

RECEIVED
6.23.26
CITY OF BURLINGAME
CDD-PLANNING DIVISION

[illegible]

The drawing on this sheet, specification ideas, designs, and arrangements represented thereby are and shall remain the property of CHU DESIGN ASSOCIATES INC.; and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE:	JAN. 29, 2026
SCALE:	AS NOTED
DRAWN:	PU
JOB:	
SHEET NO.	A.1
	OF SHEETS

DESIGN DATA	PROJECT DATA	SHEET INDEX	PROJECT DIRECTORY
2025 CALIFORNIA BUILDING CODE 2025 CALIFORNIA MECHANICAL CODE 2025 CALIFORNIA PLUMBING CODE 2025 CALIFORNIA ELECTRICAL CODE 2025 CALIFORNIA ENERGY CODE 2025 CALIFORNIA RESIDENTIAL CODE ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ALL STRUCTURAL DESIGN DATA AS PER CBC SECTION 1603 ALL CONSTRUCTION AS PER CBC TABLE 601, TYPE V. ADOPTION OF THE 2025 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS WAS MANDATED BY AB 4616 AND SB 2811, EFFECTIVE JANUARY 1, 2025. THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE OFFICE OF HOUSING AND COMMUNITY DEVELOPMENT. ENTIRE RESIDENCE, CRAWL SPACE AND ATTIC SHALL BE PROTECTED BY AUTOMATIC FIRE-EXTINGUISHING SYSTEM NFPA 13-D STANDARD. GENERAL NOTES: 1. ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER. 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE, APPLICABLE EDITION, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONSTRUCTION PRACTICES, AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT CHU DESIGN ASSOCIATES INC. IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE. 3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT. 4. CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS CHU DESIGN ASSOCIATES INC. AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CHU DESIGN ASSOCIATES INC. AND RELATED ENGINEERS. 5. THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS. 6. PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING AND AFFLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL OF LOCAL CODES. 7. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION. 8. ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. 9. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM ON TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK AND APPROVAL IS AT CONTRACTOR'S RISK. 10. FIRE SPRINKLERS SHALL BE INSTALLED AND SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. 11. IF GRADING PERMIT IS REQUIRED, IT SHOULD BE OBTAINED FROM DEPARTMENT OF PUBLIC WORKS. 12. IF PUBLIC WORKS REQUIRES SIDEWALK REPLACEMENT, POLICY FOR EXPANDING WIDTH OF PLANTER STRIP NEED TO BE IMPLEMENTED AND TREES NEED TO BE ADDED.	1. SITE ADDRESS: 1454 BALBOA AVENUE BURLINGAME, CA 94010 2. APN: 029-013-320 3. TYPE OF CONSTRUCTION FOR: DWELLING AND GARAGE: OCCUPANCY GROUP FOR DWELLING: OCCUPANCY GROUP FOR GARAGE: 4. SITE AREA: 1,001.00 SF 5. MAX. COVERED FLOOR AREA ALLOWED: (0.32x1,001 SF) + 1,100 SF + 294 6. MAX. LOT COVERAGE ALLOWED (40%): 2,800.00 SF 7. PROPOSED FLOOR AREA: (N) PROPOSED FIRST FLOOR (N) PROPOSED SECOND FLOOR (N) JADU (500 MAX. JADU FAR) - 456.25 SF = (N) ADU (800 MAX. ADU FAR) - 345 SF = (N) FRONT PORCH (N) GARAGE (N) TOTAL FLOOR AREA (N) FLOOR AREA RATIO: 8. LOT COVERED AREA: (N) FIRST FLOOR (N) GARAGE (N) JADU - 456.25 SF NOT INCLUDED (N) ADU - 345 SF NOT INCLUDED (N) TOTAL FLOOR AREA (N) LOT COVERAGE RATIO:	ARCHITECTURAL A1 COVER SHEET A2 SITE DEMOLITION PLAN A2.1 SITE DEVELOPMENT PLAN A3 PROPOSED FIRST & SECOND FLOOR PLAN A3.1 ROOF & REAR DECK FLOOR PLAN A4 PROPOSED FRONT AND RIGHT ELEVATION A5 PROPOSED REAR AND LEFT ELEVATION A6 PROPOSED GARAGE & ADU FLOOR PLAN, ELEVATIONS A.1 BUILDING SECTION N1 CONSTRUCTION BMP AC.1 FLOOR AREA CALCULATIONS (PLANNER SET ONLY) LANDSCAPE L1 LANDSCAPE PLAN L2 IRRIGATION PLAN L2 IRRIGATION DETAILS CIVIL SU.1 BOUNDARY & TOPOGRAPHIC SURVEY	PROPERTY OWNER: BALBOA LLC 1454 BALBOA AVENUE BURLINGAME, CA 94010 ARCHITECTURAL: JAMES CHU 433 AIRPORT BLVD, SUITE 303 BURLINGAME, CA 94010 TEL: (650) 345-9286, EXT. 1001 EMAIL: james@chudesign.com CIVIL SURVEY: MACLEOD AND ASSOCIATES 965 CENTER STREET SAN CARLOS, CA 94070 TEL: (650) 593-8580 LANDSCAPE ARCHITECT: KAREN AITKEN & ASSOCIATES 8262 RANCHO REAL GILROY, CA 95020 TEL: (408) 851-6215 karen@kaa.design
CONSTRUCTION SCHEDULE		NOTES	
1. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH PRIOR WRITTEN APPROVAL FROM THE BUILDING OFFICIAL, WHICH APPROVAL SHALL BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS. HOLIDAYS ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST MONDAY OF MAY, THE FOURTH DAY OF JULY, THE FIRST MONDAY OF SEPTEMBER, THE ELEVENTH DAY OF NOVEMBER, THE FOURTH THURSDAY IN NOVEMBER AND THE TWENTY FIFTH DAY OF DECEMBER. IF THE FIRST DAY OF JANUARY, THE FOURTH DAY OF JULY, THE ELEVENTH DAY OF NOVEMBER AND THE TWENTY-FIFTH DAY OF DECEMBER FALLS UPON A SUNDAY THE FOLLOWING MONDAY IS A HOLIDAY. PROVIDE THE FOLLOWING CONSTRUCTION HOURS ON THE PLANS PER CITY OF BURLINGAME MUNICIPAL CODE 18.01.110. WEEKDAYS: 8:00 AM - 7:00 PM. SATURDAYS: 9:00 AM - 6:00 PM. SUNDAYS AND HOLIDAYS: NO WORK ALLOWED 2. CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM TO 5:00PM.	1. THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SARGENT DEVELOPMENT, DEVELOPED FOR THE EXCLUSIVE USE OF SARGENT DEVELOPMENT. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SARGENT DEVELOPMENT IS PROHIBITED, IS A VIOLATION OF COPYRIGHT LAW AND MAY SUBJECT YOU TO A CLAIM FOR COMPENSATORY AND PUNITIVE DAMAGES.		

LEGEND:

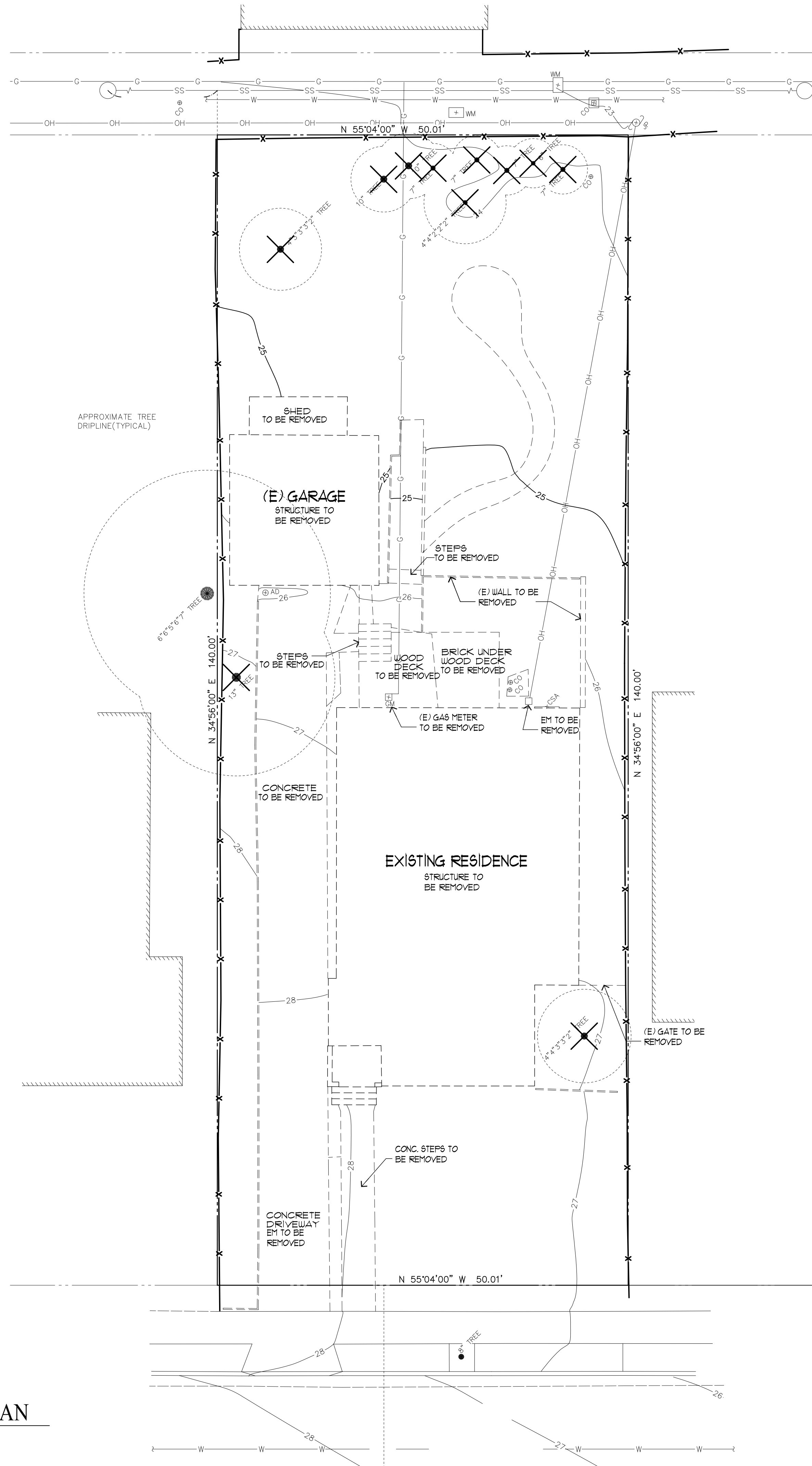
- ✕ TREE TO BE REMOVED
--- (E) TO BE REMOVED

NOTES:

NO EXISTING TREE OVER 48 INCHES IN CIRCUMFERENCE AT 54 INCHES FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE REMOVAL PERMIT FROM THE PARKS DIVISION.

PARKS NOTES:

1. NO PROTECTED SIZE TREE MAY BE REMOVED WITHOUT PERMIT FROM PARKS DIVISION (558-1330)
2. CITY STREET TREE REQUIRES TREE WORK PLAN PERMIT FROM PARKS DIVISION (558-1330)



SITE DEMOLITION PLAN
SCALE: 1/8"=1'-0"

REVISIONS	BY
PLING_PC1 05/26/26	PU

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL: (650) 345-9286 x 1001

The drawing on this sheet, specification ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE:	JAN. 29, 2026
SCALE:	AS NOTED
DRAWN:	PU
CHK:	
SHEET NO.	

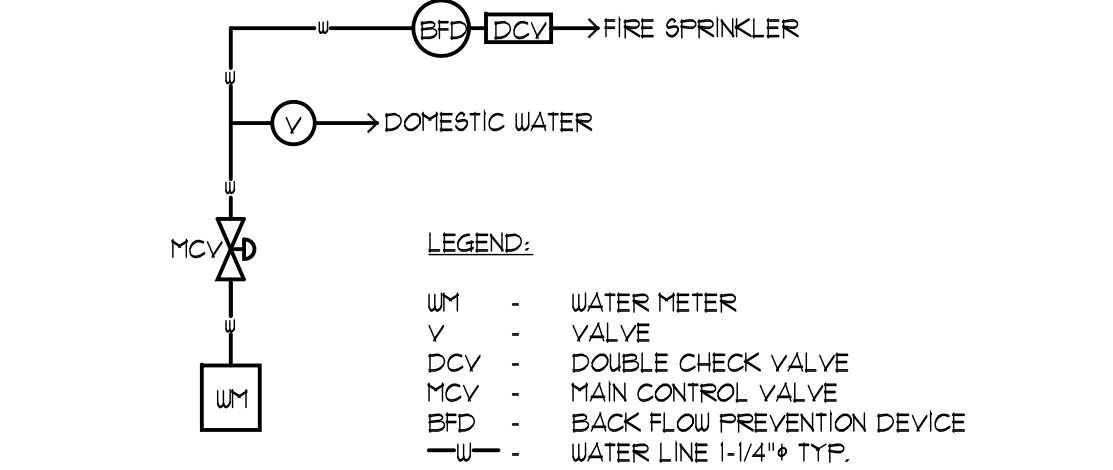
GENERAL NOTES:

- SEE LANDSCAPE PLAN FOR DETAIL INFORMATION
- MAXIMUM DRIVEWAY SLOPES SHALL NOT EXCEED FIFTEEN (15) PERCENT AT ANY POINT WITHOUT SPECIAL APPROVAL OF THE DEPARTMENT. PUBLIC WORKS SLOPES IN EXCESS OF TWENTY (20) PERCENT SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION. TRANSITIONAL SLOPES ARE REQUIRED FOR DRIVEWAYS WHICH EXCEED TEN (10) PERCENT MAXIMUM SLOPE. NO TRANSITIONAL SLOPE SHALL EXTEND INTO A REQUIRED PARKING SPACE.
- TOPOGRAPHY IS PREPARED BY:
MACLEOD & ASSOCIATES
965 CENTER STREET
SAN CARLOS, CA 94070
TEL: (650) 593-8980
- A DEMOLITION PERMIT IS REQUIRED FOR SIDEWALK, SEWER AND WATER REPLACEMENT
- REQUIRED PROTECTIVE FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO DEMO PERMIT ISSUANCE.
- SEWER BACKFLOW PROTECTION CERTIFICATE IS REQUIRED PER ORDINANCE NO. 1110. A DRAFT CERTIFICATION SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

- THE SURVEYOR RECOMMENDS THE CITY VERIFY THAT THE PERTINENT RESIDENCES WERE USED IN THE CALCULATION.
- GARAGE FOOTING SHALL NOT EXTEND INTO ONE FOOT SETBACK WITHOUT A LICENSED SURVEY AND FIELD STAKING REVIEWED BY INSPECTOR.
- NEW WATER METER SHALL NOT ON PRIVATE PROPERTY. IT MUST BE LOCATED ON PUBLIC PROPERTY FOR ACCESS BY METER READER.
- NEW SEWER LINE WITH CLEANOUT FOR NEW HOUSE. CLEANOUT AT SEWER MAIN LINE TO BE IN PUBLIC EASEMENT FOR CITY ACCESS.
- CONTRACTOR SHALL ENSURE THE DOUBLE VALE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING. SEE UFG APPENDIX III.A. MINIMUM 500 GPM REQUIRED. SEE TABLE NO. A-III-A-1.
- MINIMUM 1" WATER METER REQUIRED
- IF BACKWATER PROTECTION IS REQUIRED, CONTRACTOR SHALL PROVIDE AN ISOMETRIC DIAGRAM OF THE BUILDING SEWER INCLUDING ALL BACKWATER VALVES, RELIEF VALVES, AND ANY SEWER INJECTION SYSTEM DETAILS. CITY OF BURLINGAME MUNICIPAL CODE ORDINANCE 1110.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- PROVIDE A PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF QUICK-ACTING VALVES. CFC SECTION 609.02

PUBLIC WORK NOTES & CONDITIONS:

- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED:
 - REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE.
 - PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL.
 - ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION.
 - ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER B.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FUTURE PER ORDINANCE NO. 1110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
- A SURVEY BY A LICENSED SURVEYOR OR ENGINEER IS REQUIRED. THE SURVEY SHALL SHOW HOW THE PROPERTY LINES WERE DETERMINED AND THAT THE PROPERTY CORNERS WERE SET WITH SURVEYORS LICENSE NUMBERS ON DURABLE MONUMENTS. THIS SURVEY SHALL BE ATTACHED TO THE CONSTRUCTION PLANS. ALL CORNERS NEED TO BE MAINTAINED OR RE-INSTALLED BEFORE THE BUILDING FINAL. ALL PROPERTY CORNERS SHALL BE MAINTAINED DURING CONSTRUCTION OR RE-ESTABLISHED AT THE END OF THE PROJECT.
- ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY.
- CONSTRUCTION AND BUILDING USE SHALL CONFORM TO CONDITIONS AS DESCRIBED BY PLANNING COMMISSION AND/OR CITY COUNCIL ACTIONS.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- NO STORM WATERS, UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING, OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY." MUNICIPAL CODE SECTION 18.08.010 (1).
 - STORM WATER SHALL BE DRAINED THROUGH A CURB DRAIN OR TO THE STORM DRAINAGE SYSTEM. SEE CITY STANDARDS FOR CURB DRAIN DESIGN.
 - FLOOD ZONE 'C' REQUIRES FLOOD ZONE CONFIRMATION AND/OR PROTECTION OF HABITABLE SPACE.
 - PROVIDE ELEVATIONS TO CONFIRM DRAINAGE AND SITE DESIGN.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- IF POST-CONSTRUCTION IMPERVIOUS AREA IS GREATER THAN 40% OF TOTAL SIZE, MITIGATION OF THE ADDITIONAL STORM RUNOFF IN EXCESS OF 40% TOTAL LOT SITE MUST BE ADDRESSED. PLEASE SHOW HOW THE POST-CONSTRUCTION DESIGN WILL ADDRESS THE ADDITIONAL STORMOFF.



- PROVIDE A BACKFLOW PREVENTION DEVICE - USC APPROVED DOUBLE CHECK VALVE ASSEMBLY.
- CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY FOR THE FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING. SEE UFG APPENDIX III.A.

SCHEMATIC WATER LATERAL LINE
NOT TO SCALE

DRAINAGE NOTES:

RAINFALL COLLECTION
ALL NEW ROOF RAINWATER SHALL BE COLLECTED BY MEANS OF GALVANIZED METAL GUTTERS, UNLESS NOTED OTHERWISE, LOCATED AT THE EAVES. PAINT TO MATCH COLOR SCHEME OF RESIDENCE. GUTTER SHALL LEAD TO 2" X 4" RECTANGULAR METAL DOWNSPOUTS OR DOWNSPOUTS TO MATCH EXISTING AND/OR COPPER RAINWATER LEADER. DOWNSPOUTS SHALL TERMINATE BELOW GRADE TO A PERIMETER 4" DIAMETER ABS SOLID DRAINPIPE. RUN 4" DIAMETER OR SIZE AS NOTED ON SITE PLAN. SOLID PIPE THROUGH FACE OF CURB SO THAT WATER WILL EMPTY INTO THE STREET GUTTER SYSTEM. SLOPE ALL PIPES FOR ADEQUATE DRAINAGE. INSURE THAT THE LOCATION CHOSEN FOR THE PIPE TO GO THROUGH THE FACE OF CURB IS ADEQUATE TO CARRY THE WATER FROM THE SITE TO A CITY MAINTAINED WATER COLLECTION SYSTEM. IN SINGLE-FAMILY RESIDENCES THE WATER MAY FLOW TO THE STREET BY GRAVITY METHOD PROVIDED THERE IS SUFFICIENT GRADING TO INSURE FLOW TO THE STREET GUTTER AND THAT WATER DOES NOT FLOW ONTO ADJACING PROPERTIES.

SUMP PUMP MAY BE REQUIRED (SEE SITE PLAN).
IF THE GRAVITY METHOD OF DRAINAGE CANNOT BE USED, PROVIDE A SUMP PUMP OF ADEQUATE SIZE TO CARRY ALL WATER THROUGH A 2" DIAMETER ABS PIPE THROUGH THE FACE OF THE CURB SO THAT THE WATER WILL EMPTY INTO THE GUTTER SYSTEM. INSURE THAT THE LOCATION CHOSEN FOR THE PIPE TO GO THROUGH THE FACE OF CURB IS ADEQUATE TO CARRY THE WATER FROM THE SITE TO A CITY MAINTAINED WATER COLLECTION SYSTEM.

PROVIDE A BACKFLOW PREVENTER/DEVICE AT A LOCATION NEAR THE TERMINATION OF THE SOLID PIPE THROUGH THE FACE OF CURB AS REQUIRED TO PREVENT RAINWATER FROM THE GUTTER SYSTEM ENTERING THE SUMP PUMP SYSTEM.

SUMP PUMP AT A MINIMUM SHALL BE A 1/4 HP AUTOMATIC SUBMERSIBLE SUMP PUMP WITH PERFORMANCE AS LISTED BELOW (MINIMUM). INSTALL AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

DISCHARGE FEET OF HEAD 5 10 15
PERFORMANCE (GALLONS PER HOUR) 2280 1620 660

SUMP PIT- INSTALL PUMP IN SUMP PIT (CATCH BASIN) WITH THE MINIMUM CLEARANCES AND DEPTHS AS PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

FIRE NOTES:

CONTRACTOR SHALL OBTAIN SEPARATE FIRE SPRINKLER PERMIT FOR THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 18.04.050 OF THE BURLINGAME MUNICIPAL CODE. THE MINIMUM SIZE SERVICE FOR FIRE SPRINKLER SYSTEM SHALL CONFORM TO NFPA 13 OR 13R IS 2". FOR NFPA 13D SYSTEMS THE MINIMUM SIZE IS 1".
FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED DIRECTLY TO THE BURLINGAME FIRE DEPARTMENT AT 1399 ROLLINS ROAD, BURLINGAME ONLY AFTER FIRE SPRINKLER UNDERGROUNDS HAVE BEEN SUBMITTED TO THE BURLINGAME BUILDING DEPARTMENT.

FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX B. FIRE FLOW RESIDENTIAL BUILDINGS LESS THAN 3600 SQ. FT. SHALL BE PROVIDED AT 1000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%. CONTACT BURLINGAME ENGINEERING DEPARTMENT.

GREEN BUILDING NOTES:

- PROJECTS THAT DISTURB LESS THAN ONE ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. A BMP PAGE IS SUFFICIENT.
- PLANS SHALL INDICATE HOW GRADING AND PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER DRAINAGE PATH.
- ELECTRIC VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY WITH ALL RELEVANT SECTIONS.

NOTES:

- WHERE THE PROPERTY LINE IS LESS THAN TEN (10) FEET FROM THE EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN (10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3") OR, AS AN ALTERNATIVE, MANUFACTURER-APPROVED Baffles MUST BE INSTALLED.
- CONTRACTOR SHALL PROVIDE ADEQUATE MEASURES TO AVOID EROSION OR SEDIMENT FROM LEAVING THE SITE AND FLOWING INTO THE STREET, CURB OR GUTTER. (USE STRAW WADDLES).
- REPLACE DAMAGED OR DISPLACED CURB, GUTTER AND/OR SIDEWALK ALONG THE PROPERTY FRONTAGE. A CITY ENCROACHMENT PERMIT IS REQUIRED.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER B.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- A PROPERTY SURVEY IS REQUIRED IF ANY PART OF PERMANENT STRUCTURE INCLUDING FOOTING IS WITHIN 12" OF PROPERTY LINE.

STORM WATER NOTES:

- PROJECTS THAT CREATE AND/OR REPLACE 25000 SQUARE FEET TO 100000 SQUARE FEET OF IMPERVIOUS SURFACE (DRIVEWAY, OR OTHER NON-PERVIOUS SURFACE) MUST COMPLY WITH THE SAN FRANCISCO BAY MUNICIPAL REGIONAL STORMWATER NPDES PERMIT. PLEASE SHOW ON PLANS WHICH SITE DESIGN MEASURE(S) LISTED ON THE STORMWATER CHECKLIST FOR SMALL PROJECTS WILL BE INSTALLED TO MEET THIS REQUIREMENT. A COPY OF THE SMALL PROJECTS CHECKLIST IS ACCESSIBLE HERE: <https://www.burlingame.org/stormwaterdevelopment>.
- DESIGN MEASURES:
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREAS USING A DISCONNECTED DOWNSPOUT.

TABLE NO. A-III-A-1

MINIMUM REQUIRED FIRE FLOW & FLOW DURATION BUILDINGS

FIRE AREA (square feet)					FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
Type I-F.R.	Type II One-F.R.	Type IV-H.T.	V-One-H.T.	Type V-NI		
0-22,700	0-12,700	0-12,700	0-12,700	0-12,700	1,500	1.00
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	1.00
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	1.00
38,701-46,300	21,801-24,200	12,901-17,400	9,801-12,000	6,201-7,700	2,250	1.00
46,301-54,000	24,201-33,300	17,401-21,300	12,801-15,400	7,701-9,400	2,500	1.00
54,001-70,900	33,301-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	1.00
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	1.00
83,701-101,700	47,101-54,800	30,101-35,200	21,801-25,500	13,401-15,800	3,250	1.00
101,701-112,700	54,801-63,400	35,201-40,600	25,501-29,300	15,801-18,000	3,500	1.00
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	1.00
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	1.00
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	1.00
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	1.00
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	1.00
203,701-225,200	114,601-128,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	1.00
225,201-247,700	128,701-139,400	81,101-89,200	58,601-64,400	36,001-39,600	5,250	1.00
247,701-271,200	139,401-152,600	89,201-97,700	64,401-70,600	39,601-43,400	5,500	1.00
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,100	5,750	1.00
295,901-Greater	166,501-Greater	106,501-115,800	77,001-83,700	47,101-51,500	6,000	1.00
-	-	115,801-125,500	83,701-90,600	51,501-55,700	6,250	1.00
-	-	125,501-135,500	90,601-97,900	55,701-60,200	6,500	1.00
-	-	135,501-145,800	97,901-106,800	60,201-64,800	6,750	1.00
-	-	145,801-156,700	106,801-113,200	64,801-69,600	7,000	1.00
-	-	156,701-167,900	113,201-121,300	69,601-74,800	7,250	1.00
-	-	167,901-179,400	121,301-129,600	74,801-79,800	7,500	1.00
-	-	179,401-191,400	129,601-138,300	79,801-85,100	7,750	1.00
-	-	191,401-Greater	138,301-Greater	85,101-Greater	8,000	1.00

PUBLIC WORK NOTES:

- ANY WORK IN THE CITY RIGHT-OF-WAY, SUCH AS STREET, SIDEWALK AREA, PUBLIC EASEMENTS, AND UTILITY EASEMENTS, IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK.
- BASED ON THE SCOPE OF WORK, THIS IS A TYPE I PROJECT THAT REQUIRES A STORMWATER CONSTRUCTION POLLUTION PREVENTION PERMIT. THIS PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).
- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, (4) ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
- CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00 PM. THIS INCLUDES CONSTRUCTION HAULING.
- NO STORM WATERS, UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING, OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY. NO RAIN WATER FROM ROOFS OR OTHER RAIN WATER DRAINAGE SHALL DISCHARGE UPON A PUBLIC SIDEWALK (EXCEPT IN SINGLE FAMILY AREAS) PER MUNICIPAL CODE SECTION 18.08.050.
- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
- NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY. THE PROPERTY LINE ON BERNAL AVENUE IS APPROXIMATELY 101' FEET MEASURED FROM FACE OF CURB.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
- ALL DEBRIS/GARBAGE CONTAINERS LOCATION SHALL BE ON PROPERTY. IN A SITUATION WHERE THAT IS NOT POSSIBLE, AN ENCROACHMENT PERMIT IS REQUIRED FROM PUBLIC WORKS DEPARTMENT FOR PLACING DEBRIS/GARBAGE CONTAINERS IN PUBLIC RIGHT-OF-WAY. NO WET GARBAGE FLUID SHALL ENTER PUBLIC RIGHT-OF-WAY OR THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT (USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK.
- IF PUBLIC WORKS REQUIRES SIDEWALK REPLACEMENT, POLICY FOR EXPANDING WIDTH OF PLANTER STRIP MUST BE IMPLEMENTED AROUND NEW OR EXISTING CITY STREET TREE.

PUBLIC WORKS SITE NOTES:

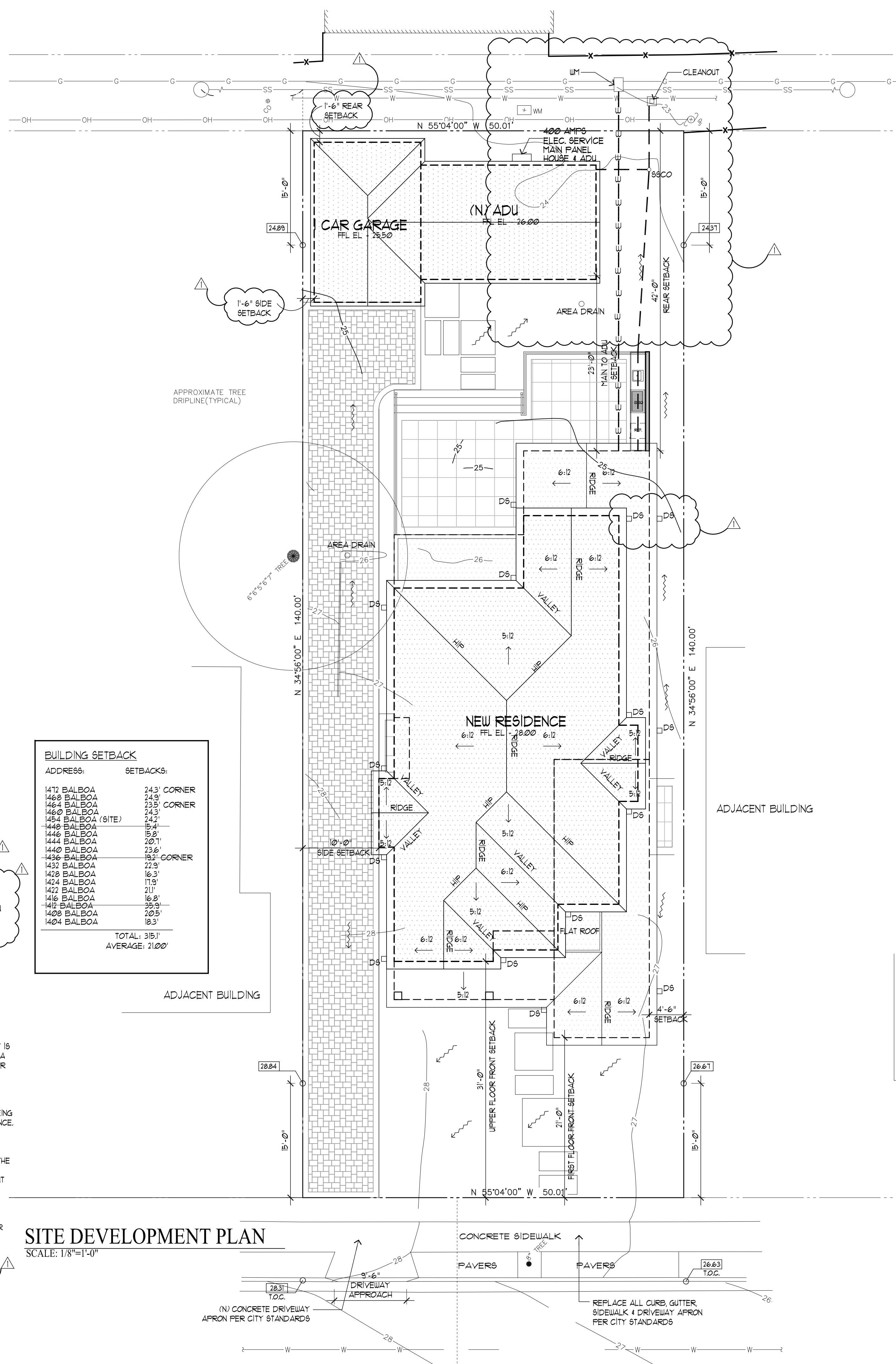
- ALL ABANDONED SEWER LATERALS SHALL HAVE WYES OR SADDLES REMOVED OFF THE MAIN AND REPLACE WITH NEW STRAIGHT SECTION.
- ALL ABANDONED EXISTING WATER SERVICES, 2-INCH OR BELOW SHALL BE CUT AND CUP AT THE EXISTING MAIN CONNECTION AND DISCONNECT AT SERVICE SADDLE. ABANDONED VALVE WHERE APPLICABLE.
- ALL ABANDONED EXISTING WATER SERVICES, GREATER THAN 2", SHALL HAVE TEES REMOVED AT MAIN AND REPLACE WITH STRAIGHT PIPE PER CITY STANDARDS AND DETAILS.
- NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOX, ETC) PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.
- REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, (4) ANY UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT THE MAIN AND PER CITY REQUIREMENTS. AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR THESE ITEMS.
- IF THE STRUCTURE (ADU AND/OR GARAGE) IS PROPOSED TO BE BUILT WITHIN 24" OF THE PROPERTY LINE, PLEASE ADD THE FOLLOWING STATEMENT, DUE TO THE CONSTRUCTION OF THE ADU AND/OR GARAGE UP AGAINST THE REAR AND/OR SIDE PROPERTY LINE(S), A CONSTRUCTION STRING LINE REPRESENTING THE PROPERTY LINE SHALL BE ESTABLISHED DURING THE FINAL PUBLIC WORKS INSPECTION TO CONFIRM NO ENCROACHMENTS EXIST.

BUILDING NOTES:

- BASED ON THE SCOPE OF WORK, THIS PROJECT IS CONSIDERED A TYPE I PROJECT THAT REQUIRES A STORMWATER CONSTRUCTION POLLUTION PREVENTION PERMIT. NOTE: THIS PERMIT IS REQUIRED TO BE OBTAINED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. IN ADDITION, AN INITIAL FIELD INSPECTION BY THE PUBLIC WORKS INSPECTOR IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY.
- PUBLIC WORKS REQUIRE A SEWER BACKWATER PROTECTION CERTIFICATE PRIOR TO PERMIT BEING ISSUED. PLEASE CONTACT PUBLIC WORKS AT 650-558-7230 PRIOR TO BUILDING PERMIT ISSUANCE.
- DEMOLITION OF A STRUCTURE REQUIRE THE OWNER TO OBTAIN A PERMIT FROM BAAQMD AND REQUIRE SIGN-OFFS FROM THE WATER, SEWER, AND PLANNING AND RECYCLING DEPARTMENTS. THE DEMOLITION PERMIT APPLICATION, AVAILABLE ON THE CITY OF BURLINGAME BUILDING DEPARTMENTS WEB SITE, WILL NEED NEED TO BE COMPLETED PRIOR TO BUILDING DEPARTMENT APPROVAL AND THE START OF WORK. OWNER SHOULD CALL BAAQMD FOR QUESTIONS CONCERNING OBTAINING A PERMIT FROM THE BAY AREA QUALITY MANAGEMENT DISTRICT.
- RECYCLING AND WASTE REDUCTION FORM WILL NEED TO BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT. THE OWNER SHOULD CONTACT JOE MACLUSKEY RECYCLING SPECIALIST AT 650-558-7273

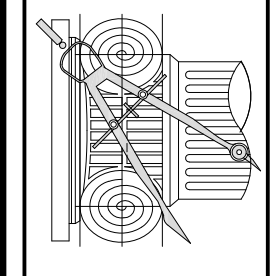
POST-CONSTRUCTION IMPERVIOUS AREA CALCULATION:

1. LOT SIZE = 7,000 SQ. FT.	
2. 40% POST CONSTRUCTION IMPERVIOUS AREA: 2,800 SQ. FT.	
(N) STRUCTURE / GARAGE =	139,225 SQ. FT.
(N) ADU =	80,125 SQ. FT.
TOTAL	2,719,500 SQ. FT. < 2,800 SQ. FT.



REVISIONS	BY
PLNG PC1 05/26/26	PU
PLNG PC1 06/23/26	PU

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL: (650) 345-9286 x 1001

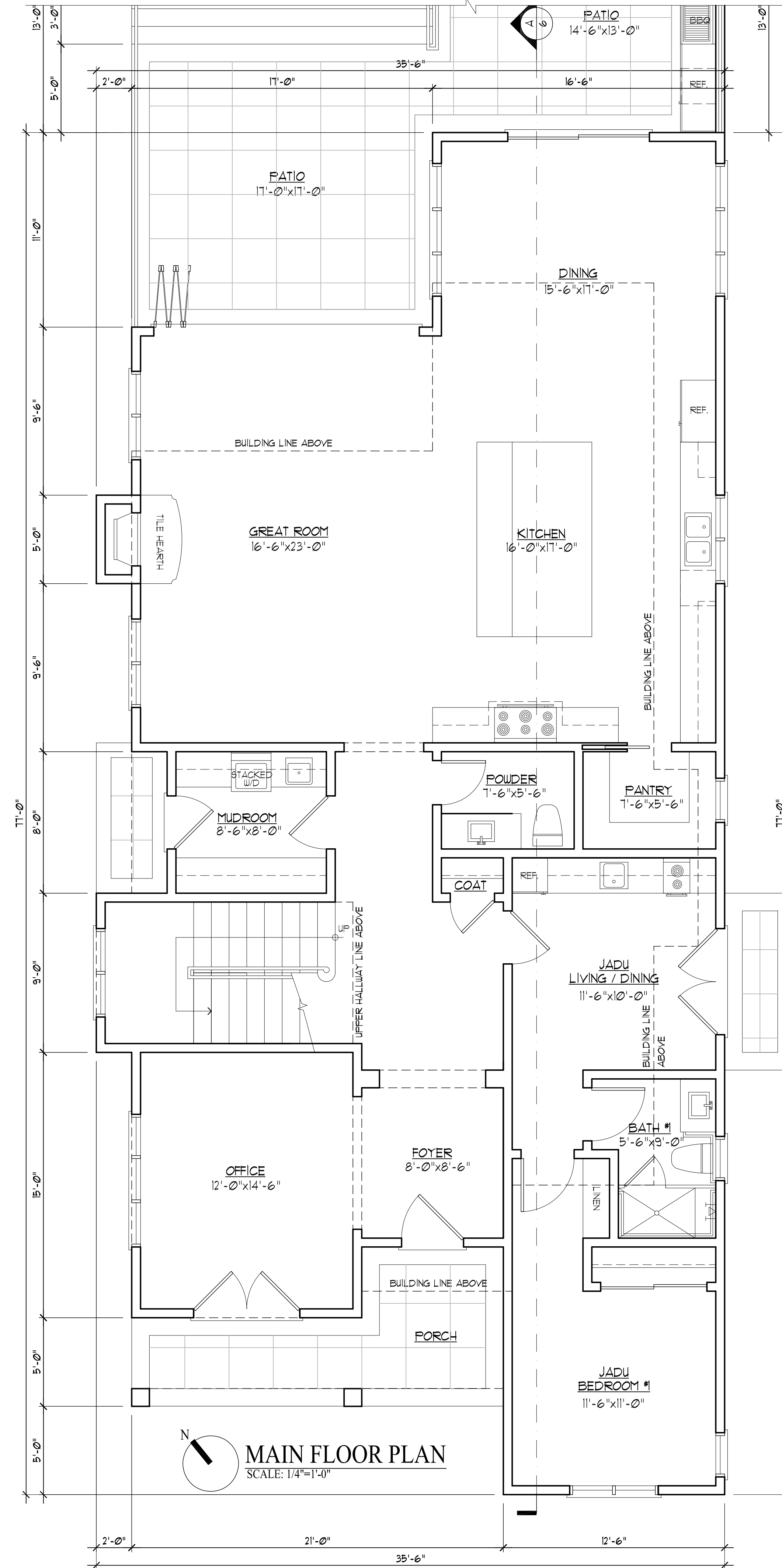
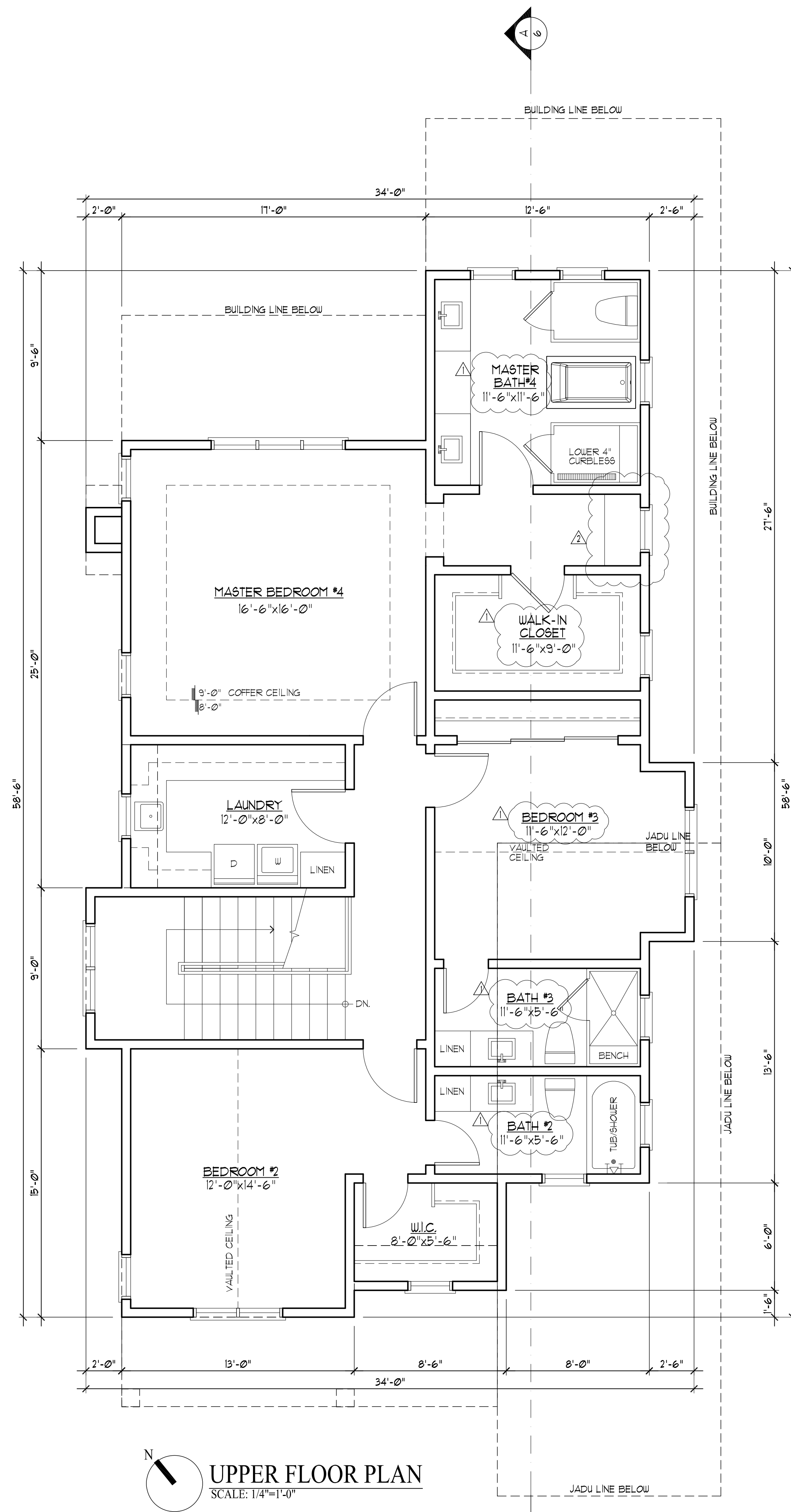


The drawing on this sheet, specification ideas, designs and arrangements represented thereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE:	JAN. 29, 2026
SCALE:	AS NOTED
DRAWN:	PU
CHK:	
SHEET NO.	

A.2.1
OF SHEETS



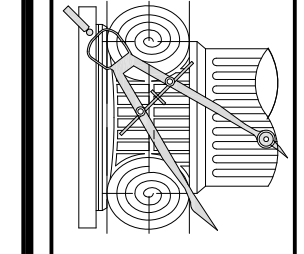
The drawing on this sheet, specification ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

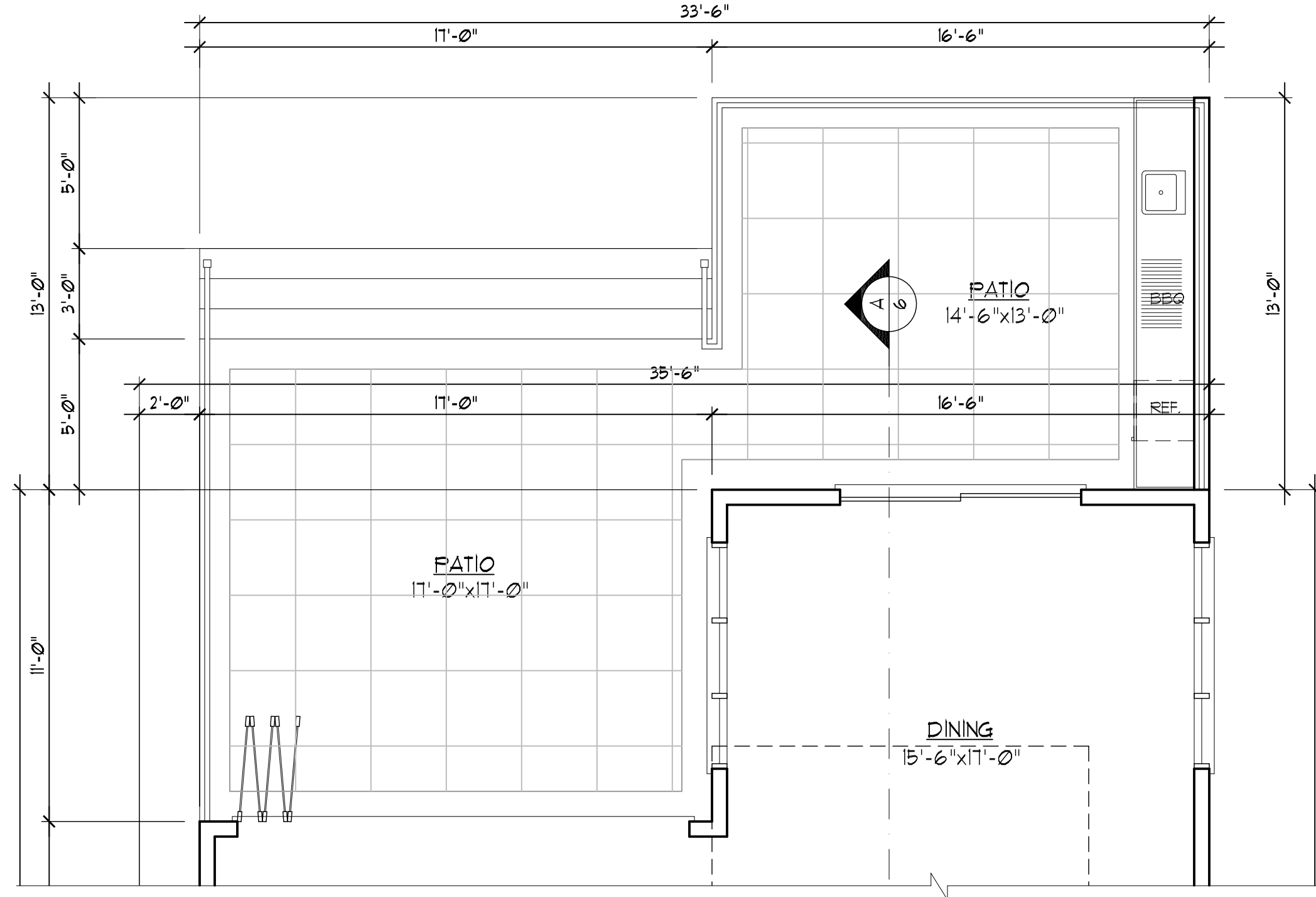
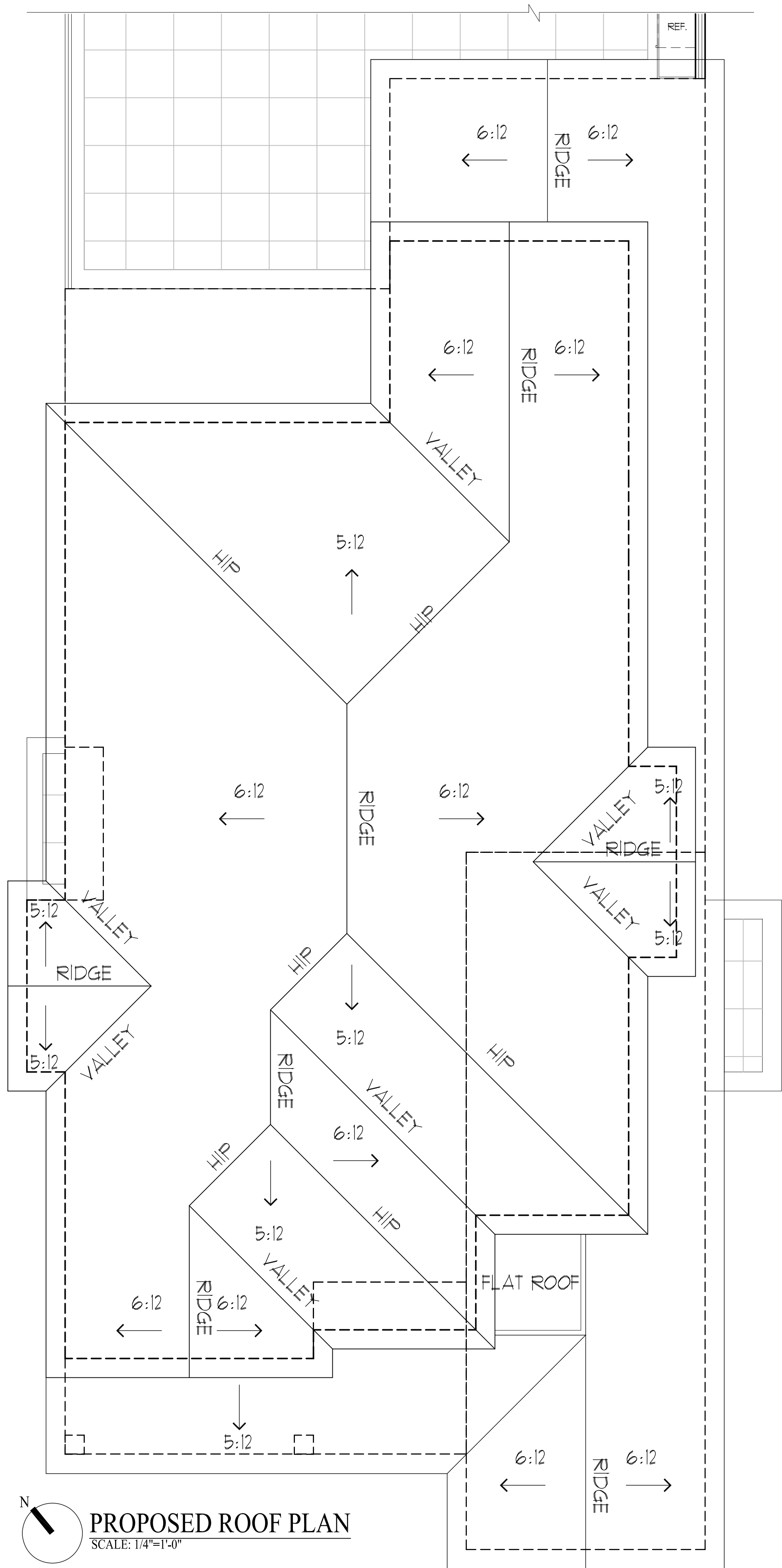
NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE: JAN. 29, 2026
SCALE: AS NOTED
DRAWN: PU
XIR:
SHEET NO.

REVISIONS	BY
PUNG, PC1 05/26/26	PU
PUNG, PC1 06/23/26	PU

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL.: (650) 345-9286 x 1001





The drawing on this sheet, specification ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

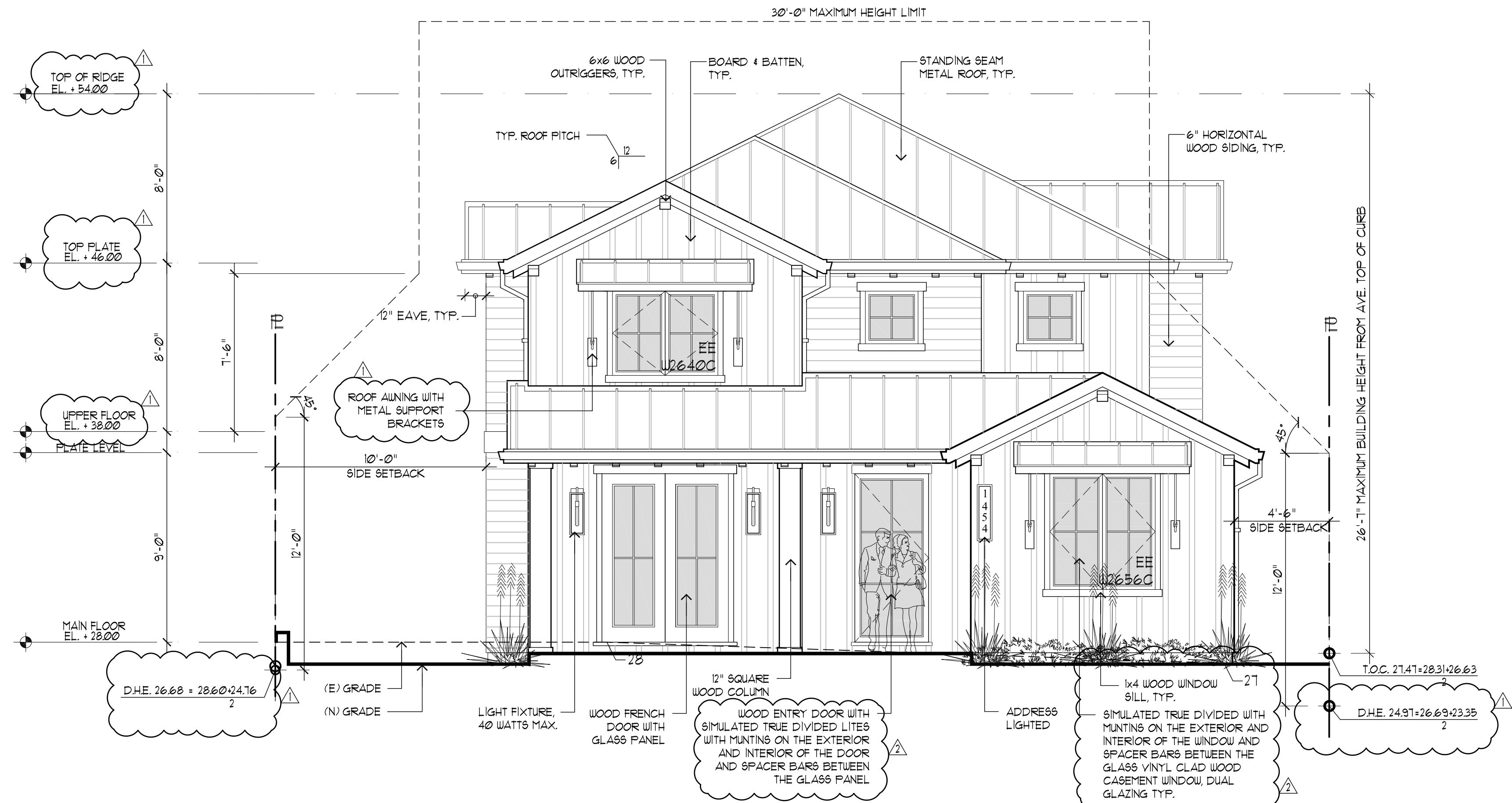
NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE: JAN. 29, 2026
SCALE: AS NOTED
DRAWN: PU
XREF: PU
SHEET NO.

A.3.1
OF SHEETS

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL.: (650) 345-9286 x 1001

REVISIONS		BY
PLNG - PC1	05/26/26	PU
PLNG - PC1	06/23/26	PU



FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

LEGEND
EE = EMERGENCY EGRESS

REVISIONS	BY
PLNG_PC1 05/26/26	PU
PLNG_PC1 06/23/26	PU

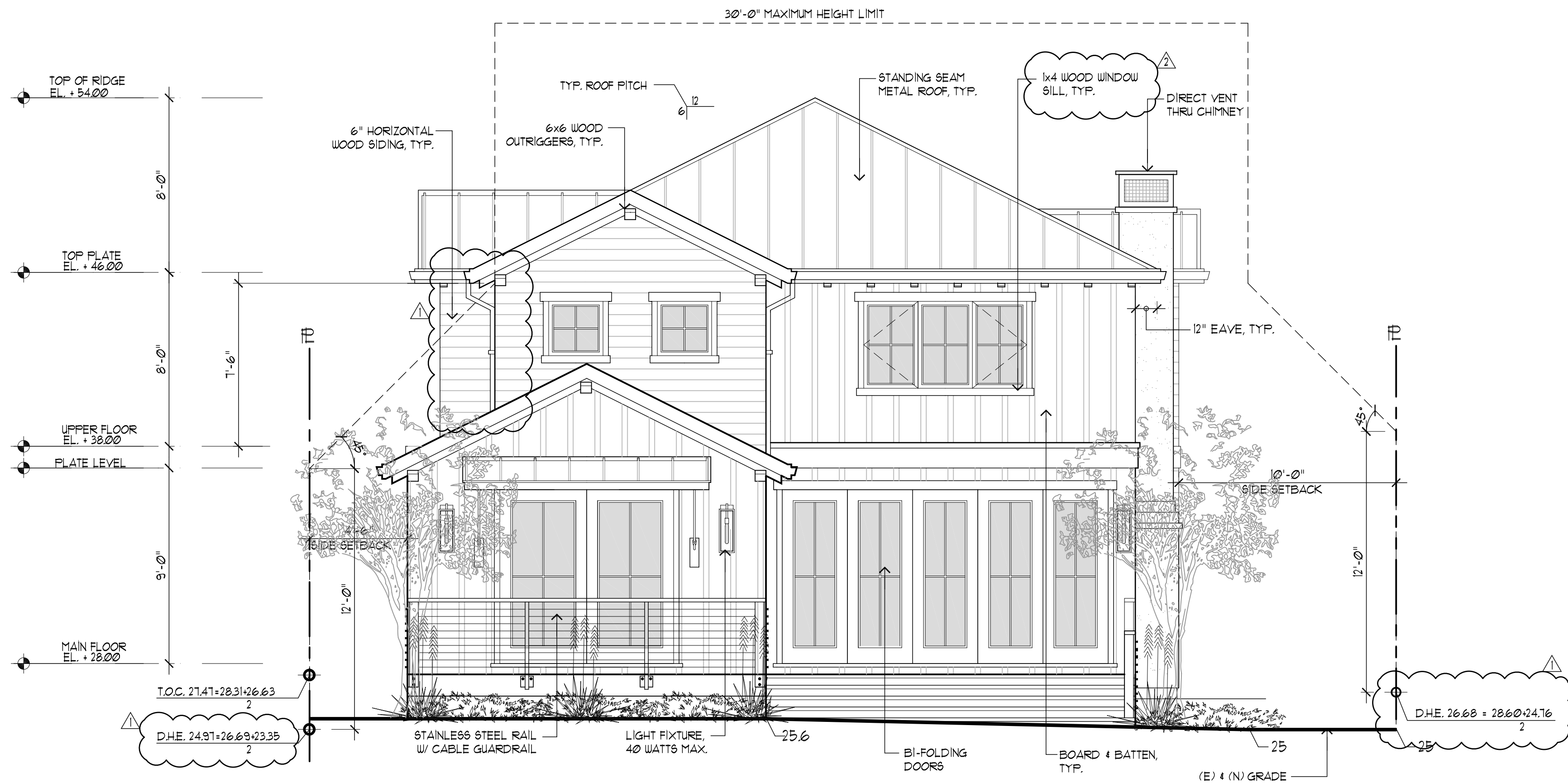
CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL: (650) 345-9286 x 1001

The drawing on this sheet, specification ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE: JAN. 29, 2026
SCALE: AS NOTED
DRAWN: PU
FOR: A.P.N.: 026-013-320
SHEET NO.

A.5
OF SHEETS



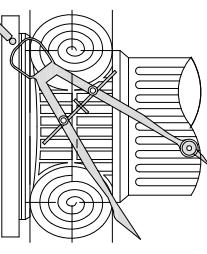
REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS		BY
PLNG_PC1	05/26/26	PU
PLNG_PC1	06/23/26	PU

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL: (650) 345-9286 x 1001

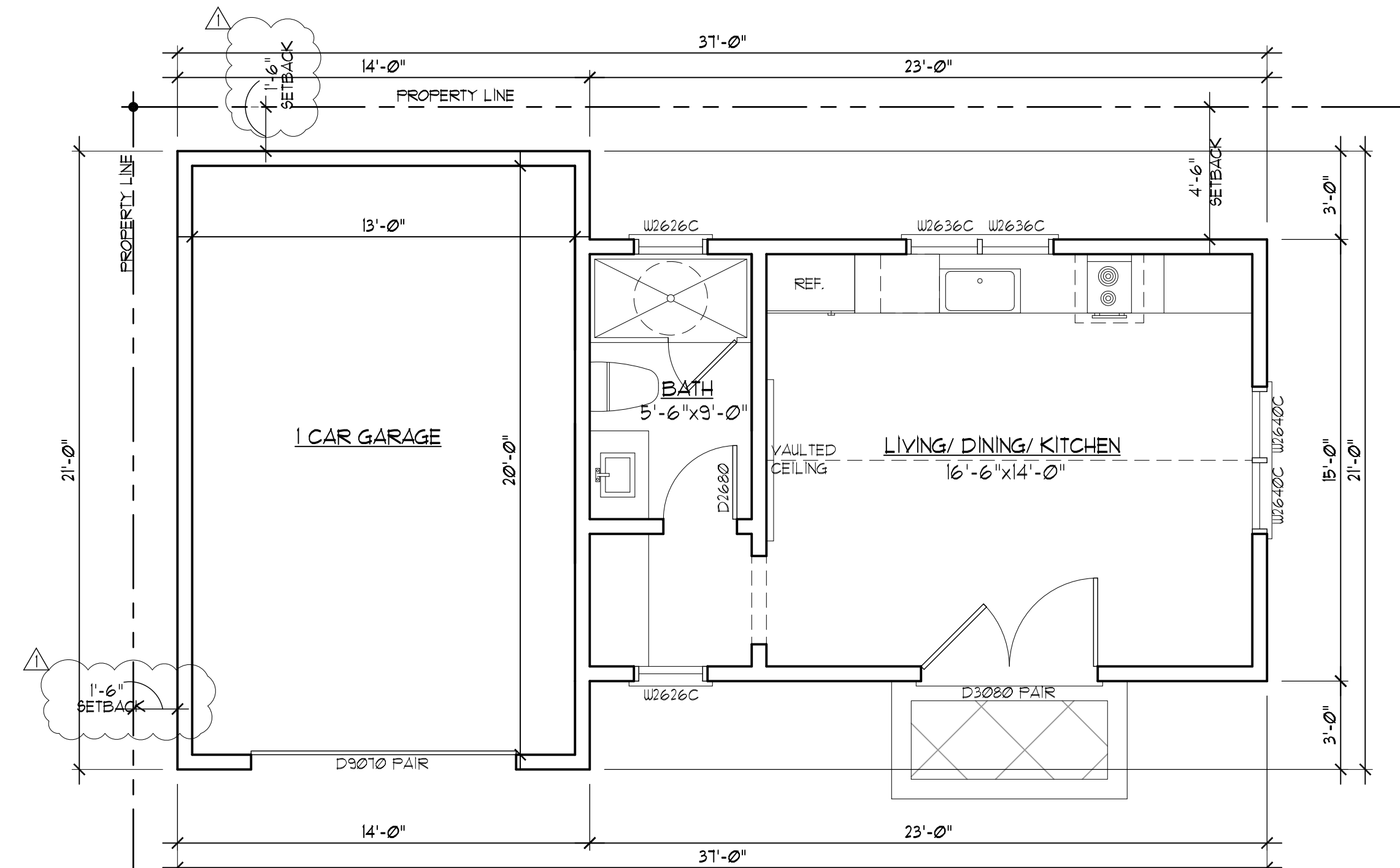


The drawing on this sheet, specification ideas, designs and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

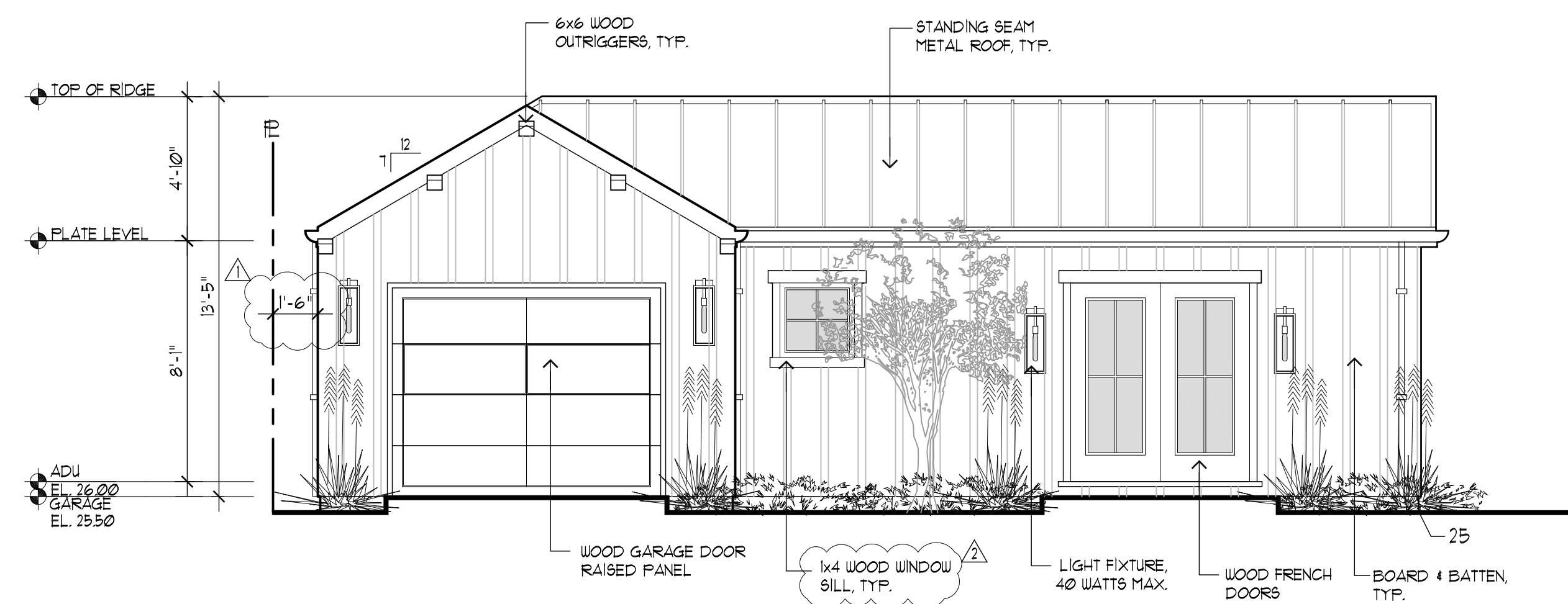
NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE:	JAN. 29, 2026
SCALE:	AS NOTED
DRAWN:	PU
CHK:	
SHEET NO.	

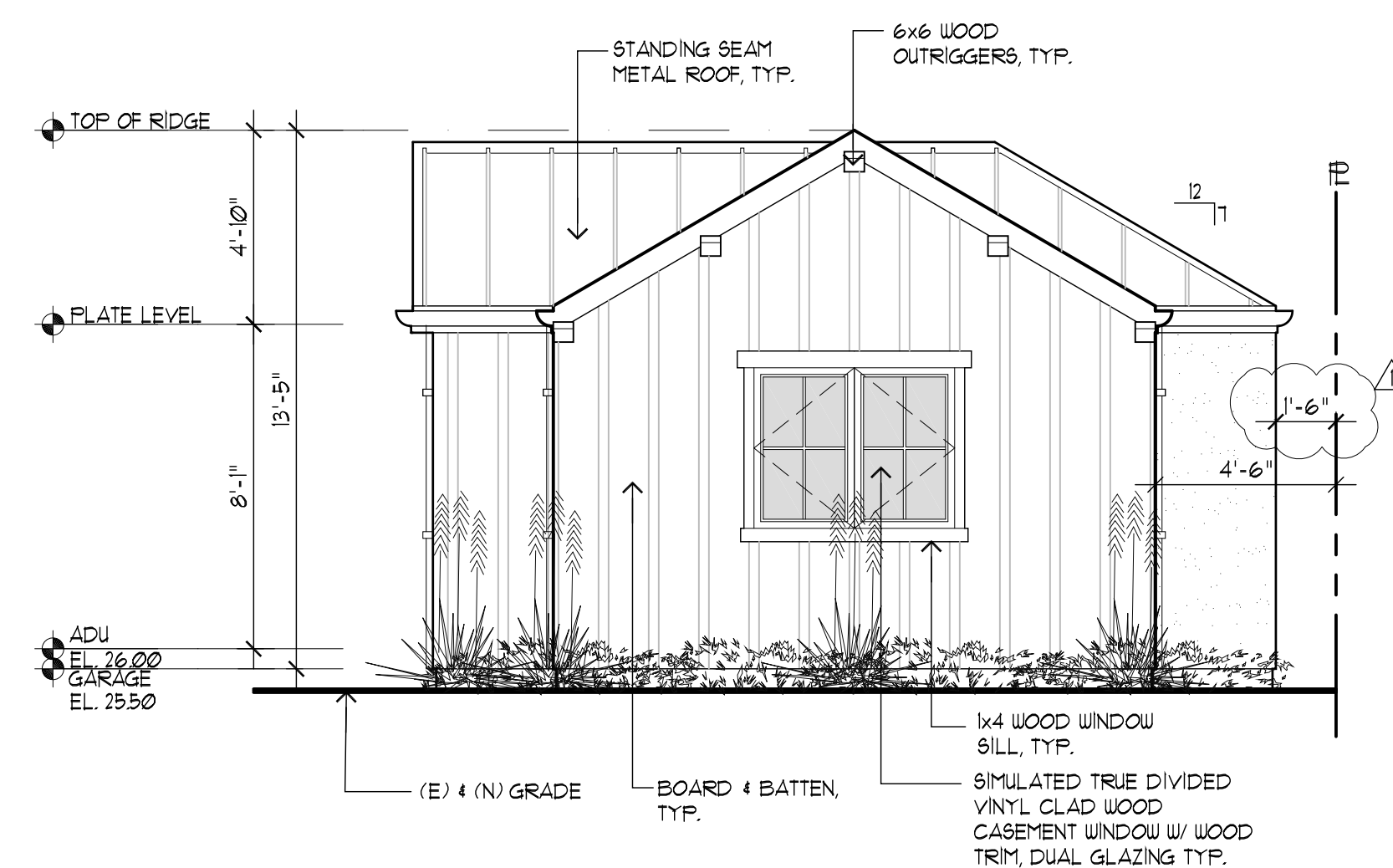
A.6
OF SHEETS



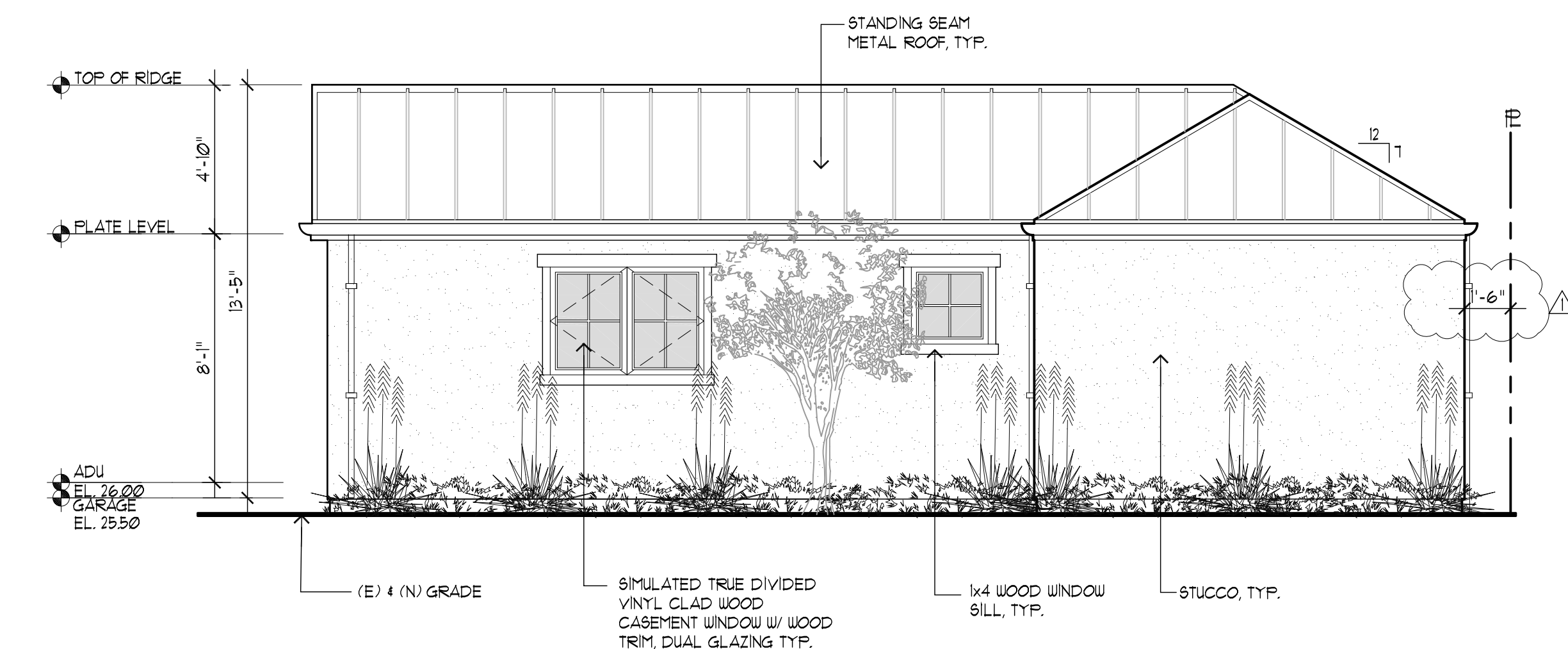
GARAGE & ADU FLOOR PLAN
SCALE: 1/4"=1'-0"



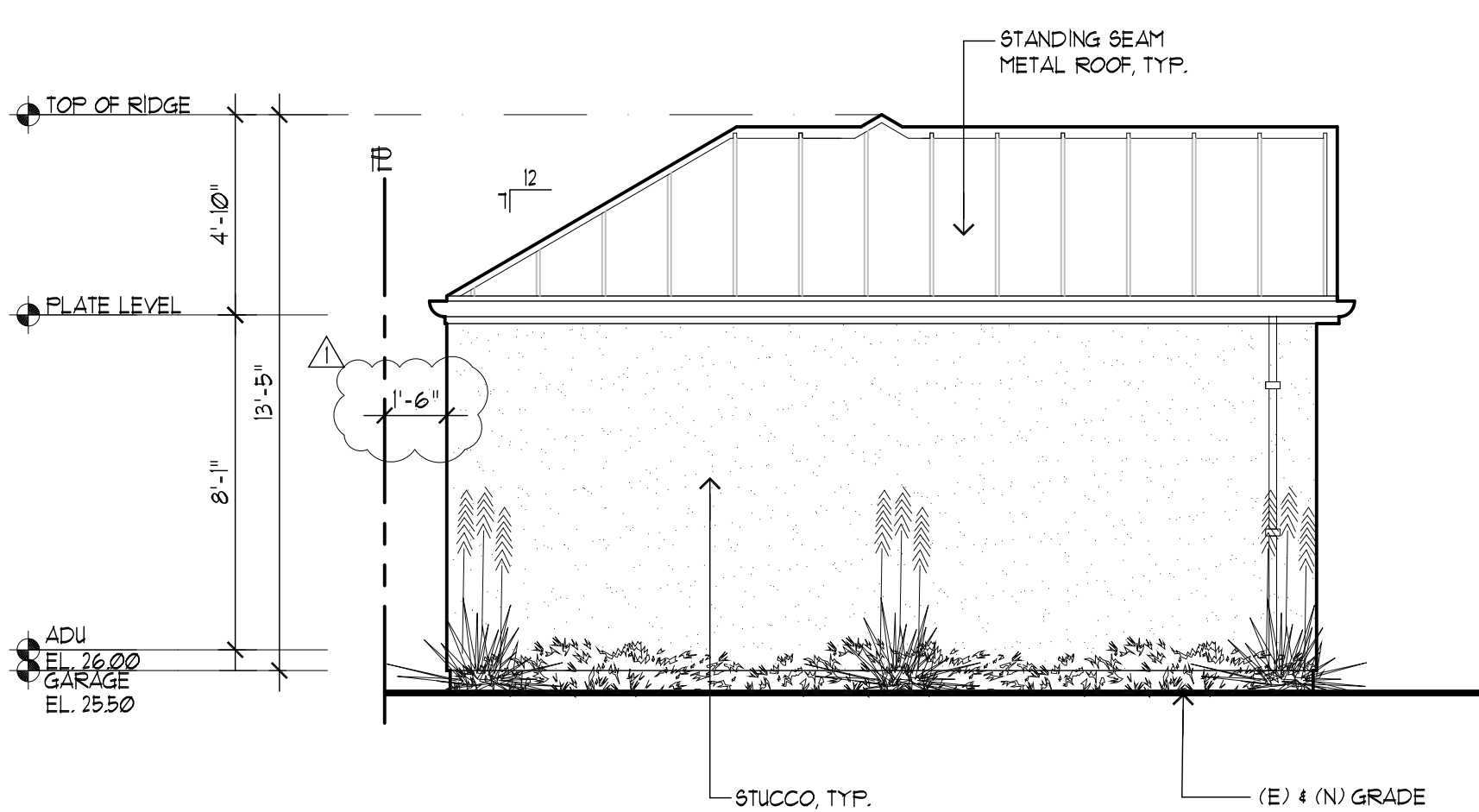
FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

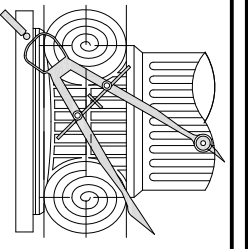


LEFT ELEVATION
SCALE: 1/4"=1'-0"

EE = EMERGENCY EGRESS

[illegible]

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL: (650) 345-9286 x 1001

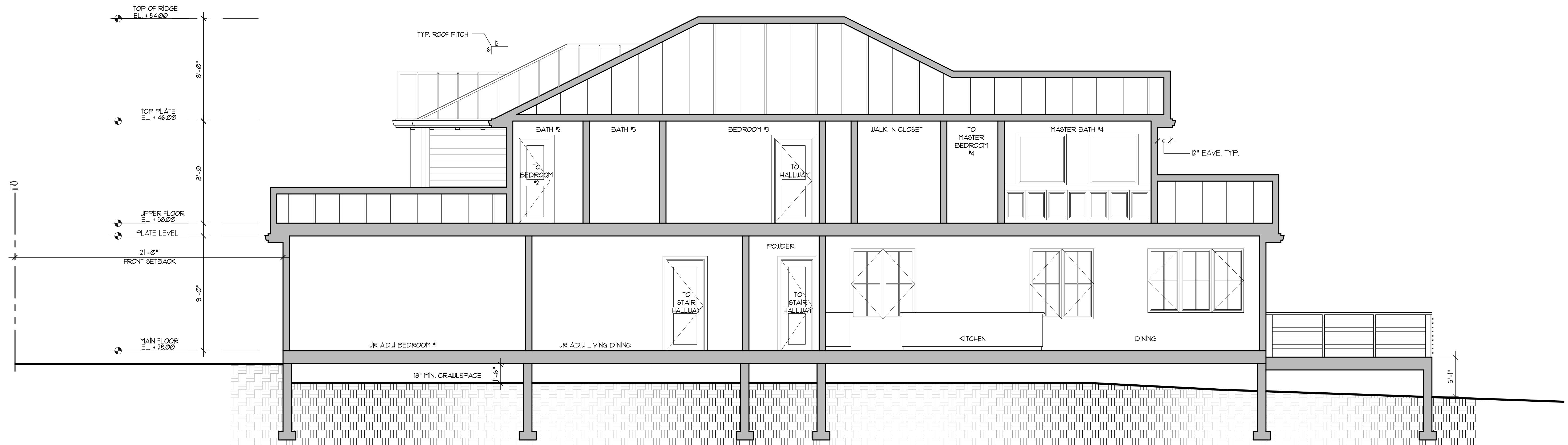


thereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE:	JAN. 29, 2026
RE:	AS NOTED
OWN:	PU
ET NO.	

A.7



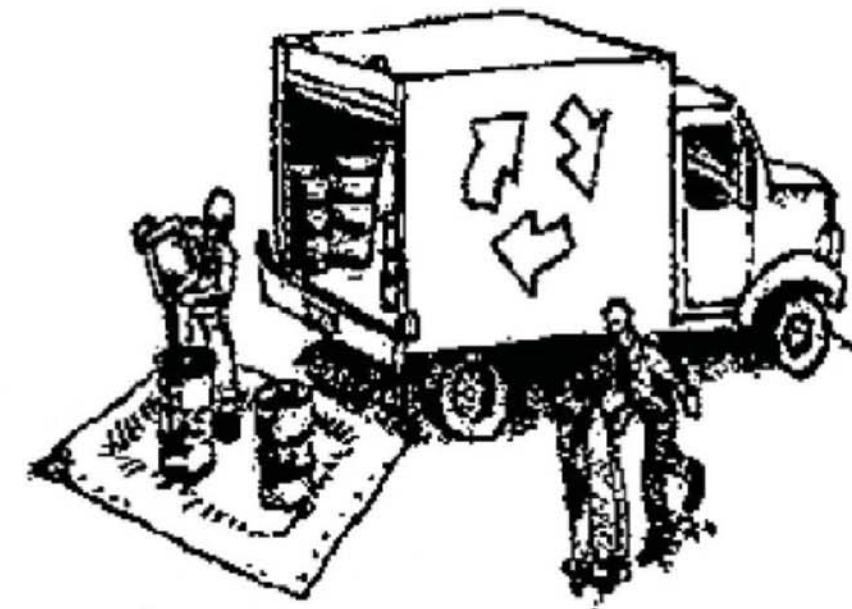
BUILDING SECTION

SCALE : 1/4"=1'-0"

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



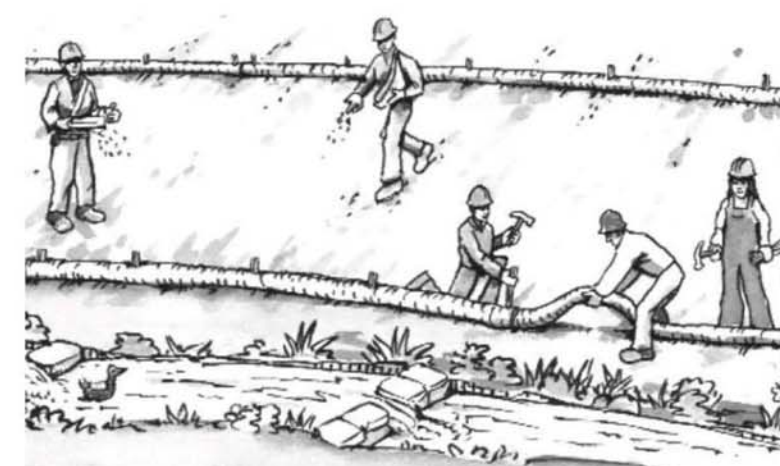
Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

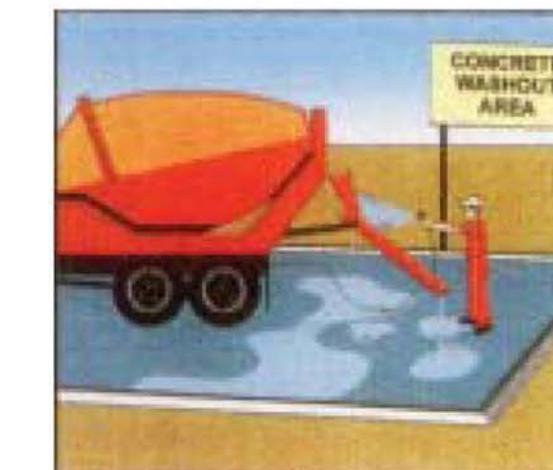


- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

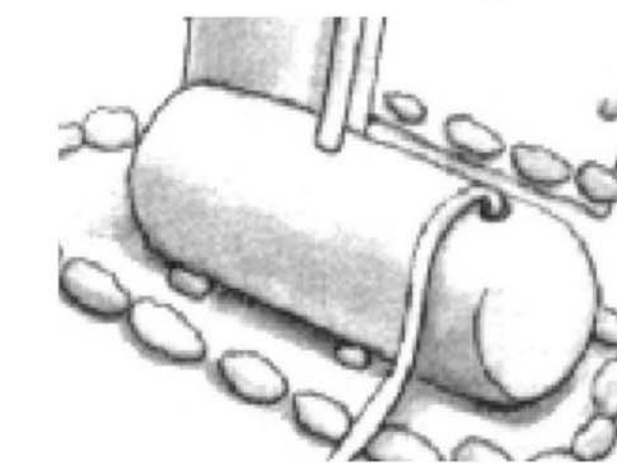
- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



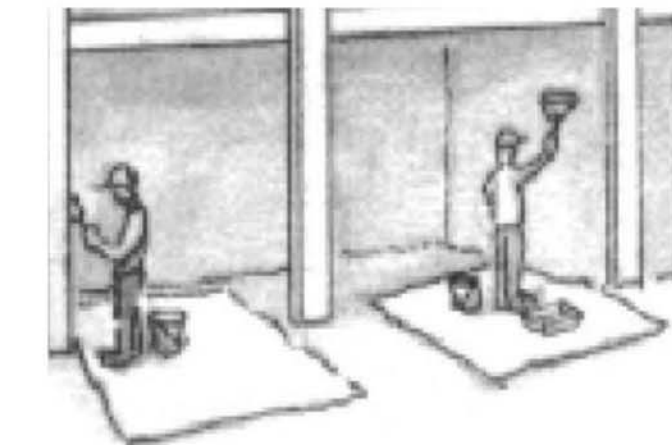
- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

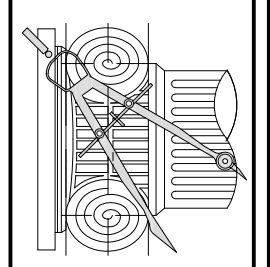
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

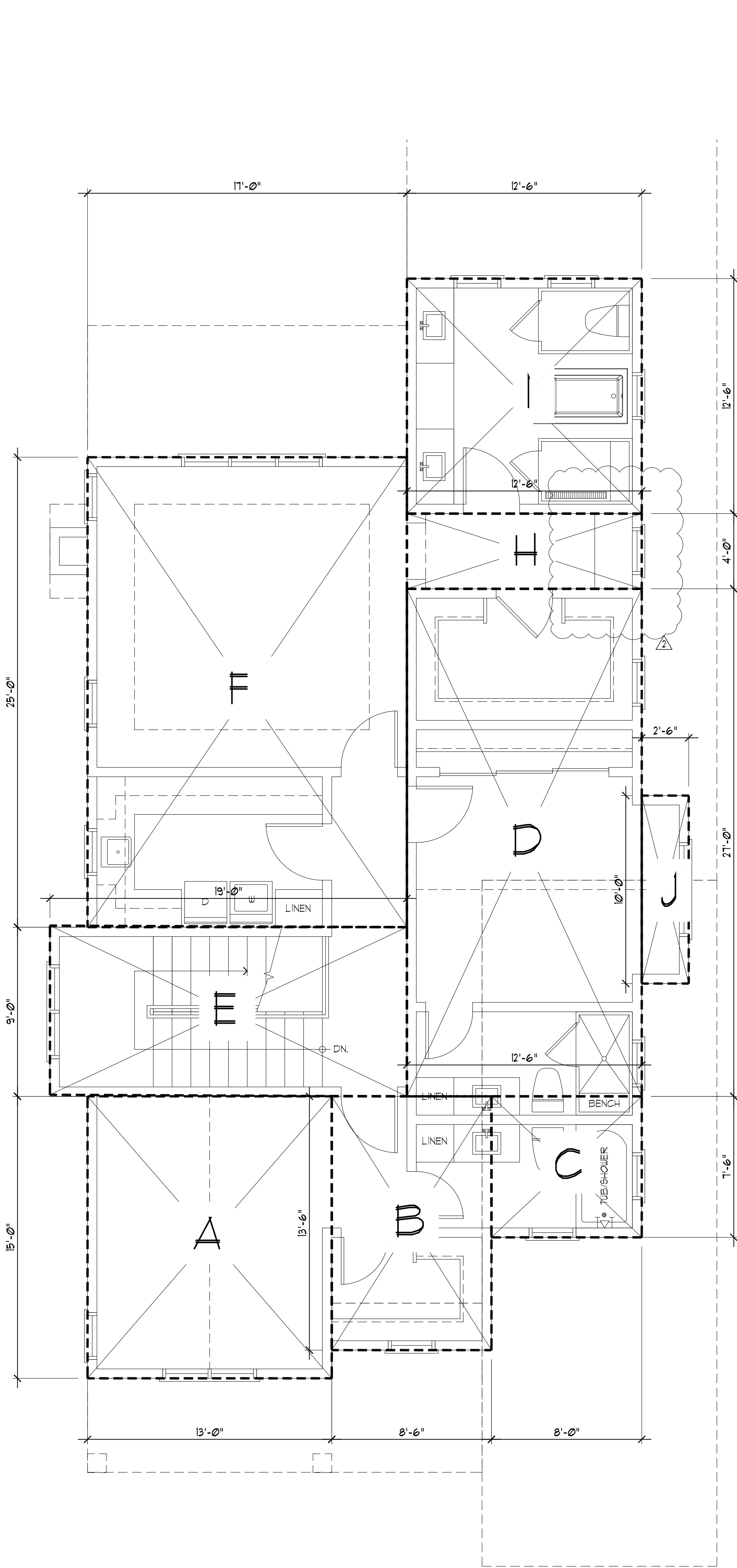
Landscape Materials



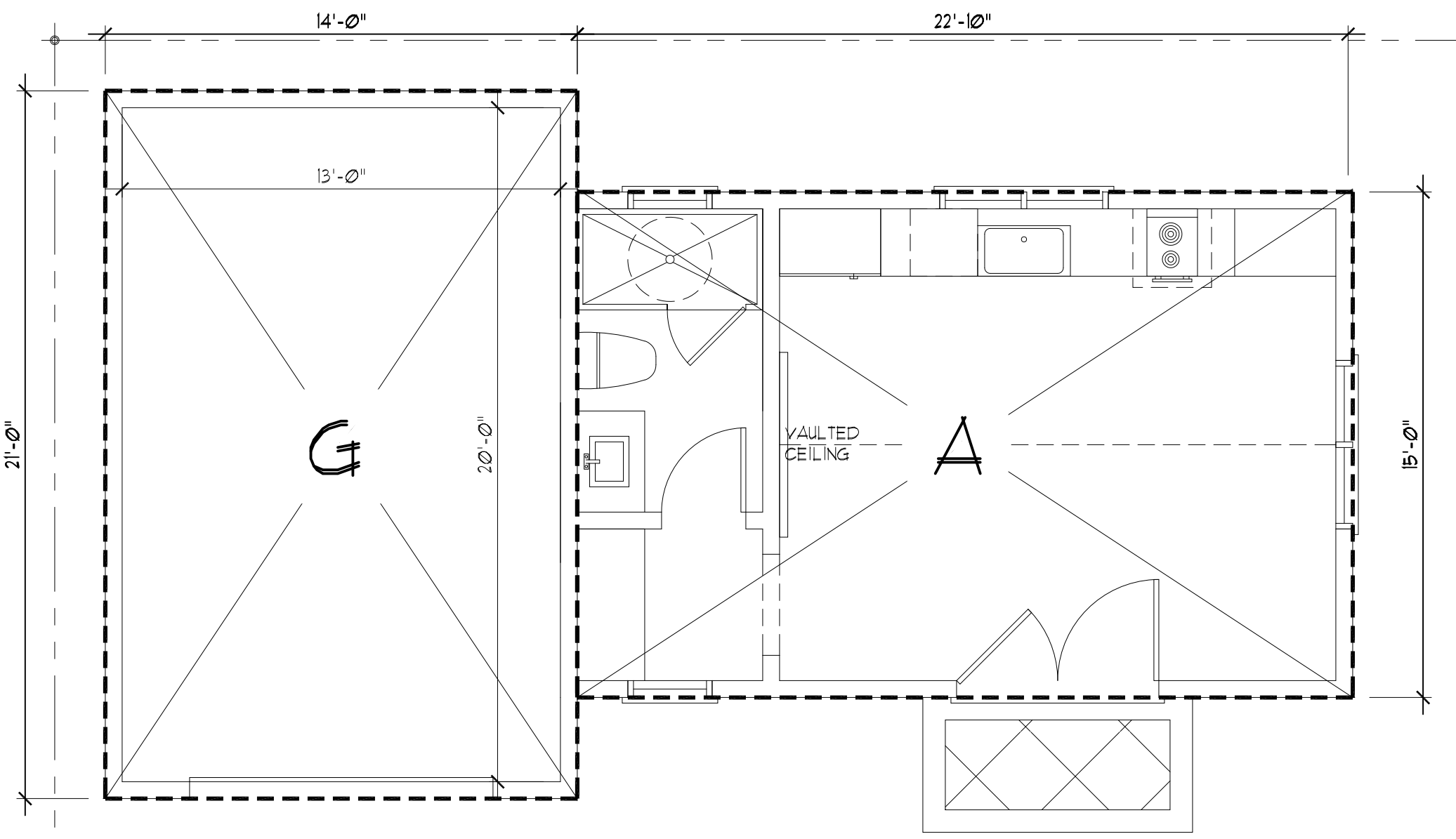
- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!





UPPER FLOOR AREA CALCULATION
SCALE: 1/4"=1'-0"



ADU AREA CALCULATION

SCALE: 1/4"=1'-0"

MAIN FLR FLOOR AREA:

A	4'-0" x 22'-6"	=	90.00 SF
B	16'-6" x 40'-6"	=	668.25 SF
C	13'-0" x 15'-0"	=	195.00 SF
D	4'-0" x 11'-0"	=	44.00 SF
E	19'-0" x 9'-0"	=	171.00 SF
F	15'-0" x 8'-0"	=	120.00 SF
H	17'-0" x 24'-0"	=	408.00 SF
FP	2'-0" x 5'-0"	=	10.00 SF
JA	12'-6" x 36'-6"	=	456.25 SF
(JADU) 456.25 SF < 500 SF = 0.00 SF			
P1	8'-0" x 9'-0"	=	72.00 SF
P2	13' x 0"-5'-0"	=	65.00 SF
(PORCH) 131.00 SF < 200 SF = 0.00 SF			

TOTAL MAIN FLR AREA: = 1696.25 SF

UPPER FLR FLOOR AREA:

A	13'-0" x 15'-0"	=	195.00 SF
B	8'-6" x 13'-6"	=	114.75 SF
C	8'-0" x 7'-6"	=	60.00 SF
D	12'-6" x 27'-0"	=	337.50 SF
E	19'-0" x 9'-0"	=	171.00 SF
F	17'-0" x 25'-0"	=	425.00 SF
H	12'-6" x 4'-0"	=	50.00 SF
I	12'-6" x 12'-6"	=	156.25 SF
J	2'-6" x 10'-0"	=	25.00 SF

TOTAL UPPER FLR AREA: = 1534.50 SF

MAIN FLR AREA:	1696.25 SF
UPPER FLOOR AREA:	+ 1534.50 SF
GARAGE:	+ 294.00 SF

GRAND TOTAL FLOOR AREA:
3,524.75 SF

ADU:

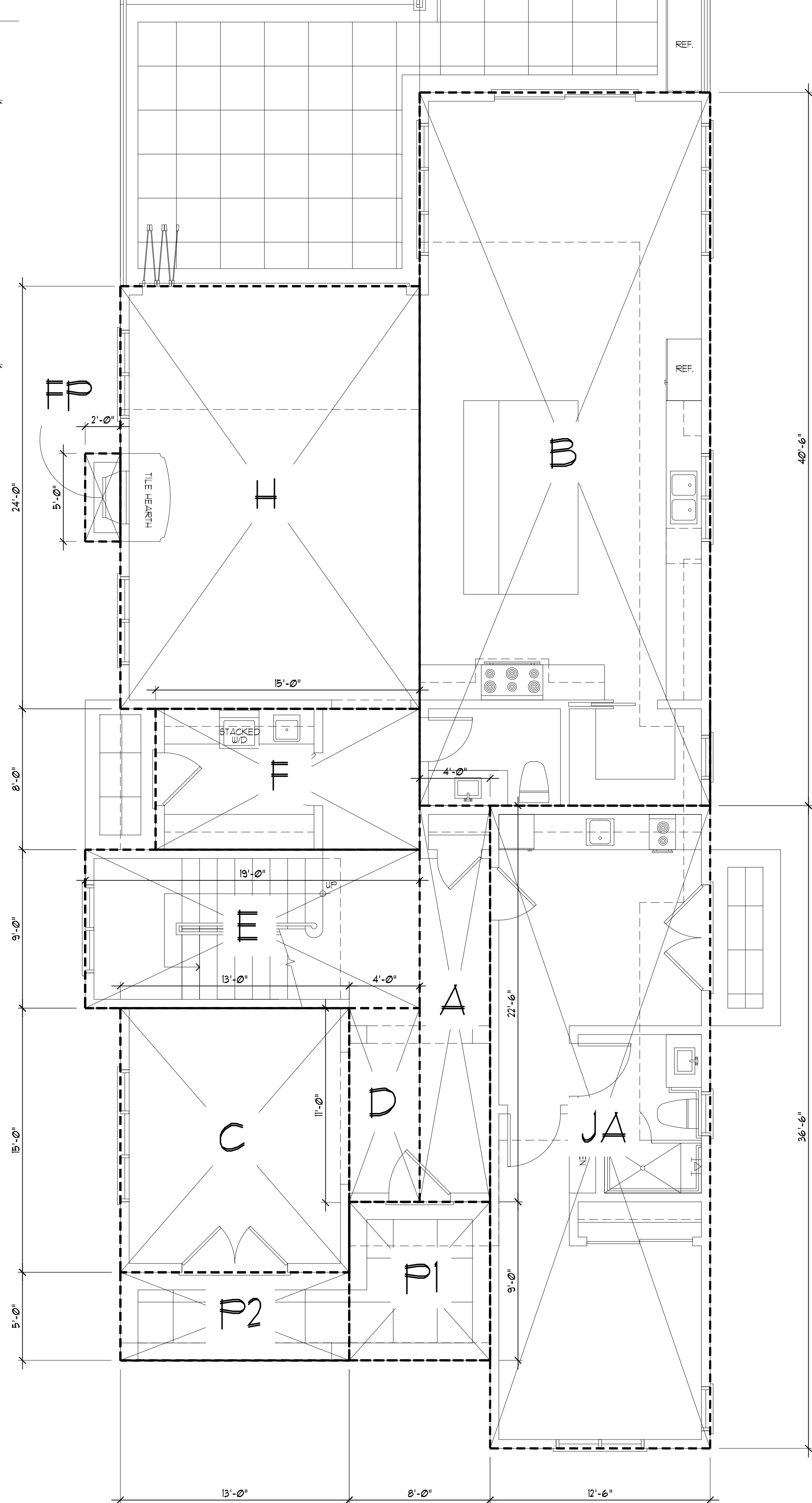
A	22'-10" x 15'-0"	=	345.00 SF
---	------------------	---	-----------

ADU TOTAL FLR. AREA = 345.00 SF < 850.00 SF

GARAGE:

G1	14'-0" x 21'-0"	=	294.00 SF
----	-----------------	---	-----------

GARAGE TOTAL FLR. AREA = 294.00 SF



MAIN FLOOR AREA CALCULATION
SCALE: 1/4"=1'-0"

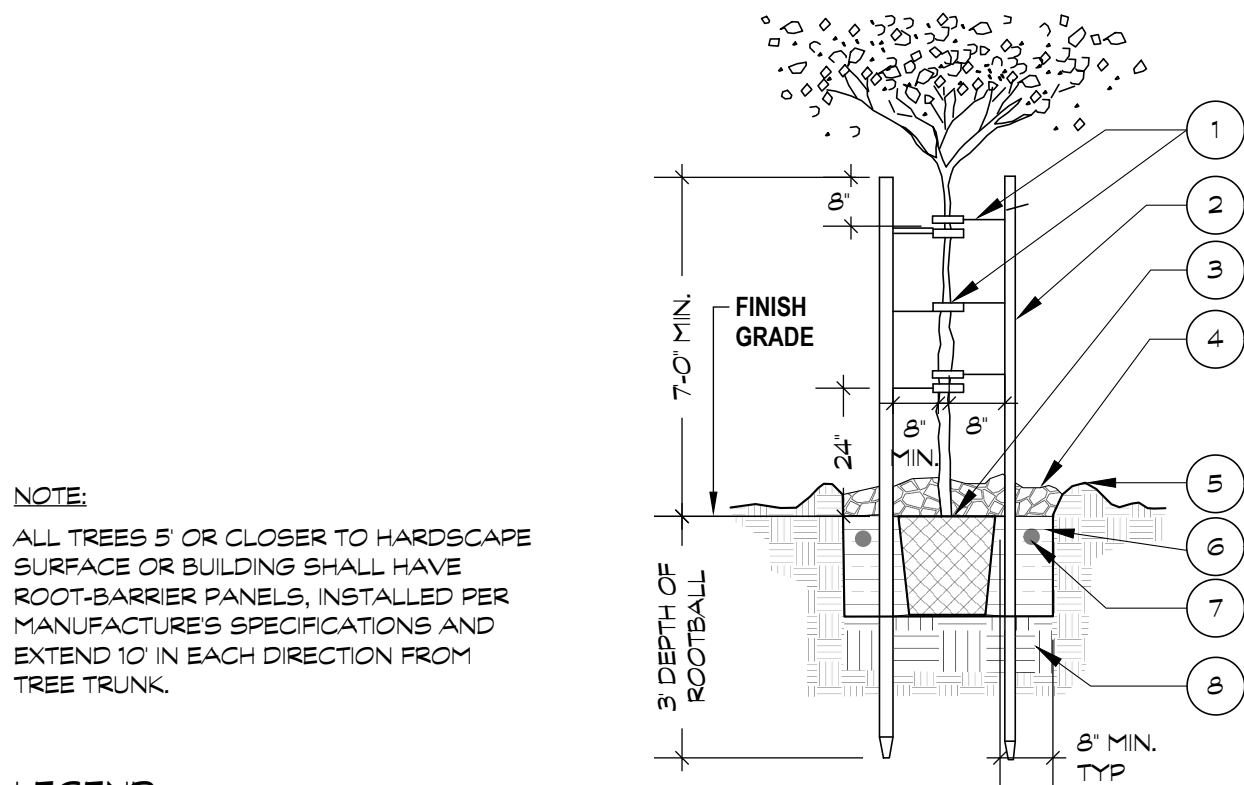
REVISIONS	BY
PLNG PC1	PU
05/26/26	PU
PLNG PC1	PU
06/23/26	PU

CHU DESIGN ASSOCIATES INC.
433 Airport Blvd., Suite 303
Burlingame, CA 94010
TEL: (650) 345-9286 x 1001

The drawing on this sheet, specification ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

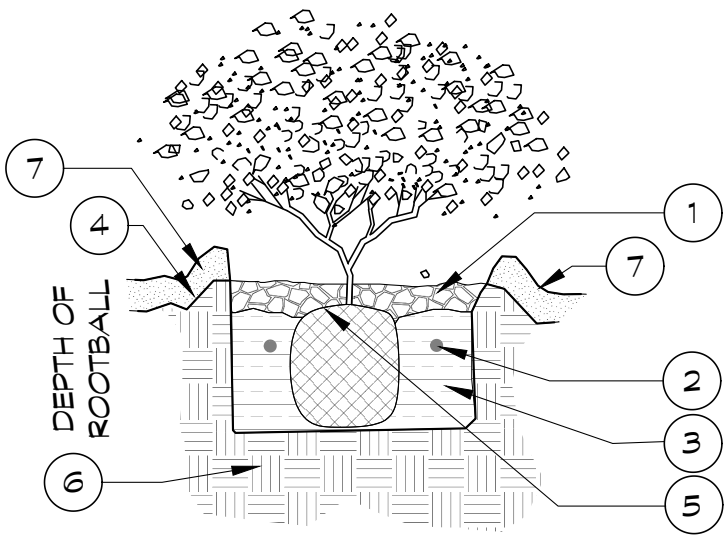
NEW RESIDENCE
1454 BALBOA AVE.,
BURLINGAME CA
A.P.N.: 026-013-320

DATE:	JAN. 29, 2026
SCALE:	AS NOTED
DRAWN:	PU
CHK:	
SHEET NO.	



- NOTE:
ALL TREES 5' OR CLOSER TO HARDSCAPE SURFACE OR BUILDING SHALL HAVE ROOT-BARRIER PANELS, INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND EXTEND 10' IN EACH DIRECTION FROM TREE TRUNK.
- LEGEND
- 1 GINCH-TIE TREE TIE - WRAP WIRE AROUND OUTSIDE OF STAKE, SECURE TO STAKE PER MANUFACTURER'S RECOMMENDATIONS. PLACE BELOW BRANCHING YOKES OF TREE
 - 2 LODGE POLE PINE STAKES; 3 POLES FOR 24" BOX IN TRIANGLE ARRANGEMENT
 - 3 SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE
 - 4 2" SHREDDED BARK MULCH (APPROX. 3" DIAMETER RING)
 - 5 WATER BASIN (SHRUB AREAS ONLY)
 - 6 BACKFILL MIX - 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH
 - 7 AGRIFORM 20-10-5 PLANTING FERTILIZER TABLETS - 3 PER 15 GALLON, 2 PER 5 GALLON, 1 PER 1 GALLON
 - 8 NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT

TREE PLANTING WITH DOUBLE STAKE (24" BOX)



- 1 WATER BASIN WITH 2' X 2' SHREDDED BARK MULCH.
- 2 AGRIFORM 20-10-5 PLANTING FERTILIZER TABLETS - 3 PER 15 GALLON, 2 PER 5 GALLON, 1 PER 1 GALLON
- 3 BACKFILL MIX - 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH
- 4 FINISH GRADE
- 5 ROOTBALL 1'-2' ABOVE FINISH GRADE
- 6 NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTH GROWTH OF PLANT
- 7 3" MULCH LAYER

TYPICAL SHRUB PLANTING

PARK NOTES

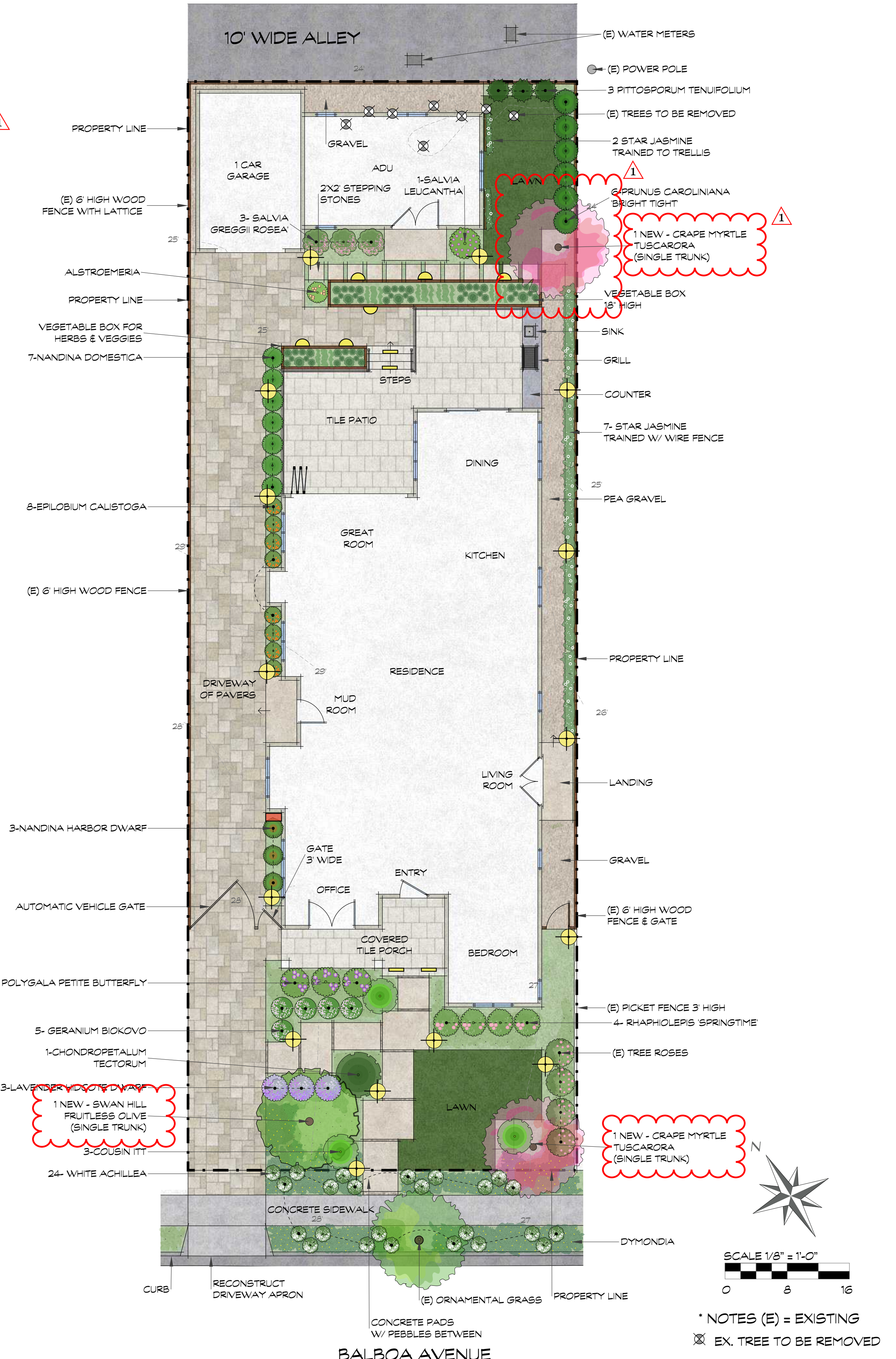
- NO PROTECTED TREE AS DEFINED BY 11.06 MAY BE REMOVED, STRUCTURALLY ALTERED OR EXCESSIVELY PRUNED (ROOTS OR CROWN, AS DEFINED BY 11.02) WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. PROTECTED TREES INCLUDE EXISTING TREES OVER 44 INCHES IN CIRCUMFERENCE MEASURED AT 54 INCHES FROM NATURAL GRADE, REQUIRED REPLACEMENT TREES, REQUIRED LANDSCAPE TREES FOR DEVELOPMENT AND CITY STREET TREES IN THE PUBLIC RIGHT OF WAY.
- ALL TREE PROTECTION MEASURES ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL PROTECTEC TREES, STREET TREES, AND REQUIRED LANDSCAPE TREES ARE TO BE IN GOOD CONDITION IN ORDER TO PASS PARKS FINAL INSPECTION.
- CONSTRUCTION MAY NOT IMPACT ANY STREET TREE ROOT OVER 2" IN DIAMETER WITHOUT CITY ARBORIST APPROVAL.
- ALL REQUIRED LANDSCAPE TREES, EXISTING OR NEW, BECOME PROTECTED TREES REGARDLESS OF SIZE AND MUST BE DISCLOSED UPON SALE OR TRANSFER OF REAL PROPERTY

PLANT LEGEND				
BOTANICAL	COMMON	SIZE	QTY	WATER
Tree				
Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle	24" box	2	Low
Olea europaea 'Majestic Beauty'	Majestic Beauty Fruitless Olive	24" box	1	Low
Shrub				
Nandina domestica	Nandina, Heavenly Bamboo	5 gal	7	Low
Nandina domestica 'Harbour Dwarf'	Harbour Dwarf Heavenly Bamboo	5 gal	3	Low
Pittosporum tenuifolium	Blackstem Pittosporum	5 gal	3	Low
Polygala fru. 'Petite Butterfly'	Butterfly Pea Shrub	5 gal	3	Medium
Prunus caroliniana 'Bright n' Tight'	Bright n' Tight Carolina Laurel	5 gal	6	Medium
Raphiolepis indica 'Springtime'	Springtime Indian Hawthorn	5 gal	4	Low
Salvia greggii 'Rose Pink'	Rose Pink Texas or Autumn Sage	5 gal	3	Low
Salvia leucantha	Mexican Bush Sage	5 gal	1	Low
Ground Cover				
Acacia cognata 'Cousin Itt'	Little River Wattle	1 gal	3	Medium
Achillea millefolium 'New Vintage White'	New Vintage White Yarrow	1 gal	24	Low
Dymondia margaritae	Dymondia, Rock Ditty	1 gal	15	Low
Epilobium canum 'Calistoga'	Calistoga California Fuchsia	5 gal	8	Very Low
Geranium x cantabrigiense 'Biokovo'	Biokovo Geranium	1 gal	5	Medium
Vine				
Jasminum pubescens	Star Jasmine	1 gal	9	Medium
Perennial				
Alstroemeria 'Casablanca'	Casablanca Peruvian Lily	5 gal	1	Medium
Grass				
Chondropetalum tectorum	Cape Rush	5 gal	1	Low

SOIL PREPARATION, MULCH AND AMENDMENTS

- THE FOLLOWING CRITERIA SHALL BE USED IN THE PREPARATION OF ON-SITE SOILS AND FOR MULCHING PROCEDURES:
- A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT;
- B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED;
- C) FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING;
- D) A MINIMUM THREE INCH (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE, UP TO 5 % OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH. DESIGNATED INSECT HABITAT MUST BE INCLUDED IN THE LANDSCAPE DESIGN PLAN AS SUCH;
- E) STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES THAT MEET CURRENT ENGINEERING STANDARDS;
- F) ORGANIC MULCH MATERIALS MADE FROM RECYCLED OR POST-CONSUMER SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS OR VIRGIN FOREST PRODUCTS UNLESS THE RECYCLED POST-CONSUMER ORGANIC PRODUCTS ARE NOT LOCALLY AVAILABLE. ORGANIC MULCHES ARE NOT REQUIRED WHERE PROHIBITED BY LOCAL FUEL MODIFICATION PLAN GUIDELINES OR OTHER APPLICABLE LOCAL ORDINANCES.

LOW VOLTAGE LIGHTS- BY ALLIANCE		
SYMBOL	MANUFACTURER / MODEL / DESCRIPTION	QTY
	ALLIANCE IT150 TRANSFORMER	1
	PATH LIGHT - PL300-LED 22" HIGH ORDER CODE: PL300-BT, BRASS, (AB) AGED BRASS, 15-200LM, 2-4W, RGB & DIMMING OPTION CTT OPTIONS: 2700K, 3000K, 4000K.	15
	STEP LIGHT - SL 300 BRASS FIXTURE, AGED BRASS FINISH. 9" W X 2.87" D. ORDER CODE: SL 300, BRASS, (AB) AGED BRASS LAMP; LBIPIN-LED-3W	4
	WALL LIGHT - SL 100 - WALL LIGHT BRASS LEDGE LIGHT FIXTURE. 3.75" W X 1.75" D. ORDER CODE: SL 100, BRASS, (AB) AGED BRASS LAMP; LBIPIN-200IM, 2.5W, L3.75VA, 2700K.	6



REVISIONS

BY

6-4-26

DI

Karen Aitken & Associates
LANDSCAPE ARCHITECTS

8262 RANCHO REAL GILROY CA 95020
CALIF. REG #2239 (408) 857-6275
KAREN@KAA.DESIGN

XIE RESIDENCE

1454 BALBOA AVENUE BURLINGAME CA.

LIGHTING & PLANTING PLAN

DATE

6-4-26

SCALE

1/8" = 1'-0"

DRAWN

AA

JOB

XIE

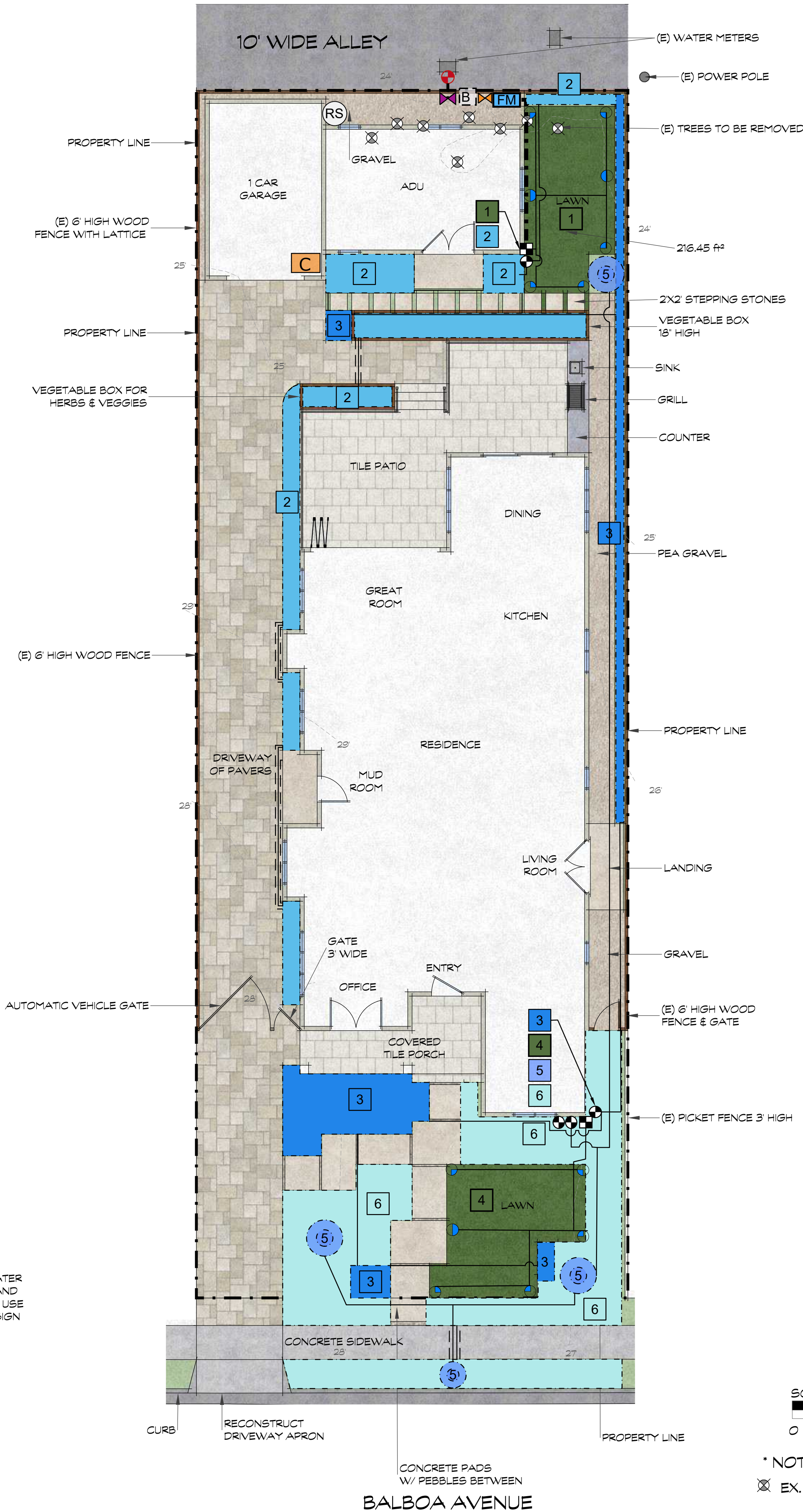
L-1

IRRIGATION NOTES

1. BEFORE BEGINNING WORK, CONTRACTOR SHALL INSPECT THE SITE. IF ANY CONDITIONS EXIST THAT DIFFER FROM WHAT IS SHOWN ON THE PLANS AND WILL AFFECT THE CONTRACTOR'S WORK, NOTIFY THE OWNER OR LANDSCAPE ARCHITECT IMMEDIATELY.
2. THIS IRRIGATION SYSTEM IS BASED ON A MINIMUM OF 40 PSI AND 6 GPM. PRIOR TO IRRIGATION INSTALLATION, ENSURE THAT GPM AND PSI REQUIREMENTS ARE MET. IF THERE IS INSUFFICIENT PRESSURE OR FLOW, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
3. INSTALL ALL IRRIGATION EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. PIPING LAYOUT IS DIAGRAMMATIC. IRRIGATION EQUIPMENT SHOWN IN PAVED AREAS ARE FOR LEGIBILITY ONLY AND ARE TO BE INSTALLED IN PLANTING AREAS (EXCEPT FOR SLEEVES).
5. ALL IRRIGATION PIPES UNDER PAVING MUST BE SLEEVED. SLEEVES ARE ONLY SHOWN DIAGRAMMATICALLY ON THE PLAN, AND MORE MAY BE NEEDED THAN SHOWN. ALL MAINLINE PIPES AND CONTROL WIRES UNDER PAVING ARE TO BE INSTALLED IN SEPARATE SLEEVES. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OTHER CONTRACTORS TO LOCATE AND INSTALL PIPE SLEEVES UNDER PAVING.
6. FLOOD TRENCHES TO COMPACT BACKFILL BEFORE FINAL LANDSCAPE GRADING.
7. THE IRRIGATION CONTROLLER MUST BE PROGRAMMED WITHIN THE DAYS AND HOURS ESTABLISHED BY ANY WATER CONSERVATION PROGRAM ADOPTED BY THE CITY OF BURLINGAME.
8. THE CONTRACTOR IS RESPONSIBLE TO CREATE ACCURATE, SCALED, AS-BUILT DRAWING OF THE ENTIRE IRRIGATION SYSTEM. THREE COPIES OF THE AS-BUILT DRAWINGS ARE TO BE GIVEN TO THE OWNER BEFORE THE PROJECT IS COMPLETE.
9. CONTRACTOR TO INSTALL AUTOMATIC IRRIGATION PER THESE PLANS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR THE SUCCESSFUL, FULL OPERATION OF THE IRRIGATION SYSTEM. AN IRRIGATION AUDIT SHALL BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR AFTER INSTALLATION PER THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE. THE AUDIT SHALL BE PROVIDED TO THE SAN MATEO COUNTY.
10. CONTRACTOR TO REVIEW CONTROLLER SELECTION AND CONTROLLER AND VALVE LOCATIONS WITH OWNER.
11. THE CONTRACTOR IS RESPONSIBLE TO WORK WITH THE OWNER AND LANDSCAPE ARCHITECT TO CREATE A MAINTENANCE SCHEDULE AND COMPLETE THE CERTIFICATE OF COMPLETION AND CERTIFICATE OF INSTALLATION IN COMPLIANCE WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

IRRIGATION KEY/ DOMESTIC	
	IRRIGATION LATERAL LINE: 1 IN. PVC CLASS 200
	IRRIGATION MAINLINE: 1 IN. PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 16 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.
	HUNTER ICV-G 1", 1-1/2", 2" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	HUNTER DRIPLINE HDL-06-12-CV HUNTER DRIPLINE W/ 0.6 GPH EMITTERS EVERY 12 IN. DRIPLINE LATERALS SPACED AT 12' APART. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
	HUNTER DRIPLINE HDL-06-12-CV HUNTER DRIPLINE W/ 0.9 GPH EMITTERS EVERY 12 IN. DRIPLINE LATERALS SPACED AT 12' APART. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
	HUNTER DRIPLINE HDL-09-12-CV TREE RING IRRIGATION DRIPLINE W/ 0.9 DRIP EMITTERS PLACED EVERY 12 IN. INNER RING 12' FROM PLANT, OUTER RING 30' FROM PLANT. PLACE TIE DOWN EVERY 4' IN LOAM AND 5' IN CLAY.
	HUNTER PRO-SPRAY PRS40 (OR EQUIV.) 4" POP-UP SPRINKLER BODY WITH INTEGRAL 40 PSI PRESSURE REGULATION. INSTALL WITH MP ROTATOR NOZZLES AS SPECIFIED.
	HUNTER HCC 12 TO 54 STATION OUTDOOR MODULAR CONTROLLER. WI-FI ENABLED W/ HYDRAWISE APP CONNECTION.
	HUNTER RAIN-CLICK SENSOR QUICK RESPONSE TECHNOLOGY STOPS IRRIGATION THE INSTANT RAIN STARTS TO FALL, CONNECTS TO HUNTER HCC. FREEZE-SENSING MODEL, WIRELESS SENSOR KIT, MAINTENANCE-FREE DESIGN WITH INTEGRATED BATTERY.
	HUNTER HC FLOW METER 1" NEW IRRIGATION FLOW WATER METER
	HUNTER ICV-G AS A MASTER VALVE 1" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET.
	WILKINS 975 XL2 1" LEAD-FREE REDUCED PRESSURE BACKFLOW PREVENTER
	GATE VALVE - ISOLATION SHUT OFF VALVE
	P.O.C. POINT OF CONNECTION

* NOTE: REFER TO L-3 FOR IRRIGATION DETAILS



HYDROZONES

- 1 220 SF HIGH WATER SPRAY
- 2 280 SF LOW WATER DRIP
- 3 280 SF MEDIUM WATER DRIP
- 4 220 SF HIGH WATER SPRAY
- 5 75 SF LOW WATER DRIP
- 6 727 SF LOW WATER DRIP

TOTAL LANDSCAPE IRRIGATION
1,802 SQ. FT.

"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE & IRRIGATION DESIGN PLAN."



Water Efficient Landscape Worksheet:

Reference Evapotranspiration (Eto)	42.8	Burlingame, CA	Project Name	Xie Residence	Address	1454 Balboa Ave.	
Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
REGULAR LANDSCAPE AREAS							
1.) High Water Use/ Lawn	Spray	0.8	0.75	1.066666667	220.0	234.7	6,227.1
2.) Low Water Use/ Shrubs	Drip	0.2	0.81	0.2469135802	280.0	69.1	1,834.6
3.) Med. Water Use/ Shrubs	Drip	0.4	0.81	0.4938271605	280.0	138.3	3,669.2
4.) High Water Use/ Lawn	Spray	0.8	0.75	1.066666667	220.0	234.7	6,227.1
5.) Low Water Use/ Trees	Drip	0.3	0.81	0.3703703704	75.0	27.8	737.1
6.) Low Water Use/ Shrubs	Drip	0.2	0.81	0.2469135802	727.0	179.5	4,763.4
Totals					1,802.0	884.0	23,458.5
SPECIAL LANDSCAPE AREAS							
None	None	None		None	None	None	None
Totals					0	0	0.0
ETAF CALCULATIONS							
					ETWU TOTAL 23,458.5		
Regular Landscape Areas					MAWA 26,299.8		
Total ETAF x Area	884.0						
Total Area	1,802.0						
Average ETAF	0.49						
Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.							

REVISIONS

BY

KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS

8262 RANCHO REAL GILROY CA 95020
CALIF. REG #2239 (408) 857-6275
KAREN@KAA.DESIGN

XIE RESIDENCE

1454 BALBOA AVENUE, BURLINGAME CA.

IRRIGATION PLAN

DATE 6-4-26

SCALE 1/8" = 1'-0"

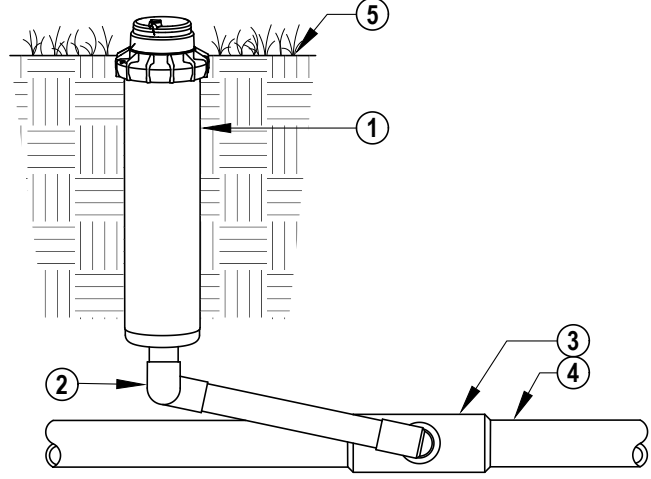
DRAWN IN

JOB XIE

L-2

DETAIL LEGEND

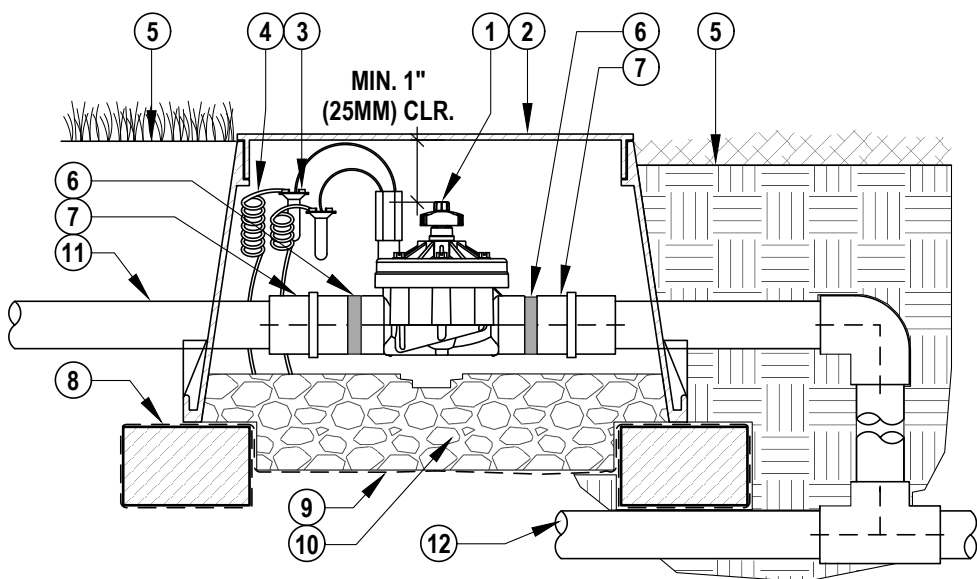
- 1 HUNTER PGP 4" POP-UP SPRINKLER
- 2 SWING JOINTS ASSEMBLY: TYPE PER PLAN OR SPECIFICATION INSTALL AS FOLLOWS:
A. HAND TIGHTEN O-RING JOINTS, BACK-OFF ONE FULL TURN TO ALLOW FOR SWING ACTION.
B. INSTALL SWING JOINT LAY ARM AT 30°-45° ANGLE TO THE LATERAL
- 3 LATERAL TEE OR ELL CONNECTION PER LATERAL LINE FITTING SPECIFICATIONS
- 4 LATERAL PIPE PER LATERAL LINE SPECIFICATIONS. SOIL DEPTH AS SPECIFIED
- 5 FINISH GRADE



4" POP-UP SPRINKLER (PRS-40)

LEGEND

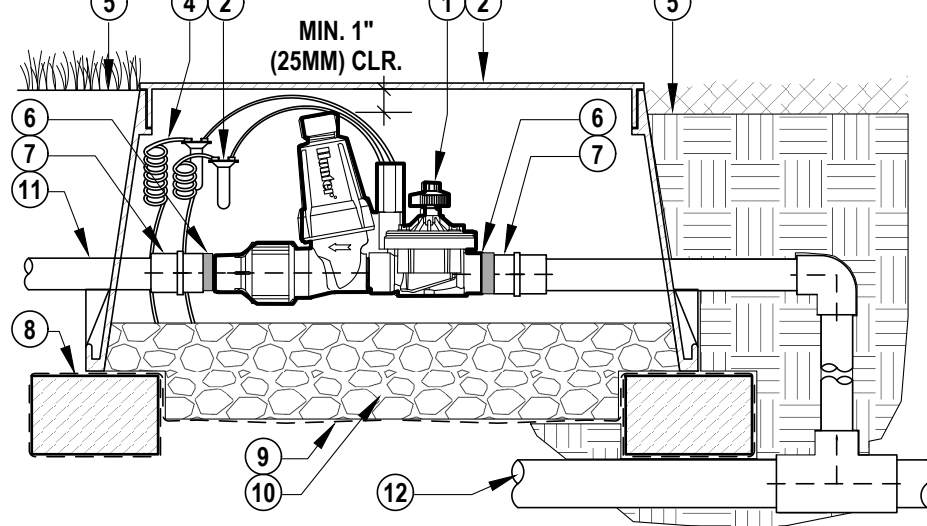
- 1 HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF TO MULCH)
- 6 SCH. 80 CLOSE NIPPLE, SIZE PER RCV
- 7 PVC SLIP X FTP ADAPTOR
- 8 BRICK SUPPORTS (4)
- 9 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 10 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 11 IRRIGATION LATERAL
- 12 MAINLINE LATERAL AND FITTING



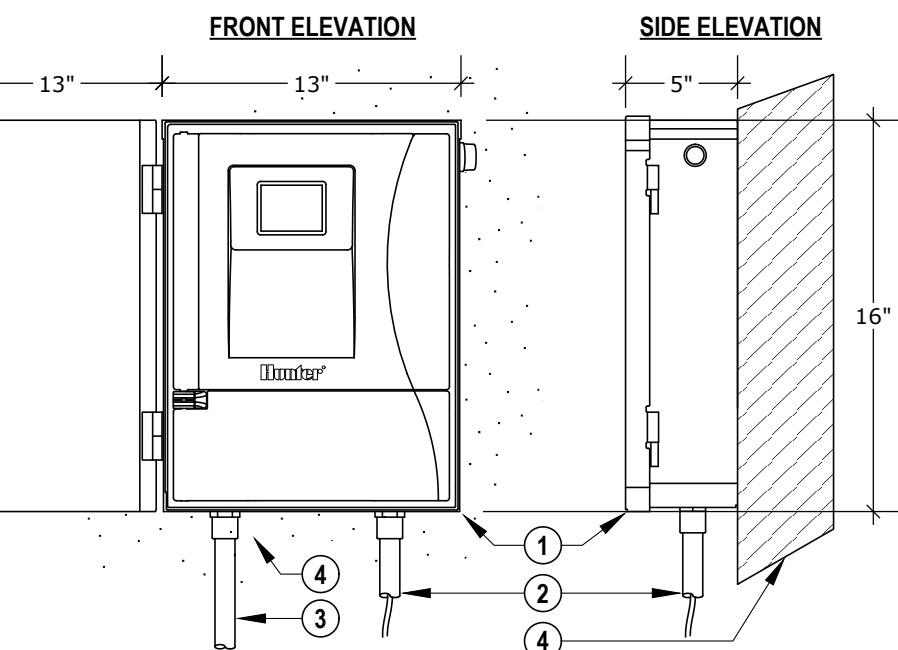
IN-LINE VALVE (ICZ-101G)

LEGEND

- 1 HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF TO MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- 7 PVC SLIP X FTP ADAPTOR
- 8 BRICK SUPPORTS (4)
- 9 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 10 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 11 IRRIGATION LATERAL
- 12 MAINLINE LATERAL AND FITTING



DRIP CONTROL ZONE KIT (ICZ-101-LF)



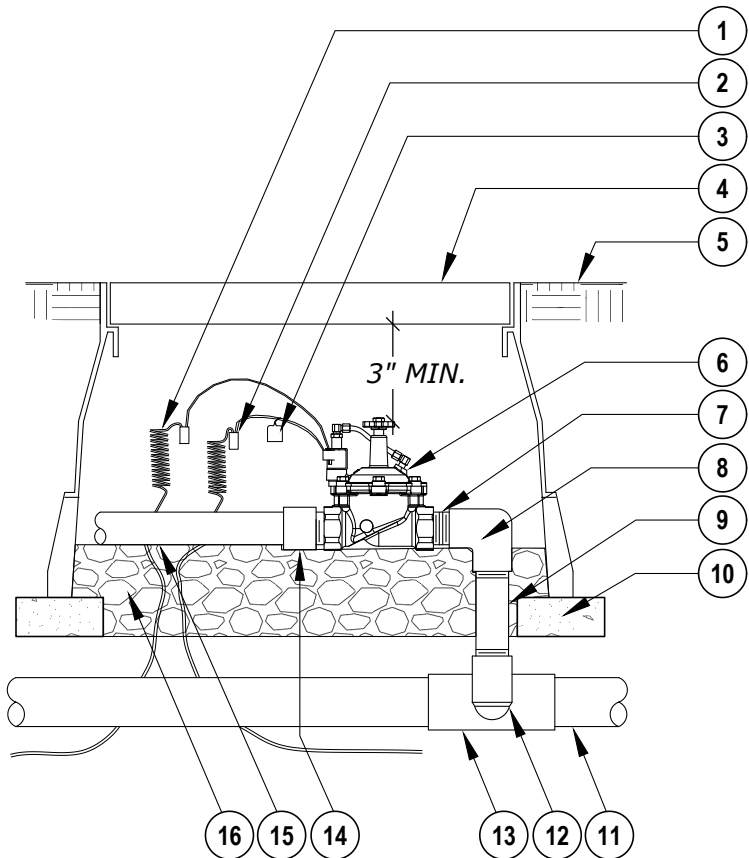
DETAIL LEGEND

- 1 IRRIGATION CONTROLLER (HCC-800-M) PER PLAN
- 2 IRRIGATION CONTROL WIRE IN CONDUIT - SIZE AND TYPE PER LOCAL CODES
- 3 ELECTRICAL SUPPLY CONDUIT - CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
- 4 ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

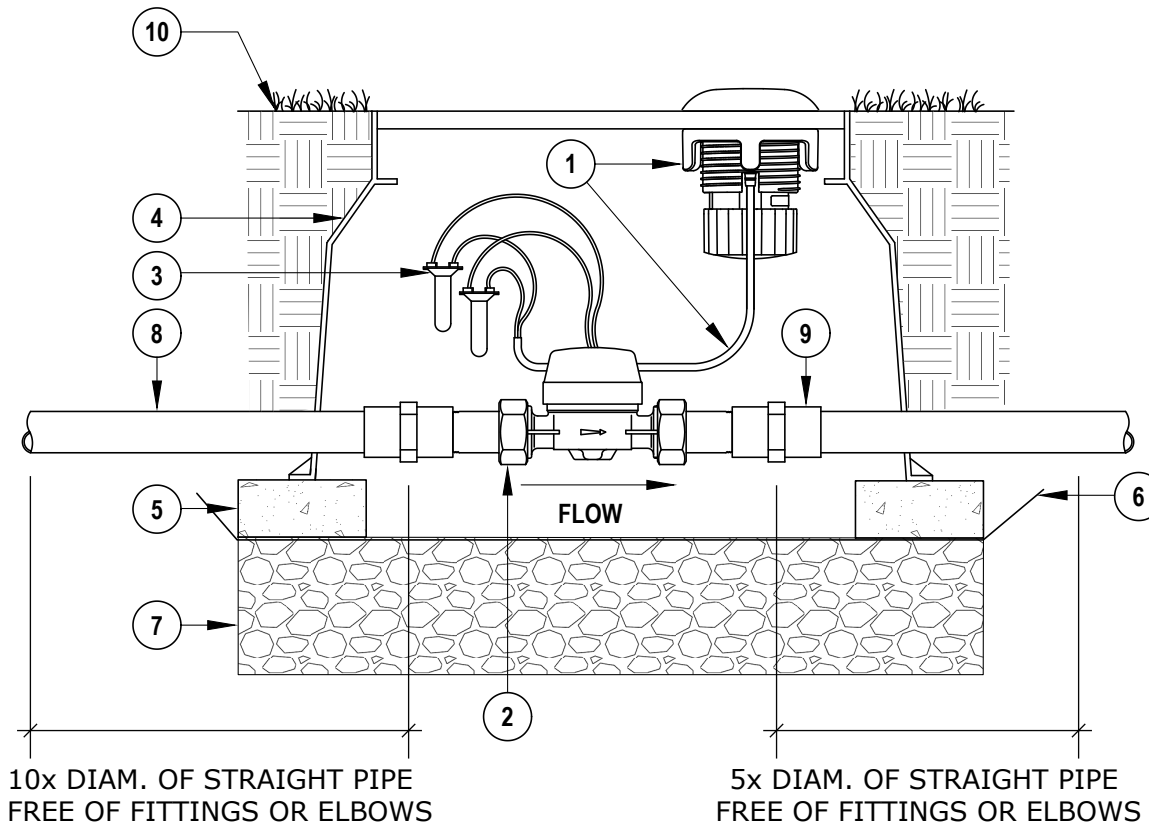
- NOTES:
- 1- CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C. (INTERNATIONAL MODEL)
 - 2- MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL, CONTROLLER SHALL BE HARD WIRED TO GROUNDING 110 VAC POWER SOURCE.
 - 3- REFER TO THE HUNTER HCC INSTALLATION GUIDE FOR FURTHER INSTRUCTIONS.

IRRIGATION CONTROLLER - WALL MOUNT (HCC-800-M)

- 1 30" LINEAS LENGTH WIRE, COILED
- 2 WATERPROOF CONNECTION
- 3 ID TAG
- 4 VALVE BOX WITH COVER
- 5 FINISH GRADE
- 6 CONTROL VALVE (SEE IRRIGATION LEGEND)
- 7 PVC SCH 80 NIPPLE (CLOSE)
- 8 PVC SCH 40 ELL
- 9 PVC SCH 80 NIPPLE (AS REQD. LENGTH)
- 10 (4) 4"x8" BRICKS
- 11 MAINLINE
- 12 SCH 80 NIPPLE AND SCH 40 ELL
- 13 PVC SCH 40 TEE OR ELL
- 14 PVC SCH 40 MALE ADAPTER
- 15 PVC LATERAL PIPE
- 16 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL



MASTER VALVE

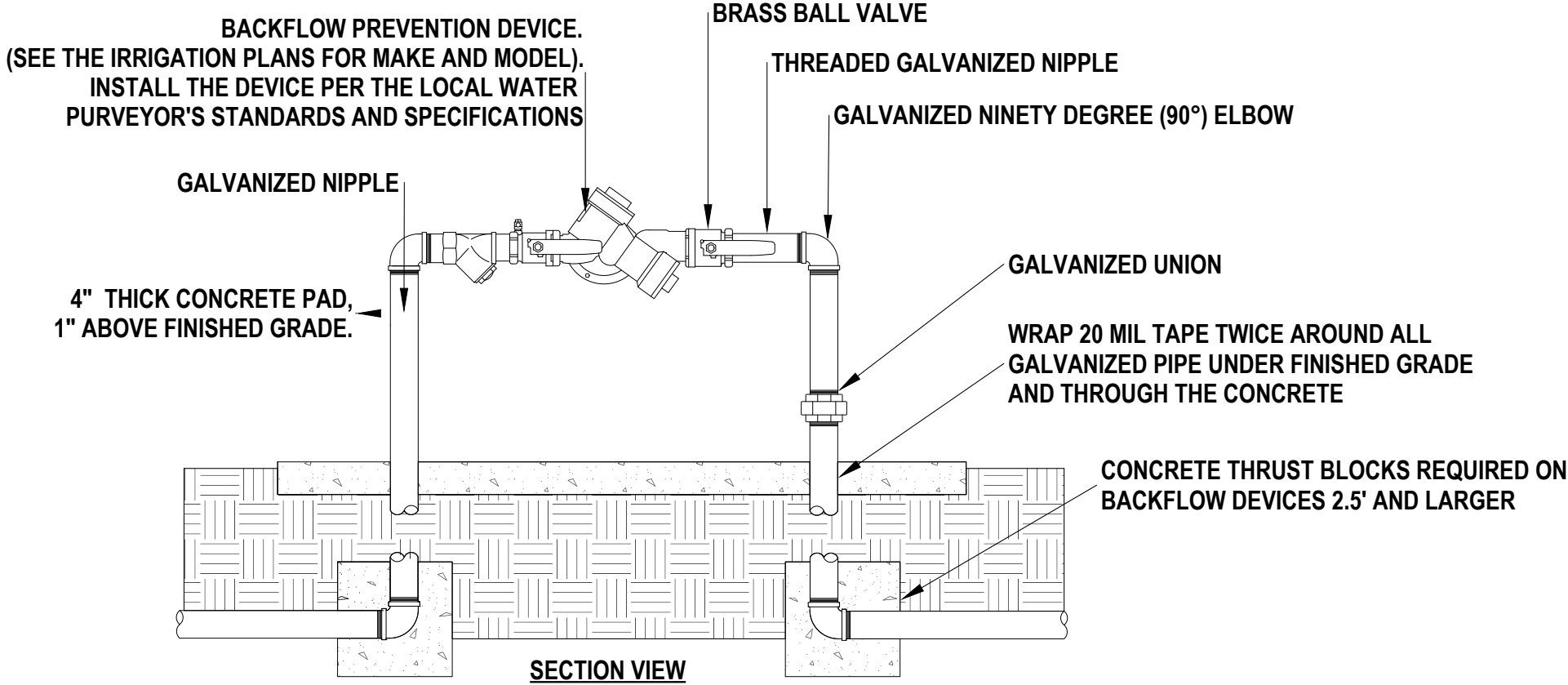


DETAIL LEGEND:

- 1 WIRELESS HC FLOW METER TRANSMITTER AND CABLE
- 2 HC FLOW METER, PER PLAN
- 3 WATERPROOF CONNECTORS (2)
- 4 RECTANGULAR VALVE BOX
- 5 (4) 4"x8" BRICKS
- 6 FILTER FABRIC
- 7 GRAVEL BASE
- 8 MAINLINE
- 9 MAINLINE FITTING
- 10 FINISH GRADE

- NOTE:
- SAWCUT A 3 1/4" DIAMETER HOLE IN TOP OF VALVE LID TO ALLOW FOR TRANSMITTER INSTALLATION

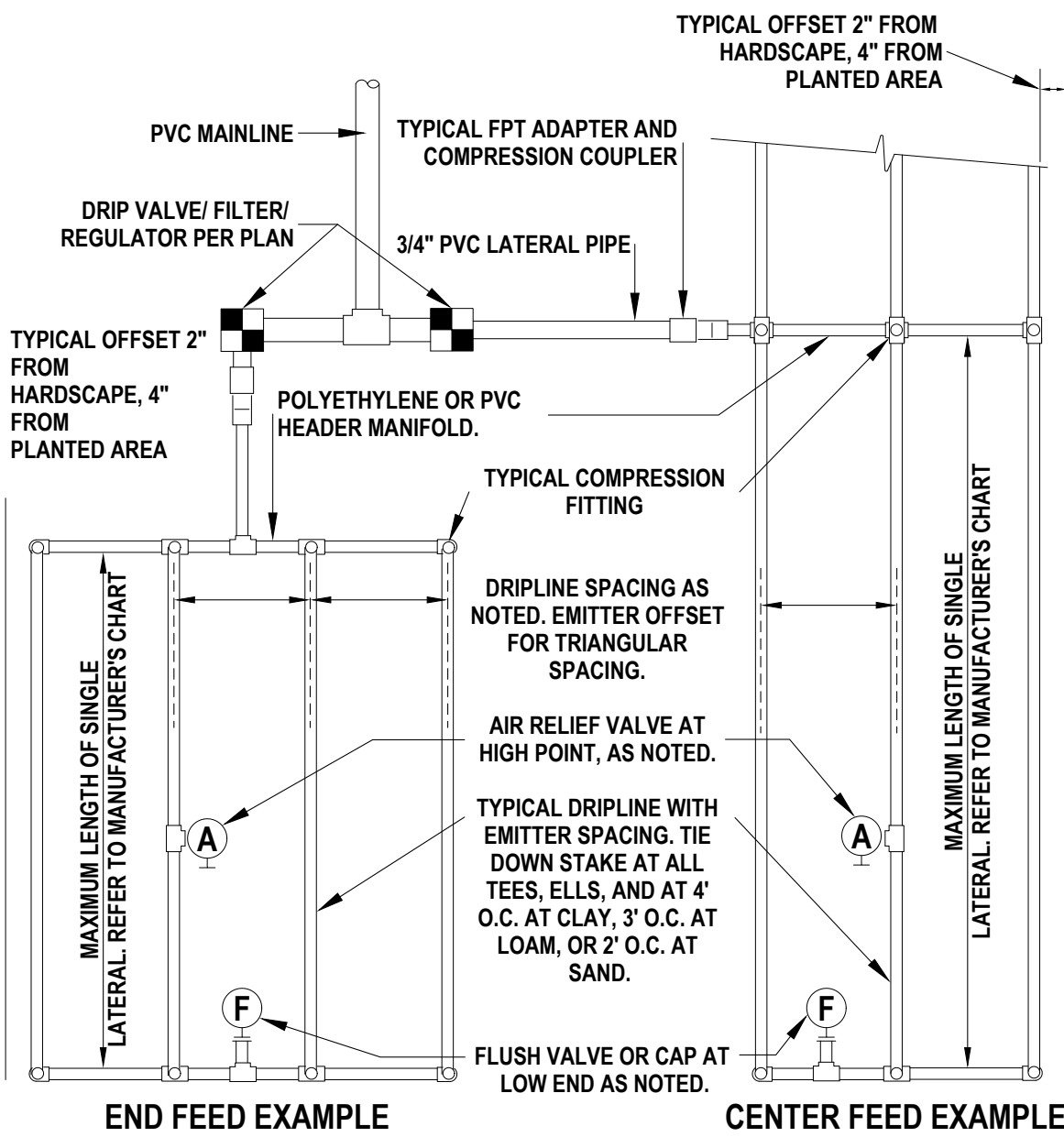
HUNTER HC FLOW METER



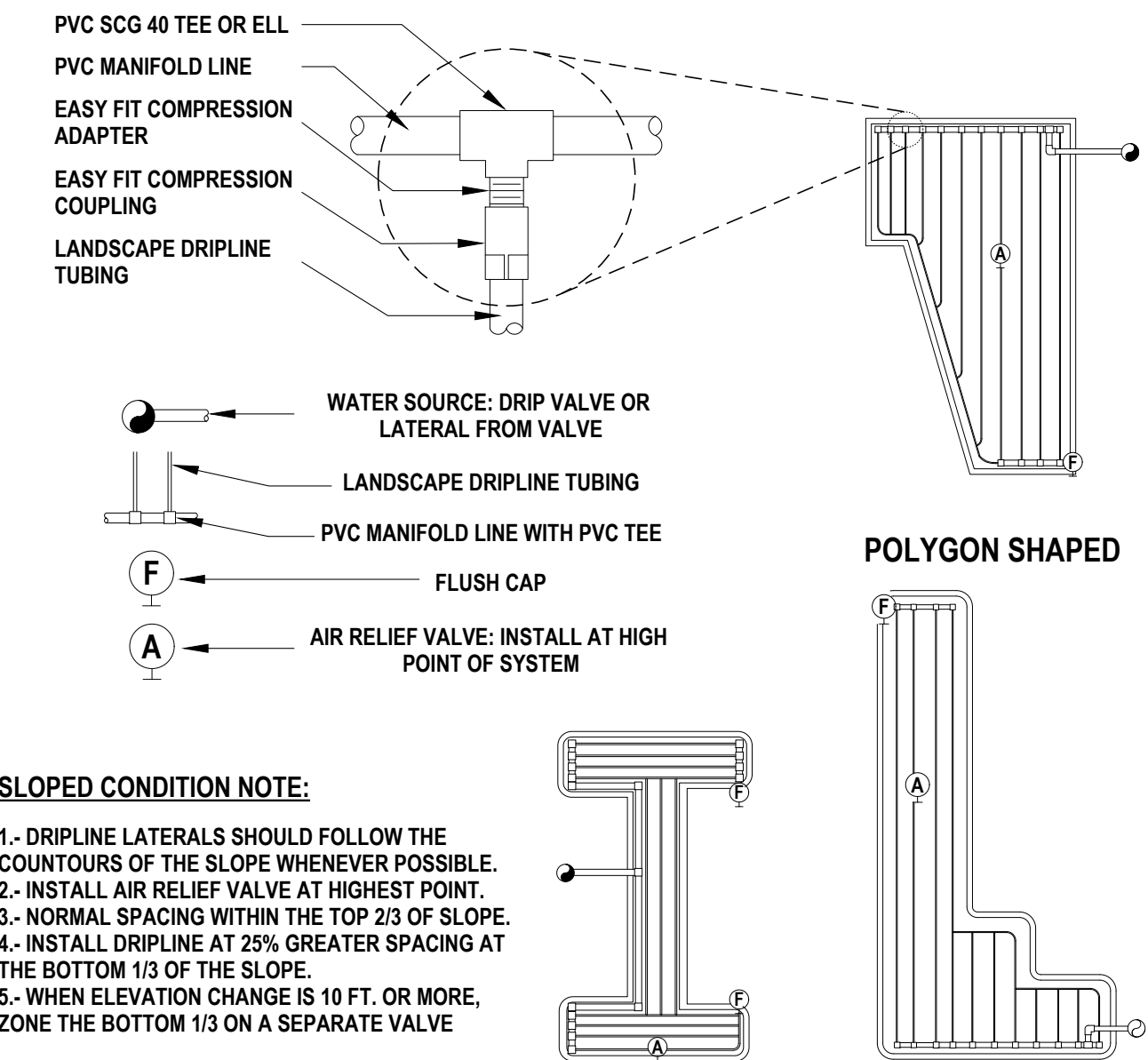
NOTES:

- 1- ALL ASSEMBLY PARTS (THREADED NIPPLES, FITTINGS, ETC.) SHALL BE GALVANIZED OR BRASS PER LOCAL CODES AND REQUIREMENTS
- 2- GALVANIZED NIPPLE SHALL EXTEND 12" PAST THE EDGE OF THE CONCRETE FOOTING
- 3- SCH 80 PVC MALE ADAPTER SHALL BE USED IN CONNECTION FROM GALVANIZE TO THE MAINLINE
- 4- BACKFLOW PREVENTION DEVICE SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE LANDSCAPE METER.
- 5- BACKFLOW PREVENTION DEVICE SHALL BE LOCATED IN PLANTING AREA UNLESS APPROVED BY OWNER'S REPRESENTATIVE
- 6- SEE DETAIL FOR BACKFLOW CAGE INSTALLATION
- 7- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE FREEZE BLANKET UPON INSTALLATION
- 8- ALL GALVANIZED CONNECTIONS SHALL BE MADE USING PIPE THREAD SEALANT. ALL SHC 80 PVC TO GALVANIZED CONNECTIONS TO BE MADE USING TEFLON TAPE

BACKFLOW PREVENTION DEVICE



TYPICAL DRIPLINE LAYOUT

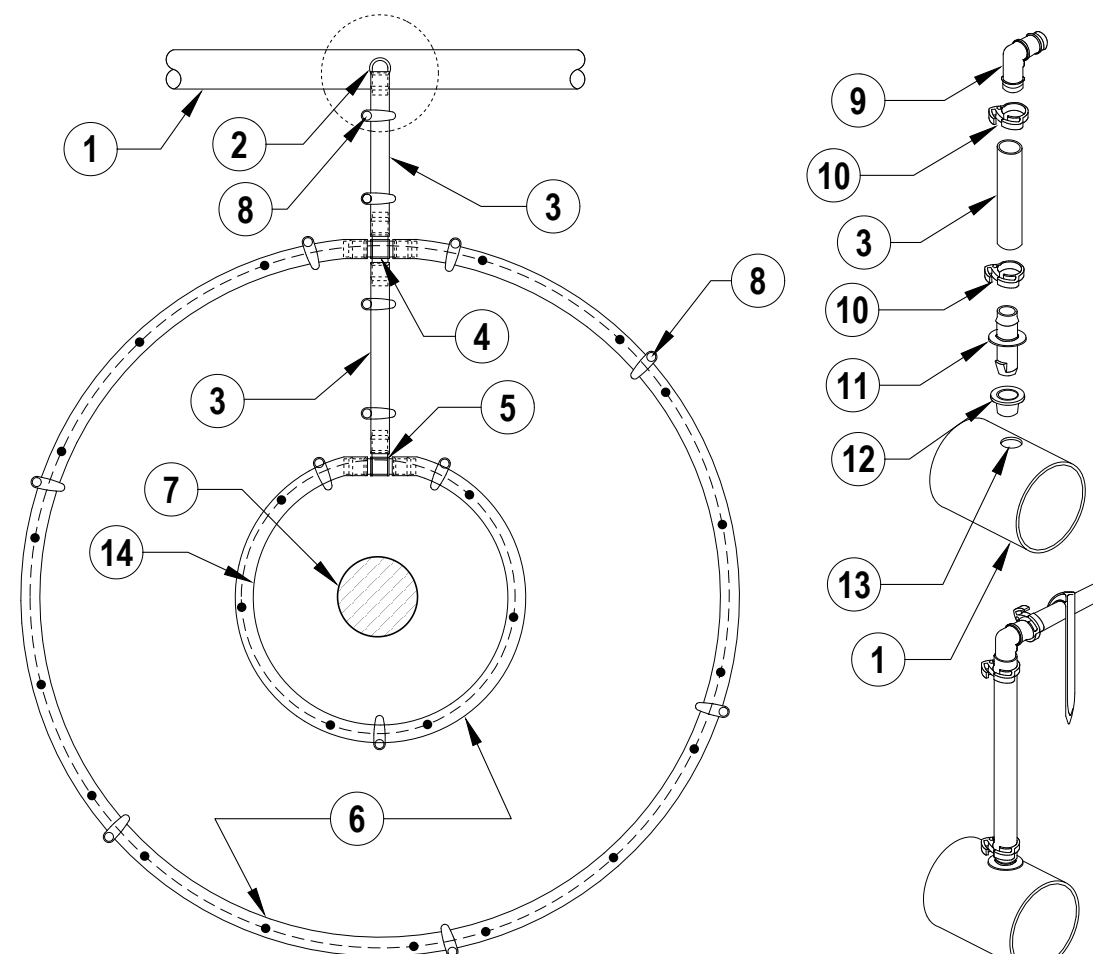


DOG BONE SHAPED

CORNER SHAPED

CURVED POLYGON

HOURLASS SHAPED



NOTE:

- PLACE TIE-DOWN STAKES EVERY 3 FT. IN SAND, 4 FT. IN LOAM, AND 5 FT. IN CLAY, AS WELL AS AT ALL CHANGE OF DIRECTION SUCH AS AT TEES OR ELLS

- 1) RING - 12" FROM PLANT - FOR 1 & 5 GAL. PLANTS.
- 2) RING - 30" FROM PLANT - FOR 15 GAL. & 24" BOX TREE

20 GPH DRIPLINE RING - 0.9 GPH @ 12" O.C.

DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL

- 1 1/2" UV-RESISTANT POLYETHYLENE SUPPLY TUBING, AS REQUIRED. HUNTER TWPE-700
- 2 DRIPLINE CONNECTION TO BELOW GRADE LATERAL PIPE. SEE DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL
- 3 1/2" POLYETHYLENE BLANK TUBING, AS REQUIRED.
- 4 BARB CROSS INSERT FITTING
- 5 BARB TEE INSERT FITTING
- 6 AT GRADE HUNTER DRIPLINE, 12" SPACING - INNER RING 12" FROM PLANT. OUTER RING 30" FROM PLANT. (FOR 15 GAL. & 24" BOX TREE)
- 7 PLANT TRUNK
- 8 TYPICAL ANTELCO ASTA TIE-DOWN STAKE, SEE NOTES.
- 9 DRIPLINE BARBED INSERT ELL
- 10 RATCHET CLAMP AT ALL BARBED CONNECTIONS, ANTELCO PART NO. 44345
- 11 INSERT ADAPTER, ANTELCO "XPANDO" 13MM X 14MM PART NO. 45595
- 12 13MM ANTELCO "CAPO: RUBBER GROMMET", NO. 45735
- 13 DRILL 5/8" HOLE IN PVC LATERAL PIPE WHERE REQUIRED. YOU MUST USE A "FORSTNER" DRILL BIT FOR DRILLING INTO PVC. REMOVE ANY EXCESS BURRS OR ROUGH EDGES.
- 14 AT-GRADE HUNTER DRIPLINE, 12" SPACING INNER RING 12" FROM PLANT. (FOR 1 & 5 GAL. PLANTS)

REVISIONS	BY

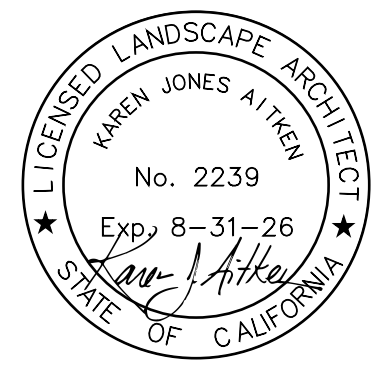


KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS

8262 RANCHO REAL GILROY CA 95020
CALIF. REG #2239 (408) 857-6275
KAREN@KAA.DESIGN

XIE RESIDENCE
1454 BALBOA AVENUE, BURLINGAME CA.

IRRIGATION DETAILS



DATE 6-4-26

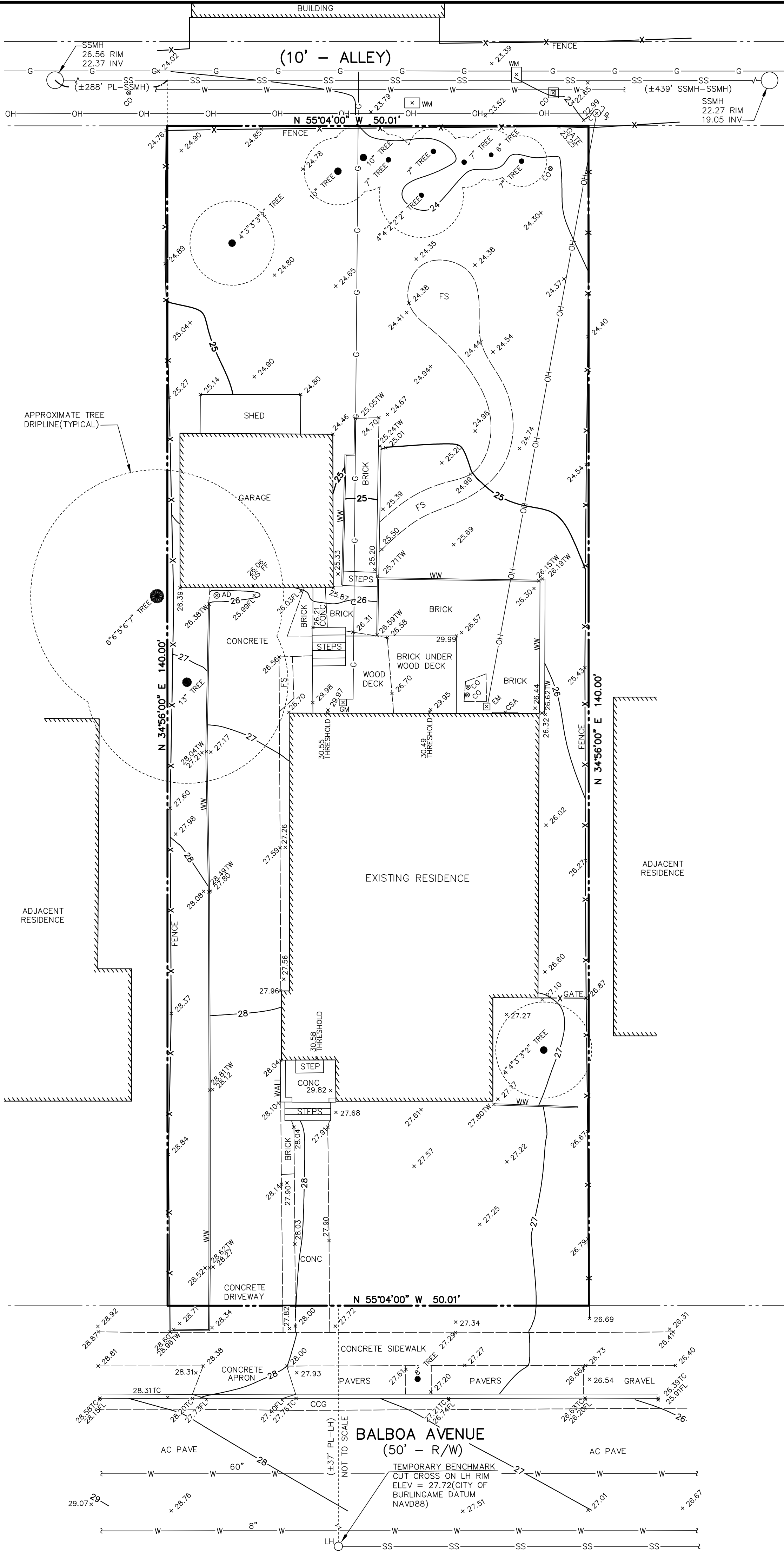
SCALE

DRAWN IN

JOB XIE

BALBOA AVENUE BUILDING SETBACKS:

1472 BALBOA AVENUE	24.3'(COL)
1468 BALBOA AVENUE	24.9'
1464 BALBOA AVENUE	23.5'(COL)
1460 BALBOA AVENUE	24.3'
1454 BALBOA AVENUE	24.2'
1448 BALBOA AVENUE	15.4'
1446 BALBOA AVENUE	15.8'
1444 BALBOA AVENUE	20.7'
1440 BALBOA AVENUE	23.6'
1436 BALBOA AVENUE	19.2'(COL)
1432 BALBOA AVENUE	22.9'
1428 BALBOA AVENUE	16.3'
1424 BALBOA AVENUE	17.9'
1422 BALBOA AVENUE	21.1'
1416 BALBOA AVENUE	16.8'
1412 BALBOA AVENUE	35.9'
1408 BALBOA AVENUE	20.5'
1404 BALBOA AVENUE	18.3'



LEGEND

AC PAVE	PROPERTY LINE
AD	ASPHALT CONCRETE PAVEMENT
BM	AREA DRAIN
CCG	BENCHMARK
CO	CONCRETE CURB AND GUTTER
COL	CLEANOUT
CONC	COLUMN
CSA	CONCRETE
EM	CRAWLSPACE ACCESS
FL	ELECTRIC METER
FS	FLOWLINE
GM	FLAGSTONE
GS FF	GAS METER
INV.	GARAGE SLAB FINISH FLOOR
JP	INVERT
LH	JOINT UTILITY POLE
PL	LAMP HOLE
SSMH	PROPERTY LINE
TC	SANITARY SEWER MANHOLE
TW	TOP OF CURB
WM	TOP OF WALL
WW	WATER METER
	WOOD WALL
	TREE WITH SIZE
	FENCE
	GAS LINE
	OVERHEAD LINE
	SANITARY SEWER LINE

BENCHMARK NOTE:

ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO CITY OF BURLINGAME BENCHMARK #1015. 2" BRONZE DISC IN SOUTH-WESTERLY SIDEWALK OF CABRILLO AVENUE, DIRECTLY ACROSS FROM THE ENTRANCE TO OUR LADY OF ANGELS SCHOOL, HAVING AN ELEVATION OF 32.57 (NAVD88 DATUM).

LOT AREA:

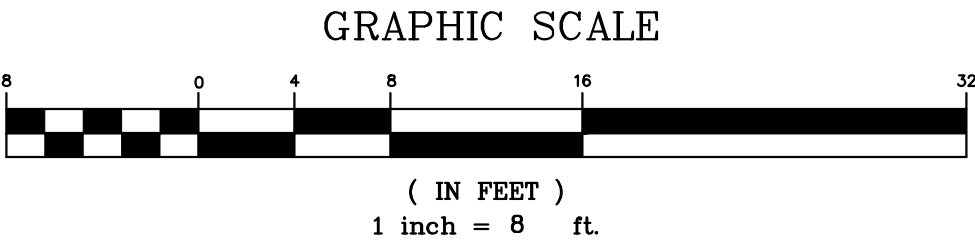
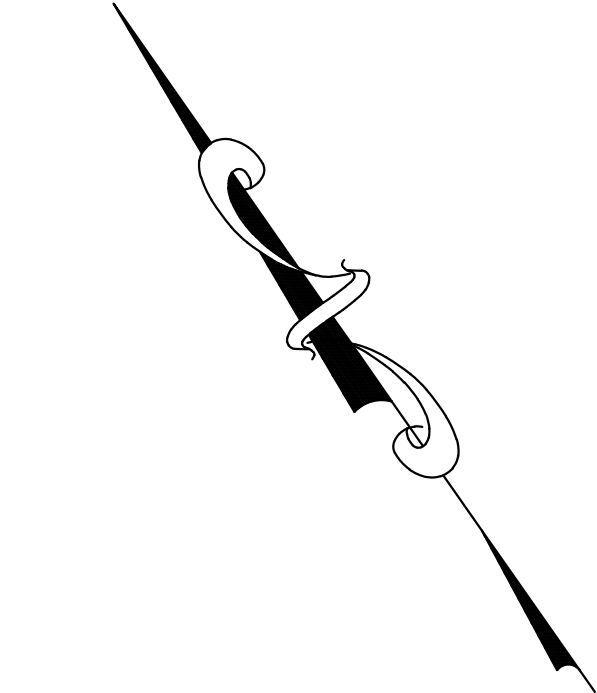
= 7,001 SQ. FT. ±

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

PRELIMINARY TITLE REPORT NOTE:

MACLEOD AND ASSOCIATES, INC. WAS FURNISHED WITH A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE, DATED JANUARY 9, 2026, TITLE NO. FWT0-3762500448M. NO EASEMENTS WERE DESCRIBED IN SAID REPORT.



DRAWN BY: EM	
DESIGNED BY: ---	
CHECKED BY: DGM	
SCALE: 1"=8'	
DATE: 03-13-26	
DRAWING NO. 5929-TOPO	
SHEET 1 OF 1	

BOUNDARY & TOPOGRAPHIC SURVEY PLAN

1454 BALBOA AVENUE

A.P.N. 026-013-320

LOT 35, BLOCK 50, 4 MAPS 45

BURLINGAME

PREPARED FOR:

JACKIE XIE &
ALEX LIU

MACLEOD AND ASSOCIATES

CIVIL ENGINEERING • LAND SURVEYING

905 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

REV.

DESCRIPTION

BY:

DATE: