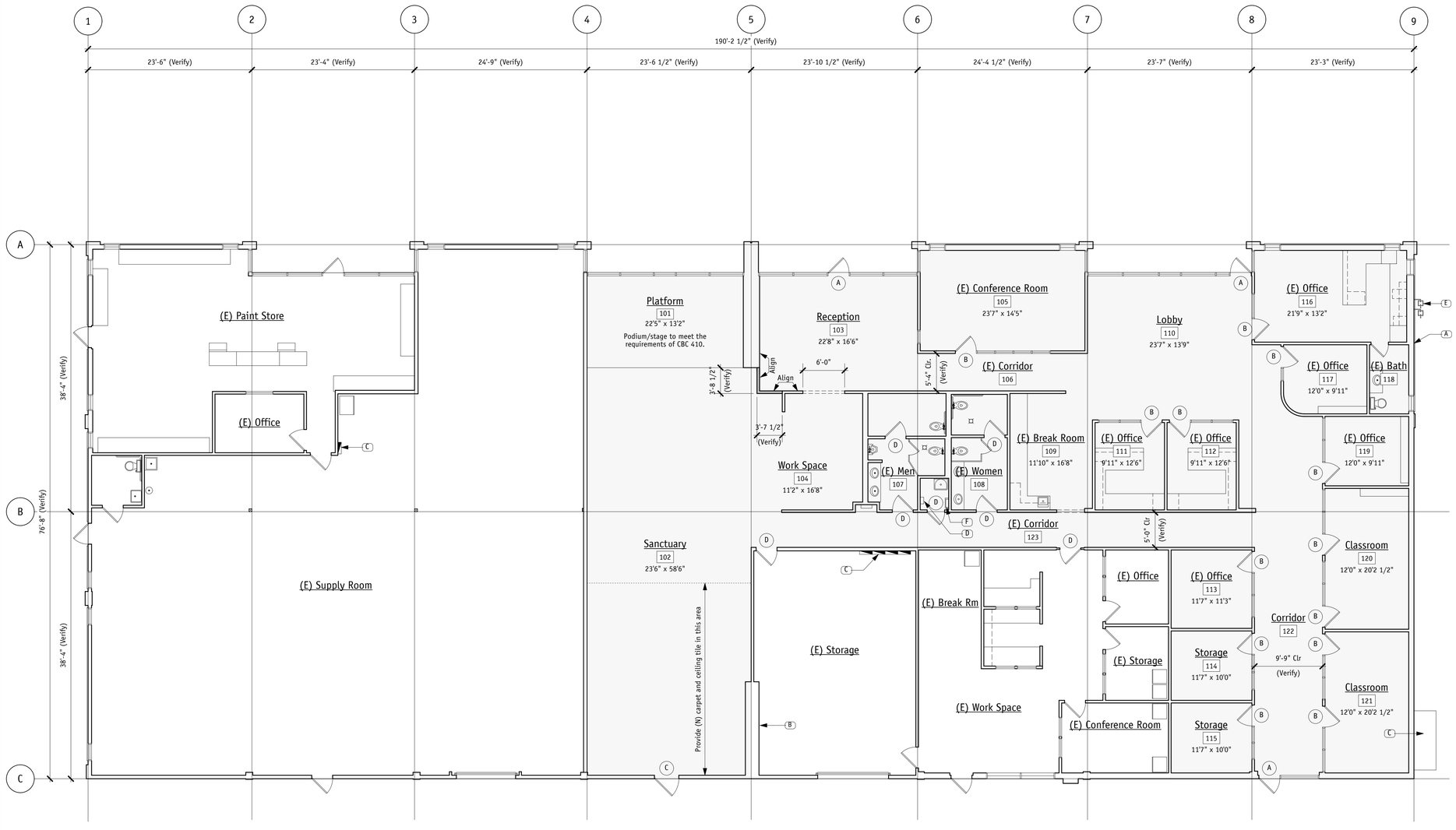
1. All exit hardware, even when the door is in a locked position, shall be openable from the egress side with one action. No keys, special knowledge, or effort shall be required.
2. Determine door swing and operation requirements from floor plans.
3. Provide panic hardware for all exit and exit access doors within the tenant space. CBC 1010.2.9
4. Verify existing site conditions, door dimensions and Manufacturer requirements.

Proposed Floor Plan Keynotes

A. (E) Concrete exterior wall, typ.
B. (E) Concrete wall, typ.
C. (E) Electric box
D. (E) Fire alarm control
E. (E) Gas meter to remain, typ.
F. (E) Roof access

General Floor Plan Notes

1. All dimensions are approximate and based on PPM as-built drawings, 6/2/2025. Verify all dimensions and conditions on site.
2. Baseboard, casing, moulding, and millwork to match existing.
3. Verify all locations of Mechanical, Plumbing, and Electrical requirements, chases, and runs.
4. Approximate floor areas not to be used for leasing, rental, or sale purposes. Verify on the site.



Wall Type Legend

- Existing wall
- Remove existing wall
- New Interior Wall. 2 1/2", 25-gauge metal studs at 24" o.c. with 5/8" gypsum board on both sides. Wall framing extends from the floor slab to 6" above the suspended ceiling partition, approximately 10'-6" in height. Match existing adjacent walls.

1 A-103 PROPOSED FLOOR PLAN
1/8" = 1'-0"

N

250730DrDr2025.vwx

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A-103

OCCUPANT LOAD TABLE

SYMBOL	ROOM NAME	FUNCTION OF SPACE	AREA	OCCUPANT LOAD FACTOR	NUMBER OF OCCUPANTS	NOTES
A	Podium	Assembly Unconcentrated	295 SF	1/15	20	
B	Sanctuary	Assembly Concentrated	1375 SF	1/7	197	
C	Reception	Business Area	374 SF	1/150	3	
D	Work Space	Business Area	186 SF	1/150	2	
E	(E) Conference Room	Assembly Unconcentrated	400 SF	1/15	27	
F	(E) Break Room	Assembly Unconcentrated	197 SF	1/15	14	
G	Lobby	Business Area	324 SF	1/150	3	
H	(E) Office	Business Area	124 SF	1/150	1	
I	(E) Office	Business Area	124 SF	1/150	1	
J	(E) Office	Business Area	130 SF	1/150	1	
K	Storage	Storage	116 SF	1/300	1	
L	Storage	Storage	116 SF	1/300	1	
M	(E) Office	Business Area	286 SF	1/150	2	
N	(E) Office	Business Area	119 SF	1/150	1	
O	(E) Office	Business Area	119 SF	1/150	1	
P	Classroom	Classroom Area	243 SF	1/20	13	
Q	Classroom	Classroom Area	243 SF	1/20	13	
				TOTAL OCCUPANTS	301	

Occupancy Load Notes

1. Calculations not to be used for leasing, rental or sale purposes. Verify on the site.
2. Corridors, stairways, toilet rooms, mechanical rooms, and closets not required to be included in the Occupant Load Calculation.
3. Every assembly occupancy room or space shall have the occupant load posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent. CBC 1004.3
4. Minimum number of exits required = 2
   Number of existing exits = 4
   For tenant spaces with a total occupant load of 600 people or fewer, at least two separate exits are required.
   Exit travel distance 250' for fire sprinklered building.

Nonseparated Occupancies Notes

1. This building meets requirements for Nonseparated Occupancies. Fire-rated separation is not required between occupancy groups. CBC 508.3 For Occupancy Groups A-3, B, and M, no separation is needed between non-separated occupancies that meet the most restrictive requirements of these groups. CBC 508.3.3
2. The building meets the most restrictive requirements under CBC 508.3.2 for occupancy groups A-3, B, and M.
   1. Building Height = 18' approximately, maximum height = 75'
   2. Number of Stories = 1, maximum number of stories = 3
   3. Building Area = 14,228 SF, maximum = 28,500 SF
3. The building complies with the most restrictive fire protection requirements for Occupancy Groups A-3, B, and M. Fire sprinklers and fire extinguishers are required per CBC Chapter 9.
4. The building is not a high-rise under CBC 508.3.1.1, and does not need to meet the requirements of CBC 403, except those required under other sections.

Proposed Occupant Load and Egress Plan Keynotes

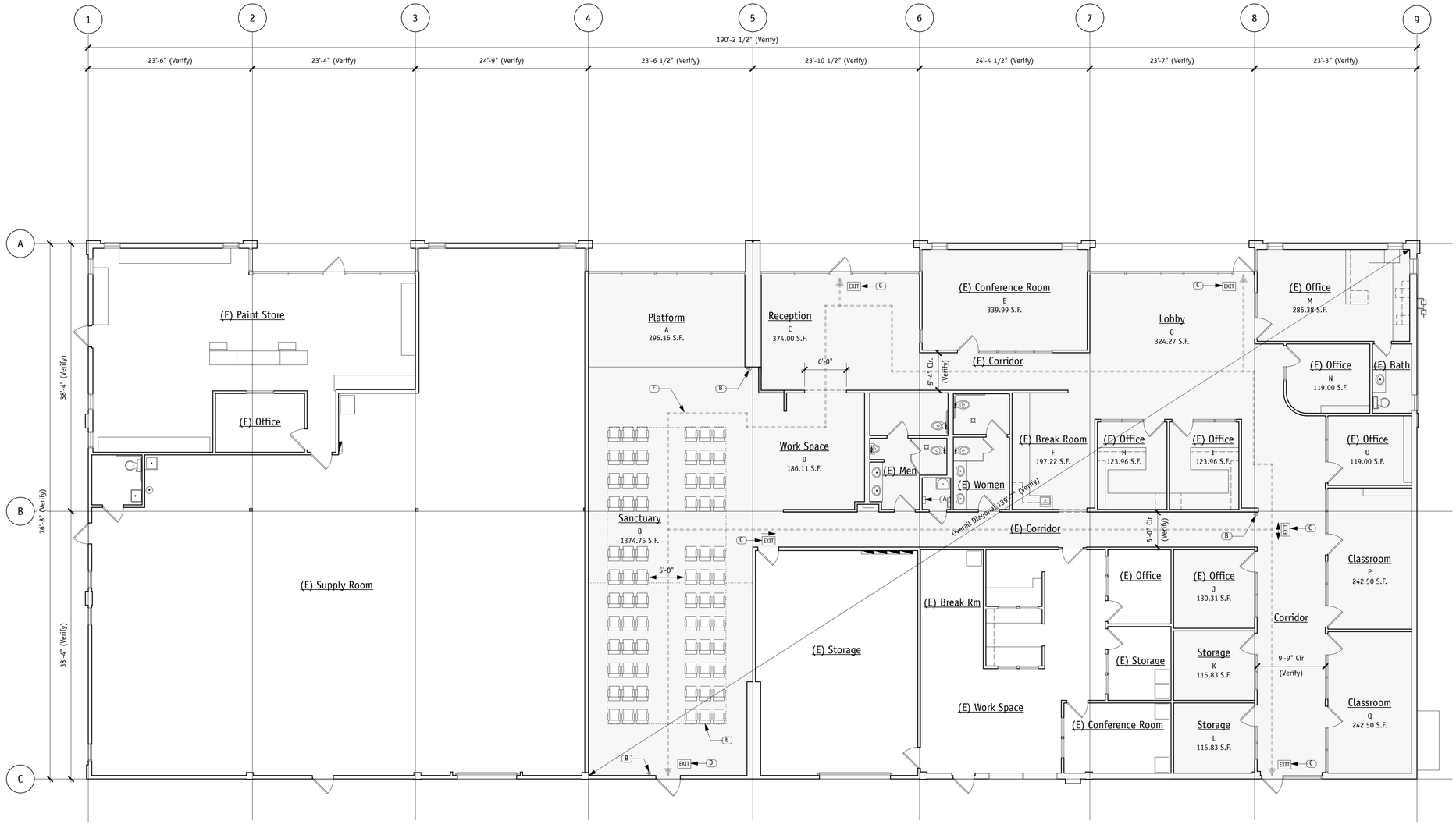
A. (E) Fire alarm control
B. (E) Fire extinguisher
C. (E) Internally illuminated exit sign
D. (N) Internally illuminated exit sign
E. Church chair, not fixed, typ.
F. Common path of travel, typ.

Path of Egress Notes

1. Exit door locations must comply with CBC Section 1007 regarding exit and exit access door configurations. These exits should be within 250 feet of travel distance from any point within the structure for a fire sprinklered building. Doors must be equipped with panic or fire hardware, not be latched or locked, and swing in the direction of egress. Means of egress should be accessible, visible, and clearly marked, with illuminated exit signs and emergency lighting.
2. Exit width per occupant load:
   1. Corridors:
   CBC Table 1020.3 requires 44" clear width
   CBC 1005.3.2 calculated minimum with is 299 occupants x .02" per occupant = 59.8" minimum width per corridor
   59.8" > 44"
   Minimum clear corridor width = 59.8"
   2. Doors:
   CBC 1010.1.1 requires 32" clear width
   CBC 1005.3.2 calculated minimum with is 299 occupants x .02" per occupant = 59.8" total door width. 59.8" / four doors = 14.95"
   32" > 14.95"
   Minimum door clear width = 32"
3. Internally Illuminated Exit Signs: Electrically powered, self-luminous and photo luminescent exit signs shall be listed and labeled in accordance with UL 924 and shall be installed in accordance with the manufacturer's instructions and Chapter 27. "EXIT" signs shall be illuminated at all times.
4. Maximum overall diagonal dimension of area served = 139'-7"
   The building is equipped with an automatic sprinkler system. The exit separation distance must be at least 1/3 of the maximum diagonal dimension.
   139'-7" x 1/3 = 46'-6"
   The exit separation distances exceed 46'-6".
   CBC 1017.1.1 Ex. 2
5. Provide direction signage indicating the location of the accessible means of egress
6. Signs over exit doors with minimum 1" high letters to read "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS." The only exception to exit door labeling is the main entry door only.
7. Where a building is equipped throughout with an automatic sprinkler system in accordance with section 903.3.1.1 or 903.3.1.2, the separation distance shall not be less than one-third of the length of the maximum overall diagonal dimension of the area served. CBC 1007.1.1 exemption 2

Fire Extinguisher Notes

1. Each extinguisher is required to be mounted with the top of the extinguisher no more than 5 feet off the floor and the bottom at least 4 inches off the floor. Extinguishers must be mounted on a wall or other structure with an approved mounting device.
2. Review final locations with the Fire Department.
3. The minimum rating for fire extinguishers is a 2A10BC.
4. The travel distance for occupants to an extinguisher is not to exceed 75 feet. Extinguishers should be located along normal paths of travel.



Wall Type Legend

- Existing wall
- Remove existing wall
- New Interior Wall. 2 1/2", 25-gauge metal studs at 24" o.c. with 5/8" gypsum board on both sides. Wall framing extends from the floor slab to 6" above the suspended ceiling partition, approximately 10'-6" in height. Match existing adjacent walls.

1 A-104 PROPOSED EGRESS AND OCCUPANT LOAD PLAN
1/8" = 1'-0"

N

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tenant improvement:

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gary r. diebel
10/27
state of california

Job name	house of prayer church
Job number	250730
date	08.18.25
revision	

A-104

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