ZONE:

OCCUPANCY GROUP: R-3

CONSTRUCTION TYPE: 029-192-200 APN#: **YEAR BUILT:** 1941

SETBACKS:

LOT SIZE

front - 15' (1st floor, 20' 2nd floor) garage

5200SF

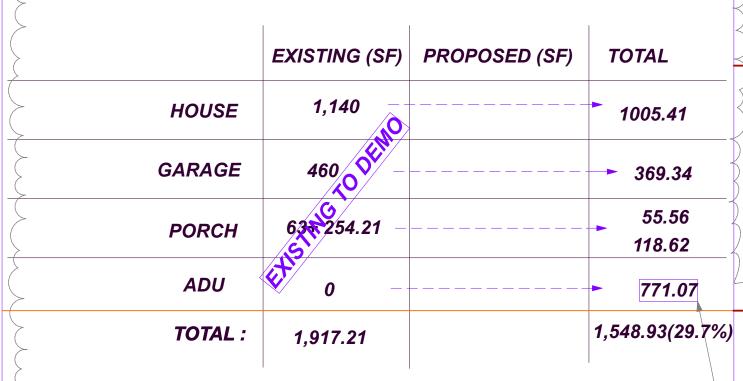
side - 4' 1st floor, 2nd floor - declining height envelope applies rear - 15' 1st

NEW FIRE SPRINKLER SYSTEM TO BE INSTALLED NEW SOLAR SYSTEM TO BE INSTALLED

ALL ELECTRIC NEW BUILDING NO GAS ALLOWED

LOT COVERAGE:

40% of lot area = 2,080sf max allowable for structures touching ground including garage



EXCLUDED FROM CALCULATION

FLOOR AREA:

32% of lot area + 1,100sf = 1,664+1,100 = 2,764sf max allowable size of all structures on all floors including garage

	Juding garage		I
	EXISTING (SF)	PROPOSED (SF)	TOTAL
HOUSE 1ST FLOOR	1,140		1005.41
HOUSE 2ND FLOOR	O DEMO	· 	1352.21
ADU	TINGO -		771.07
GARAGE	460		→ 369.34
> TOTAL:	1600	2	,726.96 < 2764SF
		EXCLUDED FROM C	CALCULATION —

in a sulling probability probability of the sulling probability of the sull

MAX HEIGHT:

30' MAX (2.5 STORIES)

PARKING REQUIREMENTS:

TWO CAR GARAGE 20X20 MIN CLEAR

FLOOD ZONE:

PROTECTED TREES:

SEE SURVEY

(N) 2 STORY RESIDENCE WITH ATTACHED ADU

APN#: 029-192-200

PROJECT ADDRESS 340 DWIGHT ROAD, BURLINGAME, CA 94010

shouzhiwan@gmail.com

Shouzhi Wan

DEMOLISH EXISTING HOUSE & GARAGE ENTIRELY

BUILD NEW 2 STORY RESIDENCE WITH ATTACHED ADU

(N) BEDROOMS - 3, (N) BATHS - 3.5 ADU: 1 BEDROOM,

T: (857) 350-5804

ADU WILL HAVE A SEPARATE **ADDRESS**

detached ADU address shall be displayed separate from the main dwelling in one of the following methods: on a secondary mailbox, gate, or non-movable structure visible from the street frontage at the property line, including the front entrance of the

C3 C6 CHECKLIST **EXTERIOR RENDERINGS** SURVEY SITE PLAN A-02 (N) 1ST FLOOR PLAN A-03 A-04 (N) ELEVATIONS A-05 (N) ELEVATIONS

T-00 TITLE SHEET

A-06 (N) ROOF PLAN A-07 (N) BUILDING SECTIONS A-08 MATERIAL BOARD WINDOW & DOOR SCHEDULE

MANDATORY MEASURES

(N) 2ND FLOOR PLAN

FAR FAR CALCULATION GN1 **GENERAL NOTES** GN2 **GENERAL NOTES**

DRAWING INDEX: LANDSCAPE DRAWINGS

L-02 L-03 L-05 L-06 L-07

RESERVED FOR STAMP **APPROVAL**

RECEIVED

CITY OF BURLINGAME CDD-PLANNING DIVISION

REVISED

7.17.25

BARMINA DESIGN

MARIA BARMINA DESIGNER

753 GREENRIDGE ROAD CASTRO VALLEY CA 94552 T: 650.704.4501 mbarmina@yahoo.com

CONSULTANTS:

501 Primrose Rd, Burlingame

OWNERS:

PROJECT DESCRIPTION:

CITY OF BURLINGAME (PLANNING/

PLANNING/BUILDING DEPARTMENT:

Benjamin Zhu

T: (206)239-8152

zhureillc@gmail.com

BATH

SURVEYOR ROBERT J. DAINS

BUILDING)

CA 94010

TITLE 24 report Igor Pichko, CEA/CEPE (424) 247-7658 www.title24ez.com

STRUCTURAL ENGINEER

GENERAL NOTES:

CODE COMPLIANCE: THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS AND TITLE 24 AS AMENDED BY THE STATE OF CA AND CITY OF BURLINGAME:

This project will comply with the 2022 California Building Code, 2022 California Residential Code (where applicable), 2022 California Mechanical Code, 2022 California Electrical Code, and 2022 California Plumbing Code, including all amendments as adopted in the Burlingame Municipal Code.

VERIFICATION: CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS PRIOR TO COMMENCING ACTIVITIES ERRORS, OMISSIONS OR INCONSISTENCIES BETWEEN THESE AND ALL DOCUMENTS OR AGAINST FIELD CONDITIONS SHALL BE AT ONCE REPORTED TO THE DESIGNER & STRUCTURAL ENGINEER IN WRITING.

DIMENSIONS: ALL DIMENSIONS MUST BE VERFIED PRIOR TO START OF WORK DO NOT SCALE DRAWINGS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE DESIGNER & STRUCTURAL ENGINEER. MEASURED DIMENSIONS SUPERSEDE DIMENSIONS OBTAINED BY SCALING. EXTERIOR/INTERIOR DIMENSIONS ARE FACE OF STUD. UNLESS OTHERWISE NOTED. "CLR" MEANS CLEAR DIMENSION FROM FACE OF FINISH, NOTIFICATION: DESIGNER IS TO BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS. DRAWINGS SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS.

DOCUMENTS: THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, IN THAT WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. SPECIFICATIONS TAKE PRECEDENE OVER NOTES AND DETAILS, WHICH TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. UNLESS OTHERWISE SHOWN OR NOTED.

CONTINUOUS OPERATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK IN ACCORDANCE WITH THE LOCAL BUILDING JURISDICTION OFFICIAL:

"Construction Hours" Weekdays: 8:00 a.m. – 7:00 p.m. Saturdays:

9:00 a.m. - 6:00 p.m. Sundays and Holidays: No Work Allowed (See City of Burlingame Municipal Code, Section 18.07.110 for details.)

(See City of Burlingame Municipal Code, Section 13.04.100 for details.) Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m. Note: Construction hours for work in the public right of way must now be included on the plans

THE MOST RESTICITIVE WORK HOURS SHALL GOVERN. WORKING OUTSIDE OF THE PRE-DEFINED SCHEDULE SHALL BE COORDINATED WITH THE OWNER IN ADVANCE AND THE LOCAL BUILDING OFFICIAL IF THE PROPOSED WORKING HOURS FALL OUTSIDE OF THAT WHICH IS ALLOWED BY THE BUILDING OFFICIAL. STAGING, STORING MATERIALS AND PARKING SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION.

SUPPORT: PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FICTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ACCESSORIES, HEATING EQUIPMENT AND ALL OTHER ITEMS REQUIRING SUPPORT SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, ETC., DURING CONSTRUCTION AND/OR DEMOLITION. MISCELLANEOUS: WORD "DEMOLISH" USED IN DRAWINGS MEANS REMOVE AS

REQURED BY THE SCOPE OF WORK AND AND DISPOSE OFF-SITE. WORD "PROVIDE" USED IN DRAWINGS MEANS ITEM IS FURNISHED. INSTALLED AND CONNECTED AS REQUIRED FOR COMPLETE INSTALLATION, EXCEPT AS SPECIFICALLY NOTED OTHERWISE. WORD "VERIFY" USED IN DRAWINGS MEANS ITEM, DIMENSION, CONDITION, OR PROVISION SHALL BE ACCURATELY VERIFIED AND WRITTEN CLARIFICATION SECURED FROM DESIGNER PRIOR TO INITIATION OF ASSOCIATED WORK.

MATERIAL: ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL UON. INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE ALLOWED FOR ALL MATERIALS UON.

Wentao Shi

T:(614) 886-3324

DEMO PERMIT WILL NOT BE ISSUED UNTIL A

BUILDING PERIT IS ISSUED FOR THE

"Any hidden conditions that require work to be

issued for these plans may require further City

approvals including review by the Planning

performed beyond the scope of the building permit

wtshi93@outlook.com

PROJECT

(1) DELIVER ALL MATERIALS AND EQUIPMENT TO THE PROJECT IN THE MÁNUFACTURER'S ORIGINAL SEALED, LABELED CONTAINERS, IF ANY, AND PROTECT ALL PACKAGED AND UNPACKED ITEMS AGAINST MOISTURE, DUST, TAMPERING OR DAMAGE FROM IMPROPER HANDLING OR STORAGE (2) EXCEPT AS SPECIFICALLY NOTED OTHERWISE, THE INSTALLATION AND/OF MÁINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS AND EQUIPMENT. (3) ALL MATERIALS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN

SHALL BE NEW. UNUSED MATERIALS UNLESS SPECIFICALLY MARKED OTHERWISE.

(1) SPECIFIC NAMES ARE INDICATED TO ESTABLISH QUALITY AND FUNCTIONAL STANDARDS REQUIRED TO DO THE WORK, AND TO MEET THE QUALITY AND FUNCTION STANDARD OF THE CONTRACT. (2) SUBSTITUTE ITEMS SHALL BE EQUAL OR SUPERIOR TO THE ITEMS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER

UNDERGROUND UTILITIES: ALL KNOWN UNDERGROUND CONDITIONS HAVE BEEN SHOWN. THE CONTRACTOR SHOULD EXERCISE CAUTION WHEN EXCAVATING TO AVOID DAMAGE TO (E) UNDERGROUND PIPES, CONDUITS, ETC. WHICH ARE TO

SPECIAL INSPECTIONS/TESTING REQUIREMENTS: A. CONTRACTOR SHALL GIVE

THE DESIGNER AND OWNER 3-DAY MINIMUM NOTIFICATION FOR THE TESTS TO BE TAKEN. THE MINOR AMOUNTS OF MATERIAL REQUIRED FOR TESTING SHALL BE FURNISHED BY THE CONTRACTOR, THE COSTS OF TESTS SHALL BE BORNE BY THE CONTRACTOR.

B. SHOULD THE RESULTS OF ANY REQUIRED TESTS OR SAMPLES OF MATERIALS FAIL, THEN THE CONTRACTOR SHALL FURNISH NEW SAMPLES OF NEW MATERIALS, AND ADDITIONAL TESTS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE UNTIL THE MATERIALS ARE FOUND TO MEET TESTING REQUIREMENTS.

CLEAN UP:

A. DURING CONSTRUCTION: CLEAN-UP SITE AND ACCESS AND DISPOSE OF WASTE MATERIALS, RUBBISH AND DEBRIS AT REASONABLE INTERVALS DURING THE PROGRESS OF WORK, TO AVOID UNSIGHTLY OR HAZARDOUS CONDITIONS.

B. FINAL CLEANING OF GROUNDS: REMOVE FROM SITE, WITHIN AREA OF WORK, CONSTRUCTION WASTE AND UNUSED MATERIALS, AND DEBRIS OF ANY DESCRIPTION RESULTING FROM WORK. HOSE DOWN WITH WATER AND SCRUB, WHERE NECESSARY, CONCRETE AND ASPHALT PAVEMENT SOILED AS A RESULT OF THE WORK.

C. FINAL CLEANING OF BUILDING: REMOVE TRACES OF SOIL, WASTE MATERIALS, SMUDGES, AND OTHER FOREIGN MATTER FROM SURFACES. REMOVE TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES. CLEAN GLASS INSIDE

ADDITIONAL NOTES:

WASTE MANAGEMENT:

PROPER DOCUMENTATION TO BE PROVIDED BY CONTRACTOR PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.2.1

A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND PERSONAL AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4

B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OT THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

INSTALLER AND SPECIAL INSPECTOR REQUIRED QUALIFICATIONS:

Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.

Verification of compliance with green building measures code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.

VIEW FROM ABOVE:

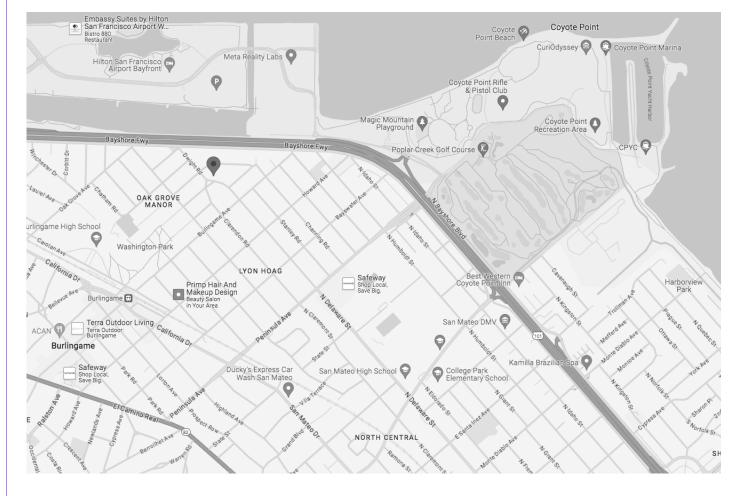
SUBJECT PROPERTY



PARCEL MAP:



VICINITY MAP:



SID

DWIGHT

TITLE SHEET

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE	REV #	DESCRIP.
2025/01/29	REV1	PLAN CHECK COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED: 3/3/25

COUNTY OF SAN MATEO Planning & Building Department 455 County Center, 2nd Floor Redwood City, CA 94063 BLD: 650-599-7311/PLN: 650-363-1825

A Enter Project Data (For 'C.3 Regulated Projects,' data will be reported in the municipality's stormwater Annual Report.) Project Name: Project APN: 340 DWIGHT ROAD	Project Information	(Enter information only	into blue-highlighted cells - other cells are	locked.)	
Troject Address: Troject APN: Troject APN	A Enter Project	t Data (For "C.3 Regulated F	Projects," data will be reported in the municipality's	stormwater Annual	Report.)
O29-192-200 Project Watershed: Project Phase No.	Project Name:	PRIVATE RESIDI	ENCE	Case Number:	
pplicant Name: pplicant Phone: MARIA BARMINA 650.704.4501 Applicant Email Address: MBARMINA Project Phase No. MBARMINA@YAHOO.COM MBARMINA@YAHOO.COM MBARMINA@YAHOO.COM MBARMINA@YAHOO.COM MBARMINA@YAHOO.COM MBARMINA@YAHOO.COM MBARMINA@YAHOO.COM Applicant Email Address: MBARMINA@YAHOO.COM Applicant Email Address: MBARMINA@YAHOO.COM # of units: Multi-Family Residential	roject Address:	340 DWIGHT RC	OAD Cross Street	t:	
Applicant Email Address: MBARMINA(@YAHOO.CON Small Single-Family Home Project (<10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface of units: Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface of units: Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface project on a site where past development of the project exceed the amount of new and/or replaced impervious surface provided in this form is correct and acknowledge that, should the project exceed the amount of new and/or replaced impervious surface provided in this form, the as-built project may be subject to additional improvements. Large Single-Family Home Project (Pan Attached Stormwater Control Plan Attached Stormwater Control	roject APN:			d:	
evelopment Type:	pplicant Name:				
Large Single-Family Home Project (≥10,000 sq. ft. of created and/or replaced impervious surface¹) Subdivision - Residential: Two or more lot development² # of units:	pplicant Phone:	650.704.4501	Applicant Email Addres	s: MBARMI	<u>NA@YAHOO.COM</u>
Subdivision - Residential: Two or more lot development ² # of units: Multi-Family Residential	evelopment Type:	Small Single-	-Family Home Project (<10,000 sq. ft. of create	ed and/or replace	ed impervious surface ¹)
Multi-Family Residential	neck all that apply)	□ Large Single-	-Family Home Project (≥10,000 sq. ft. of create	ed and/or replace	ed impervious surface ¹)
Commercial Industrial, Manufacturing Mixed-Use # of units: New, widened or reconstructed roads related to parcel-based projects Stand-alone pavement maintenance or construction work, or similar work related to parcel-based project Other redevelopment project as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred. Institutional: schools, libraries, jails, etc. Parks and trails, camp grounds, other recreational Kennels, Ranches Other, Please specify Square feet (on and off-site) Square feet (on the private property) A.1 Total Project Area Square feet (frontage or area in Public Right of Way being improved) A.4 Total Area of Isald disturbed during construction: Square feet (Include all project on-site and off-site areas of clearing, grading, excavating and stockpiling) A.5 Site slope: % % % % % % % % %		Subdivision -	Residential: Two or more lot development ²		# of units:
Industrial, Manufacturing		*.	Residential		# of units:
Mixed-Use			anufacturing		
New, widened or reconstructed roads related to parcel-based projects3			anulaciumig		# of units:
Other redevelopment project as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred. Institutional: schools, libraries, jails, etc. Parks and trails, camp grounds, other recreational Kennels, Ranches Other, Please specify Other, Please specify A.1 Total Project Area: A.2 Total Area on-site: A.3 Total Area off-site: Square feet (on and off-site) (Include all project on-site and off-site areas of clearing, grading, excavating and stockpiling) A.5 Site slope: WA6 Certification: Certify that the information provided on this form is correct and acknowledge that, should the project exceed the amount of new and/or impraced impervious surface provided in this form, the as-built project may be subject to additional improvements. MARIA BARMINA Title: DESIGNER		□ New, widene	d or reconstructed roads related to parcel-bas	ed projects ³	··
impervious surface on a site where past development has occurred. Institutional: schools, libraries, jails, etc. Parks and trails, camp grounds, other recreational Kennels, Ranches Other, Please specify Polymore of the project Area:		□ Stand-alone	pavement maintenance or construction work,	or similar work re	lated to parcel-based projects
Institutional: schools, libraries, jails, etc.		Other redeve	lopment project as defined by MRP: creating,	adding and/or re	placing exterior existing
Parks and trails, camp grounds, other recreational Kennels, Ranches Other, Please specify A.1 Total Project Area: A.2 Total Area on-site: Square feet (on and off-site) A.3 Total Area off-site: Square feet (frontage or area in Public Right of Way being improved) A.4 Total Area of land disturbed during construction: (Include all project on-site and off-site areas of clearing, grading, excavating and stockpiling) A.5 Site slope: Certification: Certify that the information provided on this form is correct and acknowledge that, should the project exceed the amount of new and/or eplaced impervious surface provided in this form, the as-built project may be subject to additional improvements. MARIA BARMINA Title: DESIGNER		impervious si	urface on a site where past development has o	occurred.	
Continuity (and the information provided on this form is correct and acknowledge that, should the project exceed the amount of new and/or explaced impervious surface provided in this form, the as-built project may be subject to additional improvements. Kennels, Ranches					
Other, Please specify roject Description Don't include past refuture phases) A.1 Total Project Area:					
roject Description Don't include past - future phases) A.1 Total Project Area:					
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Preliminary Calculations Attached	•	•	•		
ame of person completing the form: MARIA BARMINA Title:		•		·	
	anie oi person com	. •		Tille.	

¹ Small and Large Detached Single-Family Homes that are not part of a common plan of development².

be subject to C.3 requirements - both in public and private areas. See the Roads Factsheet at: www.flowsto

each other), and/or constructed with shared utilities, are not considered single family home projects by the MRP.

Worksheet C

50.7044501 E-mail: MBARMINA@YAHOO.COM

² Common Plans of Development (subdivisions or contiguous, commonly owned lots, for the construction of two or more homes developed within 1 year of

⁴ Project description examples: 5-story office building, industrial warehouse, residential with five 4-story buildings for 200 condominiums, etc. 7/1/23

³ Stand-alone roadway or pavement projects, or pavement work that is part of a project, creating or replacing 5,000 sq. ft. or more of impervious surface may

Low Impact	Developme	nt – Site De	sign Measur	es

Select Appropriate Site Design Measures (Required for C.3 Regulated Projects; all other projects are encouraged to implement site design measures, which may be required at municipality discretion.) Projects that create and/or replace between 2,500 and 5,000 sq.ft. of impervious surface, and detached single family homes that create/replace between 2,500 and 10,000 sq.ft. of impervious surface, must include one of Site Design Measures a through f (Provision C.3.i requirements). 10 Larger (>=5,000 sq.ft) projects must also include applicable Site Design Measures g through i. Consult with municipal staff about requirements for your project.

Select appropriate site design measures and Identify the Plan Sheet where these elements are shown.

Yes	Plan Sheet No.	Site Design Measures
	t	a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use
	A 01	b. Direct roof runoff onto vegetated areas.
	A-01	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
	A	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
		e. Construct sidewalks, walkways, and/or patios with pervious or permeable surfaces. Use the specifications in the C.3 Regulated Projects Guide downloadable at www.flowstobay.org/newdevelopment
	N/A	f. Construct bike lanes, driveways, and/or uncovered parking lots with pervious surfaces. Use the specifications in the C.3 Regulated Projects Guide downloadable at www.flowstobay.org/newdevelopment
	A-01	g. Limit disturbance of natural water bodies and drainage systems; minimize compaction of highly permeable soils; protect slopes and channels; and minimize impacts from stormwater and urban runoff on the biological integrity of natural drainage systems and water bodies;
	1 1	h. Conserve natural areas, including existing trees, other vegetation and soils.
	T T	i. Minimize impervious surfaces.

Regulated Projects can also consider the following site design measures to reduce treatment system sizing:

Yes	Plan Sheet No.	Site Design Measures
	N/A	j. Self-treating area (see Section 4.2 of the C.3 Regulated Projects Guide)
	N/74	k. Self-retaining area (see Section 4.3 of the C.3 Regulated Projects Guide)

10 See MRP Provision C.3.a.i.(6) for non-C.3 Regulated Projects, C.3.c.i.(2)(a) for Regulated Projects, C.3.i for projects that create/replace between 2,500 and 5,000 sq.ft. of impervious surface and detached single family homes that create/replace between 2,500 and 10,000 sq.ft. of impervious surface.

 I.B Is the project a "C.3 Regulated Project" per MRP Provision C.3.b? (Use table below to make determination.)
 I.B.1 Enter the amount of Impervious surface Retained, Replaced or Created by the project (use DMA Table in Worksheet D): Table I.B.1 Impervious⁶ and Pervious⁶ Surfaces (Match DMA Summary Table in Worksheet D, if applicable)

		1 10 1 10,000			. 0,000		
		I.B.1.a	I.B.1.b	I.B.1.c	I.B.	1.d	I.B.1.e
(e.g., sid	bus Surfaces (IS) ewalks, driveways, parking areas, patios, roads, rooftops, athways, etc.)	Existing (Pre-Project) Impervious Surface (sq.ft.)	Existing Impervious Surface to be Retained ⁵ (sq.ft.)	Existing Impervious Surface to be Replaced ⁵ (sq.ft.)	New Imp Surface Created		Post-Project Impervious Surfac (sq.ft.) (=b+c+d)
On-site a	area (within the parcel/private site boundaries)	. ,	(=4)	(= 4)			
Off-site a	area (e.g., frontage/other area in Public Right of Way)						
	Subtotal:	-	-	-		-	
	pervious Surface Replaced and Created: totals for columns I.B.1.c and I.B.1.d):		I.B.1.f	-	sq. ft.		
(e.g., lan	s Surfaces (PS) dscaping, pervious pavement, bioretention areas, parking reet trees, etc both on-site and off-site)	Existing (Pre-Project) Pervious Surface (sq.ft.)					Post-project Pervious Surfac (sq.ft.)
All pervi	ous off-site area (e.g., frontage/Public Right of Way) ⁶						
Landsca	ping area on-site				-		
Pervious	Pavement area on-site					I.B.1.g	
Green R	oof area on-site						
	Subtotal:	-	50%	Rule Calculation	1		
	Total Project Area (should be equal to I.A.1)	-	I.B.1.h	-	%		
I.B.2	Please review and attach additional worksheets as r cell I.B.1.f from Table I.B.1 above and other factors:	•	g the Total Imp	ervious Surface	(IS) Re	placed	d or Created
	Review				Check Yes		Attach Workshee
	Does this project involve any earthwork and/or stockpiling of soil, ag	gregates etc?			100		
I.B.2.a	If YES, then Check Yes, and Complete Worksheet A. If NO, then Check No, and go to I.B.2.b					b	А
I.B.2.b	Is I.B.1.f greater than or equal to 2,500 sq.ft? If YES, then the Project is subject to Provision C.3.i complete Worksheets B, C and go to I.B.2.c. If NO, go to I.B.2.i - or ask municipal staff for Small Project Checklist.					L	B, C
I.B.2.c	Does the 50% rule apply to the project? Is I.B.1.h 50% or more? If YES, site design, source control and treatment requirements apply to the entire on-site area. Continue to I.B.2.d If NO, these requirements apply only to the impervious surface created and/or replaced. Continue to I.B.2.d					₽.	
I.B.2.d	Is this project a Roadway Project and is I.B.1.f greater than or equal to 5,000 sq.ft? If YES, project may be C.3 Regulated Project. See the Roadways Fact Sheet at: www.flowstobay.org/newdevelopment If NO, go to I.B.2.e					₽	
I.B.2.e	Is I.B.1.f greater than or equal to 5,000 sq.ft? Or 10,000 sq.ft. for a Lexempt) If YES, project is a C.3 Regulated Project - complete Worksheet D. If NO, then skip to I.B.2.g.		e? (Small Single-Fai	mily Homes are		4	D
I.B.2.f	Is I.B.1.f greater than or equal to 43,560 sq.ft, (i.e., one acre)? If YES, project may be subject to Hydromodification Management requirements - complete Worksheet E then go to I.B.2.g. If NO, then go to I.B.2.g.					4	E
I.B.2.g	Is I.A.4 greater than or equal to 43,560 sq.ft., (i.e., one acre)? [SWRS Site: Subject to monthly inspections from Oct 1 to April 30; weekly inspections if located in ASBS Watershed] For more information see: www.swrcb.ca.gov/water_issues/programs/stormwater/construction.shtml If YES, check box, obtain coverage under CA Construction General Permit & submit Notice of Intent to municipality-go to I.B.2.h. If NO, then go to I.B.2.h.					4	
I.B.2.h	Is this a Special Project or does it have the potential to be a Special Project? If YES, complete Worksheet F - then continue to I.B.2.i. If NO, go to I.B.2.i.					4	F
I.B.2.i	Is this project a Hillside Site ? Or a High Priority Site ? Hillside Site: than or equal to 5,000 square feet. High Priority Sites include: 1) Pro Grading or Land Clearing Permit; or 2) Project with land disturbance ASBS Watershed, b.) 1,000 sq. ft. or greater for areas within 100 fee involving work within a waterway or any private project involving wor and Building Department. [SWRS Site: Subject to monthly inspectic Watershed]	oject that involve grading of: a.) 1 sq. ft. or greate et of a creek, wetland, or k within a waterway that ons from Oct 1 to April 30	in excess of 250 c.y. r within the Fitzgerald coastline; or 3) Any requires a permit iss 0; weekly inspections	or requiring a d Marine Reserve public project ued by the Planning if located in ASBS		Ł	G
	If YES, complete section G-2 on Worksheet G - then continue to I.B For Municipal Staff Use Only: Are you using Alternative Certification If YES, then fill out section G-1 on Worksheet G. Fill out other section.	on for the project review?		I.A.0			_

etained" means to leave existing impervious surfaces in place; "Replaced" means to install new impervious surface where existing impervious surface is removed anywhere on the same site; and "Created" means the amount of new impervious surface being proposed which exceeds the total amount of existing impervious surface at the site. Per the MRP, pavement that meets the following definition of pervious pavement is NOT an impervious surface: pavement that stores and infiltrates rainfall at a rate equal to immediately surrounding unpaved, landscaped areas, or that stores and infiltrates the rainfall runoff volume described in Provision C.3. Gravel pavement is not pervious unless it is constructed using pervious pavement system designs or runoff flows to adjacent landscaping. Pervious off-site areas include landscaped areas such as parking strips and street trees; off-site pervious pavement includes pervious concrete gutters and interlocking permeable concrete paver sidewalks, etc. 7/1/23

If YES, then fill out section G-1 on Worksheet G. Fill out other sections of Worksheet G as appropriate.

See cell I.B.1.g above - Is the project installing 3,000 square feet or more of pervious pavement?

If YES, then fill out section G-3 on Worksheet G. Add to Municipal Inspection Lists (C.3 and C.3.h)

	(C.3 Regula	ted Projects and Non-Regulated GI F	Projects		
Stormy			es and Site Design Measures by Drainag		Area (DMA)	
Check all ap	plicable boxes,	answer questic	ns and fill in cells related to the site design and treatm	ient measure(s) inclu	ded in the proje	ct.
		Drain	age Management Area Summary Tab	ole		
Complete the information	n below at the E	ntitlement, Bui	Iding Permit and Certificate of Occupancy stages for F	Regulated C.3 Projec	ts and Non-Reg	ulated G
Infrastructure Projects. (The first four ce	ls are automat	ically filled in from the Project Info sheet.)			
Project Name:	0					
Project Address:	0					
Cross Streets:	0					
APN:	0					
Special Project ¹¹ ?			of C.3.d amount of runoff treated by Non-LID Syst	ems on the Special	Project site.	
C.3 Regulated?						
Public or Private			cts are those on public property or ROW; private		•	propert
Project?		but can inclu	ude improvements in the public ROW required a	s part of the projec	t.	
DMA Identification	Impervious	Pervious	Type of Site Design Measure or Treatment	Sizing Criteria	Size	Size
Number	Area ¹² (ft ²)	Area ¹³ (ft ²)	Measure ¹⁴	Used ¹⁵	Required ¹⁶	Provid
Example DMA 1	5,000	2,000	Bioretention unlined with underdrain	2c: Flow	208 ft2	220 ft
Example DMA 2	1,000	1,000	Self-retaining area	Other	< 2:1 ratio	1:1 ra
Example DMA 3	1,000	-	Infiltration trench	1b: Volume	1,000 ft3	1,100
1						
2						
3						
4						
5						
6						
7						
8						
9						
10						
11						
12						
13						
14						
15						
add rows, if needed						
TOTALS	_	_	N/A	N/A	N/A	N/
Totals from Project Info Sheet Cells	-	-				
Is the project harvesting	and using	Rainwater H	arvesting/Use Measures:			
rainwater? Yes			vater Harvesting for indoor non-potable water us vater Harvesting for landscape irrigation use	е		

template and/or consult the C.3 Regulated Projects Guide and table of contents at www.flowstobay.org/newdevelopment for maintenance plan templates for specific facility types.

11 Special Projects are smart growth, high density, transit-oriented or affordable housing developments with the criteria defined in Provision C.3.e.ii.(2), (3) or (4) (see Worksheet F)

4 "Lined" refers to an impermeable liner placed on the bottom of a bioretention area, such that no infiltration into native soil occurs.

5 Select from the menu which of the following Provision C.3.d.i hydraulic sizing methods was used, if any. Volume based approaches: 1(a) Urban Runoff Quality Management

approach, or 1(b) 80% capture approach (recommended volume-based approach). Flow-based approaches: 2(a) 10% of 50-year peak flow approach, 2(b) 2 times the 85th percentile infall intensity approach, 2(c) 0.2-Inch-per-hour intensity approach (recommended flow-based approach - also known as the 4% rule for bioretention), or 3 Combination flow and blume-based approach. "Other" is used for Site Design Measures such as Self-Retaining or Self-Treating Areas. 6 Each DMA should drain to one treatment area (unless it is self-treating or self-retaining). If multiple DMAs are draining to one treatment area, they should be combined into one DM/ one DMA drains to multiple treatment areas, that DMA should be split up so there is one DMA per treatment area (which allows the treatment area to be properly sized). 7/1/23

The sq.ft. of impervious area within the Drainage Management Area
 The sq.ft. of pervious area within the Drainage Management Area

C.6 – Construction Stormwater BMPs

Identify Plan sheet showing the appropriate construction Best Management Practices (BMPs) used on this project: (Applies to all projects with earthwork)

Worksheet A

Yes	Plan Sheet	Best Management Practice (BMP)
	TTAL	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes paints, concrete, petroleum products, chemicals, wash water or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.
	SUBM	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
	r su	Do not clean, fuel, or maintain vehicles on-site, except in a designated area where wash water contained and treated.
	Ž	Train and provide instruction to all employees/subcontractors re: construction BMPs.
	PERMI	Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls or filters.
	9	Limit construction access routes and stabilize designated access points.
	BUILDIN	Attach the San Mateo Countywide Water Pollution Prevention Program's construction BMP pla sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
		Use temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
	NTIN	Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
	GRAINAGE PLAN WITH	Provide notes, specifications, or attachments describing the following: ■ Construction, operation and maintenance of erosion and sediment controls, include inspection frequency; ■ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material; ■ Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization; ■ Provisions for temporary and/or permanent irrigation.
	N.	Perform clearing and earth moving activities only during dry weather.
		Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
	PROVIDE	Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
		Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
	MILL	Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.

Worksheet E

Hydromodification Management

E-1 Is the project a Hydromodification ¹⁷ Management (HM) Project? E-1.1 Is the total impervious area increased over the pre-project condition?

☐ Yes. Continue to E-1.2

□ No. Go to Item E-1.3 and check "No." Is the site located in an HM Control Area per the HM Control Areas map (Appendix H of the C.3 Regulated Projects

☐ Yes. Go to E-1.3 and Check "Yes".

□ No. Attach map, indicating project location. Go to Item E-1.3 and check "No."

E-1.3 Is the project a Hydromodification Management Project? Yes. The project is subject to HM requirements in Provision C.3.g of the Municipal Regional Stormwater

□ No. The project is EXEMPT from HM requirements.

▶ If the project is subject to the HM requirements, incorporate in the project flow duration control measures designed such that post-project discharge rates and durations match pre-project discharge rates and durations.

▶ The Bay Area Hydrology Model (BAHM) has been developed to help size flow duration controls. See www.clearcreeksolutions.info/downloads. Guidance is provided in Chapter 7 of the C.3 Regulated Projects Guide.

E-2 Incorporate HM Controls (if required)

Yes	No	NA	
			Site plans with pre- and post-project impervious surface areas, surface flow directions of entire site, locations of flow duration controls and site design measures per HM site design requirement
			Soils report or other site-specific document showing soil type(s) on site
			If project uses the Bay Area Hydrology Model (BAHM), a list of model inputs and outputs.
			If project uses custom modeling, a summary of the modeling calculations with corresponding graph showing curve matching (existing, post-project, and post-project with HM controls curves), goodness of fit, and (allowable) low flow rate.
			If project uses the Impracticability Provision, a listing of all applicable costs and a brief description of the alternative HM project (name, location, date of start up, entity responsible for maintenance).
			If the project uses alternatives to the default BAHM approach or settings, a writted description and rationale.

17 Hydromodification is the change in a site's runoff hydrograph, including increases in flows and durations that results when land is developed (made more impervious). The effects of hydromodification include, but are not limited to, increased bed and bank erosion of receiving streams, loss of habitat, increased sediment transport and/or deposition and increased flooding. Hydromodification control measures are designed to reduce these effects.

C.3 - Source Controls

Yes	Detail/Plan Sheet No.	Features that require source control	Source Control Measures (Refer to Local Source Control List for detailed requirements)
		Storm Drain	Mark on-site inlets with the words "No Dumping! Flows to Bay" or equivalent.
		Floor Drains	Plumb interior floor drains to sanitary sewer [or prohibit].
	7	Parking garage	Plumb interior parking garage floor drains to sanitary sewer. ⁸
	SUBMITTA	Landscaping	■ Retain existing vegetation as practicable. ■ Follow ReScape (www.rescapeca.org) principles. Select diverse species appropriate to the site. Incluplants that are pest- and/or disease-resistant, drought-tolerant, and/or attract beneficial insects. ■ Minimize use of pesticides and quick-release fertilizers. ■ Use efficient irrigation system; design to minimize runoff.
	6)	Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. ⁸
	3 PERMI	Food Service Equipment (non- residential)	Provide sink or other area for equipment cleaning, which is: Connected to a grease interceptor prior to sanitary sewer discharge. Large enough for the largest mat or piece of equipment to be cleaned. Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed require equipment washing in this area.
	H BUILDING PERMI	Refuse Areas	■ Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff. ■ Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer. ■ For more information, see the New Development Projects Litter Reduction Fact Sheet at: https://www.flowstobay.org/wp-content/uploads/2021/06/New-Dev-Litter-Reduction-Fact-Sheet-
	TIW	Outdoor Process Activities ⁹	Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run on and runoff, and to drain to the sanitary sewer. ⁸
	E PLAN	Outdoor Equipment/ Materials Storage	■ Cover the area or design to avoid pollutant contact with stormwater runoff. ■ Locate area only on paved and contained areas. ■ Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer ⁸ , and contain by berms or similar.
	DRAINAGE	Vehicle/ Equipment Cleaning	■ Roofed, pave and berm wash area to prevent stormwater run-on and runoff, plumb to the sanitary sewer ⁸ , and sign as a designated wash area. ■ Commercial car wash facilities shall discharge to the sanitary sewer. ⁸
	IIDE DRA	Vehicle/ Equipment Repair and Maintenance	 Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run on and runoff and provide secondary containment. Do not install drains in the secondary containment areas. No floor drains unless pretreated prior to discharge to the sanitary sewer.⁸ Connect containers or sinks used for parts cleaning to the sanitary sewer.⁸
	PROVIDE	Fuel Dispensing Areas	■ Fueling areas shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break. ■ Canopy shall extend at least 10 ft. in each direction from each pump and drain away from fueling are
	WILL	Loading Docks	■ Cover and/or grade to minimize run-on to and runoff from the loading area. ■ Position downspouts to direct stormwater away from the loading area. ■ Drain water from loading dock areas to the sanitary sewer. ⁸ ■ Install door skirts between the trailers and the building.
		Fire Sprinklers	Design for discharge of fire sprinkler test water to landscape or sanitary sewer. ⁸
		Miscellaneous Drain or Wash Water	 Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer.⁸ Roof drains from equipment drain to landscaped area where practicable. Drain boiler drain lines, roof top equipment, all wash water to sanitary sewer.⁸
		Architectural Copper Rinse Water	■ Drain rinse water to landscaping, discharge to sanitary sewer ⁸ , or collect and dispose properly offsite See flyer "Requirements for Architectural Copper."

Worksheet F Special Projects

Complete this worksheet for projects that appear to meet the definition of "Special Project", per Provision C.3.e.ii of the Municipal Regional Stormwater Permit (MRP). The form assists in determining whether a project meets Special Project criteria, and the percentage of low impact development (LID) treatment reduction credit. Special Projects that implement less than 100% LID treatment must provide a narrative discussion of the feasibility or infeasibility of 100% LID treatment. See Appendix J of the C.3 Regulated Projects Guide (download at www.flowstobay.org/newdevelopment) for more information.

F-1 "Special Project" Determination (Check the boxes to determine if the project meets any of the following categories.)

Special Project Category "A"

passenger or freight loading zones;

Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic

preservation site and/or district:

Creates and/or replaces 0.5 acres or less of impervious surface - enter answer in F-2 table;

Includes no surface parking, except for incidental parking for emergency vehicle access, ADA access, and

Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian

connections, public uses, landscaping and stormwater treatment - enter answer in F-2 Table

□ No (continue)

□ Yes – Complete Section F-2 below

Special Project Category "B" Does the project have ALL of the following characteristics?

Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic

preservation site and/or district¹⁵; Creates and/or replaces more than 0.5 acres of impervious area and less than 2.0 acres - enter answer in F-2

Includes no surface parking, except for incidental parking for emergency access, ADA access, and passenger or freight loading zones;

Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment - enter answer in F-2 Table;

Minimum gross density of either 50 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2:1 (for commercial projects) - mixed use projects may use either criterion¹⁶ - enter answer in F-2 Table;

□ No (continue)

□ Yes – Complete Section F-2 below Special Project Category "C"

Complete the Special Project Category C - Affordable Housing Credit Calculator (AHCC) Worksheet.

Does the project meet ALL of the required characteristics for Category C?

☐ Yes – Complete Section F-2 below

¹⁵ And built as part of a municipality's stated objective to preserve/enhance a pedestrian-oriented type of urban design. 16 The MRP establishes definitions for "Gross Density" (GD) & FAR. GD is defined as, "the total number of residential units divided by the acreage of the entire site area, including land occupied by public right-of-ways, recreational, civic, commercial and other non-residential uses." FAR is defined as," the Ratio of the total floor area on all floors of all buildings at a project site (except structures, floors, or floor areas dedicated to parking) to the total project site area.



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340 DWIGHT I BURLINGAME APN#: 029-192 PRIVA RESID

C3 C6 CHECKLIST

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

EVISI	ONS:	
ATE	REV#	

DATE	REV#	DESCRIP.

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED: 10/30/24

EXTERIOR RENDERINGS



GARAGE SIDE VIEW



FRONT VIEW



FRONT RIGHT VIEW



REAR YARD LEFT



REAR YARD RIGHT



VIEW FROM ABOVE (LEFT)



VIEW FROM ABOVE (REAR)



VIEW FROM ABOVE REAR

RESERVED FOR STAMP **APPROVAL**



MARIA BARMINA **DESIGNER**

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Benj_rev final, MATERIAL BOARD

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

2025/01/29 REV1 PLAN CHECK COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED: 7/9/25

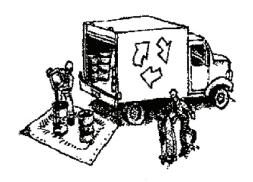


Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



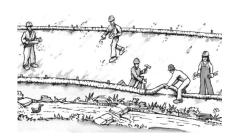
Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash

Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar **Application**



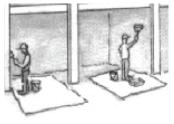
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

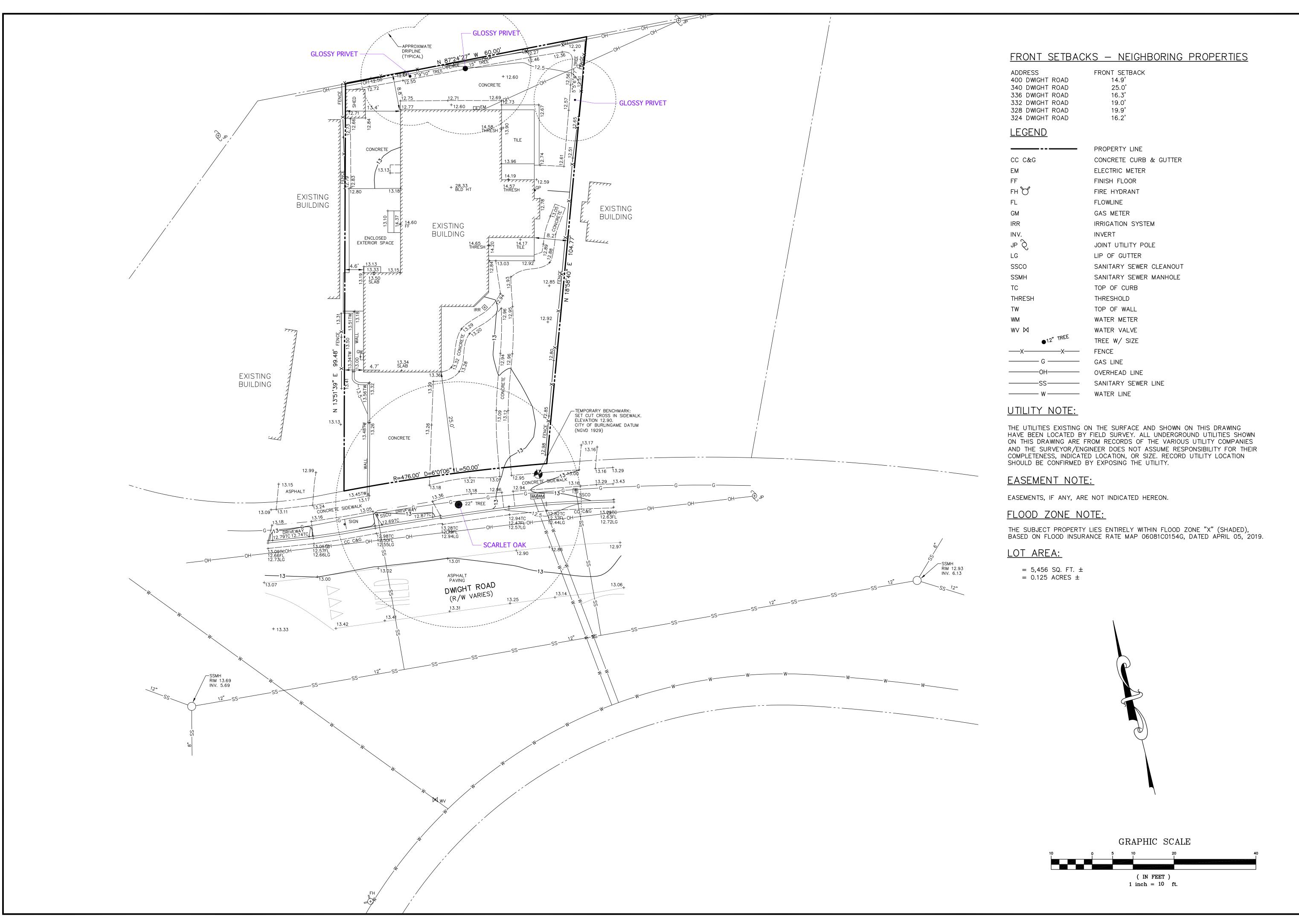
- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!





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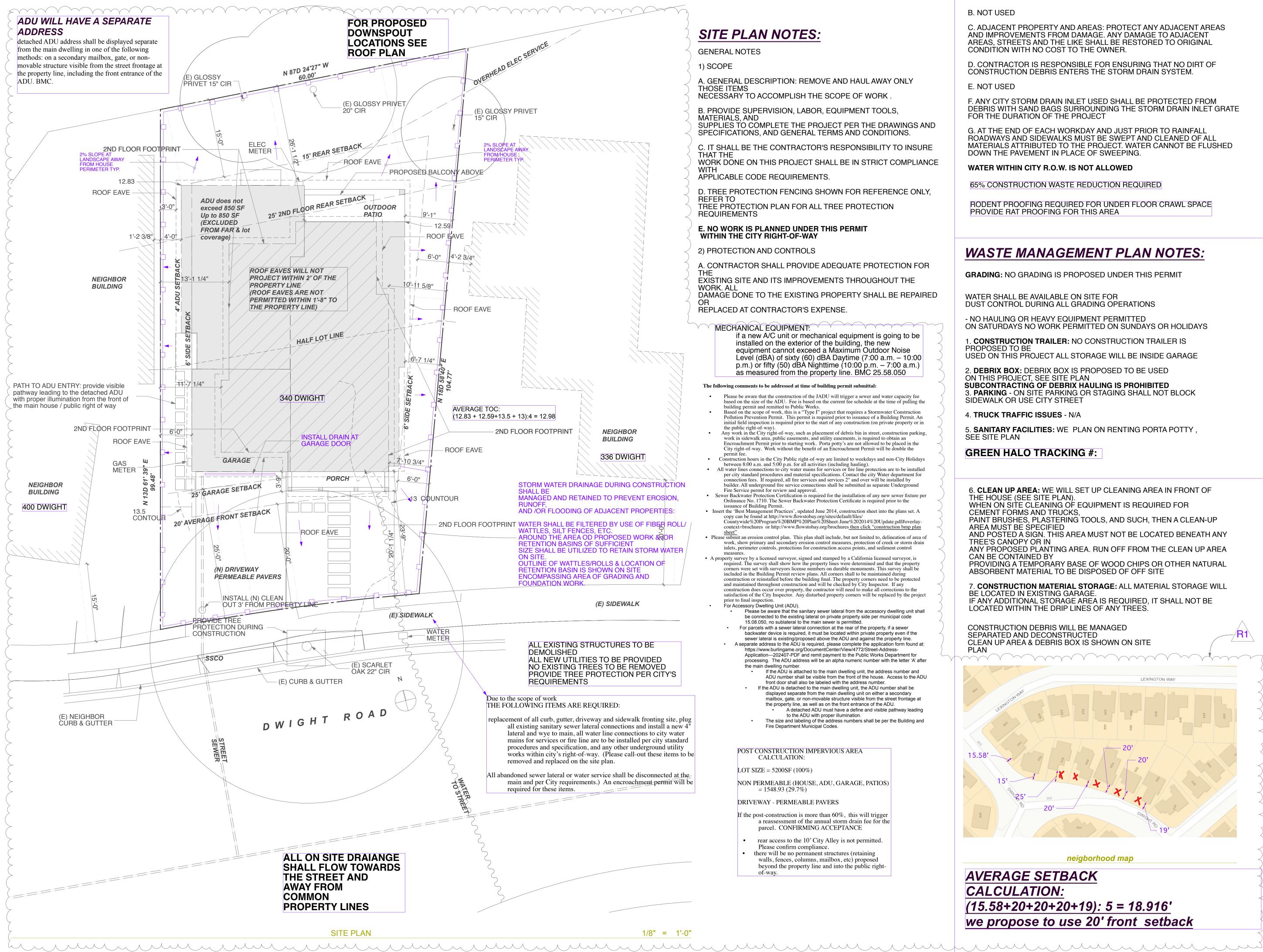
DESIGNED BY: ---

CHECKED BY: RJD

SCALE: 1"=10'

DATE: 09/03/2024 PROJECT NO. 24-1483

SHEET 1 OF 1



SITE PLAN NOTES:

GENERAL NOTES

1) SCOPE

A. GENERAL DESCRIPTION: REMOVE AND HAUL AWAY ONLY THOSE ITEMS

B. PROVIDE SUPERVISION, LABOR, EQUIPMENT TOOLS, MATERIALS, AND

SUPPLIES TO COMPLETE THE PROJECT PER THE DRAWINGS AND SPECIFICATIONS, AND GENERAL TERMS AND CONDITIONS.

C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE WORK DONE ON THIS PROJECT SHALL BE IN STRICT COMPLIANCE

APPLICABLE CODE REQUIREMENTS.

D. TREE PROTECTION FENCING SHOWN FOR REFERENCE ONLY, TREE PROTECTION PLAN FOR ALL TREE PROTECTION

E. NO WORK IS PLANNED UNDER THIS PERMIT WITHIN THE CITY RIGHT-OF-WAY

2) PROTECTION AND CONTROLS

issuance of Building Permit.

A. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR EXISTING SITE AND ITS IMPROVEMENTS THROUGHOUT THE

WORK. ALL DAMAGE DONE TO THE EXISTING PROPERTY SHALL BE REPAIRED

REPLACED AT CONTRACTOR'S EXPENSE

MECHANICAL EQUIPMENT: if a new A/C unit or mechanical equipment is going to be installed on the exterior of the building, the new equipment cannot exceed a Maximum Outdoor Noise Level (dBA) of sixty (60) dBA Daytime (7:00 a.m. - 10:00 p.m.) or fifty (50) dBA Nighttime (10:00 p.m. – 7:00 a.m.) as measured from the property line. BMC 25.58.050

The following comments to be addressed at time of building permit submittal:

- Please be aware that the construction of the JADU will trigger a sewer and water capacity fee based on the size of the ADU. Fee is based on the current fee schedule at the time of pulling the
- building permit and remitted to Public Works. Based on the scope of work, this is a "Type I" project that requires a Stormwater Construction Pollution Prevention Permit. This permit is required prior to issuance of a Building Permit. An initial field inspection is required prior to the start of any construction (on private property or in
- Any work in the City right-of-way, such as placement of debris bin in street, construction parking, work in sidewalk area, public easements, and utility easements, is required to obtain an Encroachment Permit prior to starting work. Porta potty's are not allowed to be placed in the City right-of-way. Work without the benefit of an Encroachment Permit will be double the
- Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m. for all activities (including hauling). All water lines connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the city Water department for

onnection fees. If required, all fire services and services 2" and over will be installed by

- builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval. Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 1710. The Sewer Backwater Protection Certificate is required prior to the
- Insert the 'Best Management Practices', updated June 2014, construction sheet into the plans set. A copy can be found at http://www.flowstobay.org/sites/default/files/ Countywide%20Program%20BMP%20Plan%20Sheet-June%202014%20Update.pdf#overlaycontext=brochures or http://www.flowstobay.org/brochures then click "construction bmp plan
- Please submit an erosion control plan. This plan shall include, but not limited to, delineation of area of work, show primary and secondary erosion control measures, protection of creek or storm drain inlets, perimeter controls, protections for construction access points, and sediment control
- A property survey by a licensed surveyor, signed and stamped by a California licensed surveyor, is required. The survey shall show how the property lines were determined and that the property corners were set with surveyors license numbers on durable monuments. This survey shall be included in the Building Permit review plans. All corners shall to be maintained during construction or reinstalled before the building final. The property corners need to be protected and maintained throughout construction and will be checked by City Inspector. If any construction does occur over property, the contractor will need to make all corrections to the satisfaction of the City Inspector. Any disturbed property corners will be replaced by the project For Accessory Dwelling Unit (ADU).

Please be aware that the sanitary sewer lateral from the accessory dwelling unit shall be connected to the existing lateral on private property side per municipal code 15.08.050, no sublateral to the main sewer is permitted

- For parcels with a sewer lateral connection at the rear of the property, if a sewer backwater device is required, it must be located within private property even if the sewer lateral is existing/proposed above the ADU and against the property line. A separate address to the ADU is required, please complete the application form found at: https://www.burlingame.org/DocumentCenter/View/4772/Street-Address-Application---202407-PDF and remit payment to the Public Works Department for processing. The ADU address will be an alpha numeric number with the letter 'A' after
 - If the ADU is attached to the main dwelling unit, the address number and ADU number shall be visible from the front of the house. Access to the ADU front door shall also be labeled with the address number. If the ADU is detached to the main dwelling unit, the ADU number shall be displayed separate from the main dwelling unit on either a secondary mailbox, gate, or non-movable structure visible from the street frontage at the property line, as well as on the front entrance of the ADU. A detached ADU must have a define and visible pathway leading
 - to the ADU with proper illumination. The size and labeling of the address numbers shall be per the Building and Fire Department Municipal Codes.

POST CONSTRUCTION IMPERVIOUS AREA CALCULATION:

LOT SIZE = 5200SF (100%)

the main dwelling number.

NON PERMEABLE (HOUSE, ADU, GARAGE, PATIOS) = 1548.93 (29.7%)

DRIVEWAY - PERMEABLE PAVERS

If the post-construction is more than 60%, this will trigger a reassessment of the annual storm drain fee for the parcel. CONFIRMING ACCEPTANCE

- rear access to the 10' City Alley is not permitted.
- Please confirm compliance. there will be no permanent structures (retaining walls, fences, columns, mailbox, etc) proposed beyond the property line and into the public right-

B. NOT USED

C. ADJACENT PROPERTY AND AREAS: PROTECT ANY ADJACENT AREAS AND IMPROVEMENTS FROM DAMAGE. ANY DAMAGE TO ADJACENT AREAS, STREETS AND THE LIKE SHALL BE RESTORED TO ORIGINAL CONDITION WITH NO COST TO THE OWNER.

D. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO DIRT OF CONSTRUCTION DEBRIS ENTERS THE STORM DRAIN SYSTEM.

E. NOT USED

F. ANY CITY STORM DRAIN INLET USED SHALL BE PROTECTED FROM DEBRIS WITH SAND BAGS SURROUNDING THE STORM DRAIN INLET GRATE FOR THE DURATION OF THE PROJECT

G. AT THE END OF EACH WORKDAY AND JUST PRIOR TO RAINFALL ROADWAYS AND SIDEWALKS MUST BE SWEPT AND CLEANED OF ALL MATERIALS ATTRIBUTED TO THE PROJECT. WATER CANNOT BE FLUSHED DOWN THE PAVEMENT IN PLACE OF SWEEPING.

WATER WITHIN CITY R.O.W. IS NOT ALLOWED

65% CONSTRUCTION WASTE REDUCTION REQUIRED

RODENT PROOFING REQUIRED FOR UNDER FLOOR CRAWL SPACE PROVIDE RAT PROOFING FOR THIS AREA

WASTE MANAGEMENT PLAN NOTES:

GRADING: NO GRADING IS PROPOSED UNDER THIS PERMIT

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS

- NO HAULING OR HEAVY EQUIPMENT PERMITTED ON SATURDAYS NO WORK PERMITTED ON SUNDAYS OR HOLIDAYS

1. CONSTRUCTION TRAILER: NO CONSTRUCTION TRAILER IS PROPOSED TO BE USED ON THIS PROJECT ALL STORAGE WILL BE INSIDE GARAGE

2. **DEBRIX BOX:** DEBRIX BOX IS PROPOSED TO BE USED ON THIS PROJECT, SEE SITE PLAN SUBCONTRACTING OF DEBRIX HAULING IS PROHIBITED 3. PARKING - ON SITE PARKING OR STAGING SHALL NOT BLOCK SIDEWALK OR USE CITY STREET

4. TRUCK TRAFFIC ISSUES - N/A

5. SANITARY FACILITIES: WE PLAN ON RENTING PORTA POTTY. SEE SITE PLAN

GREEN HALO TRACKING #:

6. CLEAN UP AREA: WE WILL SET UP CLEANING AREA IN FRONT OF

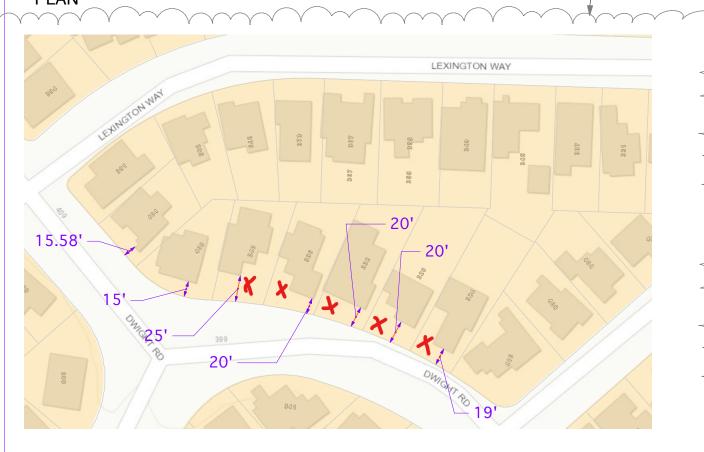
WHEN ON SITE CLEANING OF EQUIPMENT IS REQUIRED FOR CEMENT FORMS AND TRUCKS,

PAINT BRUSHES. PLASTERING TOOLS, AND SUCH, THEN A CLEAN-UP AREA MUST BE SPECIFIED AND POSTED A SIGN. THIS AREA MUST NOT BE LOCATED BENEATH ANY TREE'S CANOPY OR IN ANY PROPOSED PLANTING AREA. RUN OFF FROM THE CLEAN UP AREA

CAN BE CONTAINED BY PROVIDING A TEMPORARY BASE OF WOOD CHIPS OR OTHER NATURAL ABSORBENT MATERIAL TO BE DISPOSED OF OFF SITE

7. CONSTRUCTION MATERIAL STORAGE: ALL MATERIAL STORAGE WILL BE LOCATED IN EXISTING GARAGE. IF ANY ADDITIONAL STORAGE AREA IS REQUIRED, IT SHALL NOT BE LOCATED WITHIN THE DRIP LINES OF ANY TREES.

CONSTRUCTION DEBRIS WILL BE MANAGED SEPARATED AND DECONSTRUCTED CLEAN UP AREA & DEBRIS BOX IS SHOWN ON SITE



neigborhood map

AVERAGE SETBACK **CALCULATION:** (15.58+20+20+20+19): 5 = 18.916we propose to use 20' front setback





MARIA BARMINA **DESIGNER**

5753 GREENRIDGE ROAD CASTRO VALLEY CA 94552 T: 650.704.4501 mbarmina@yahoo.com



RESID

SITE PLAN, neigborhood

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DESCRIP. PLAN CHECK COMMENTS

340 DWIGHT
BURLINGAMI
APN#: 029-192

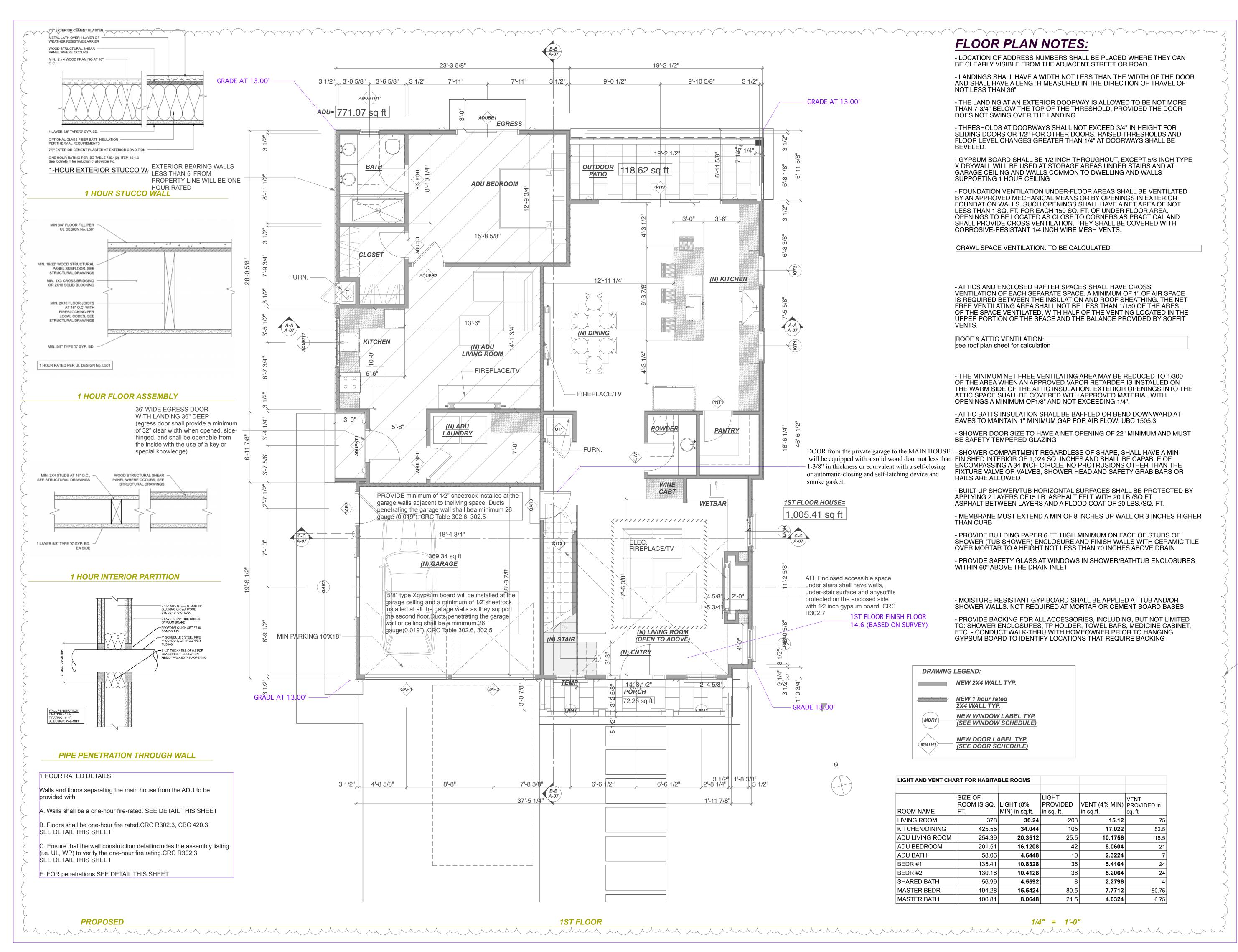
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6/2/25

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DATE PRINTED:



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PACH ROUP SEMBLY, 1
HOUR FLOOR
ASSEMBLY, 1
HOUR
INTERIOR

CLIENT NAME:

PARTITION

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE REV # DESCRIP.

2025/01/29 REV1 PLAN CHECK COMMENTS

DRAWN BY:

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MVB

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SHEET NUMBER:

A - 02





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PRIVATE RESIDENCE

2ND FLOOR

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

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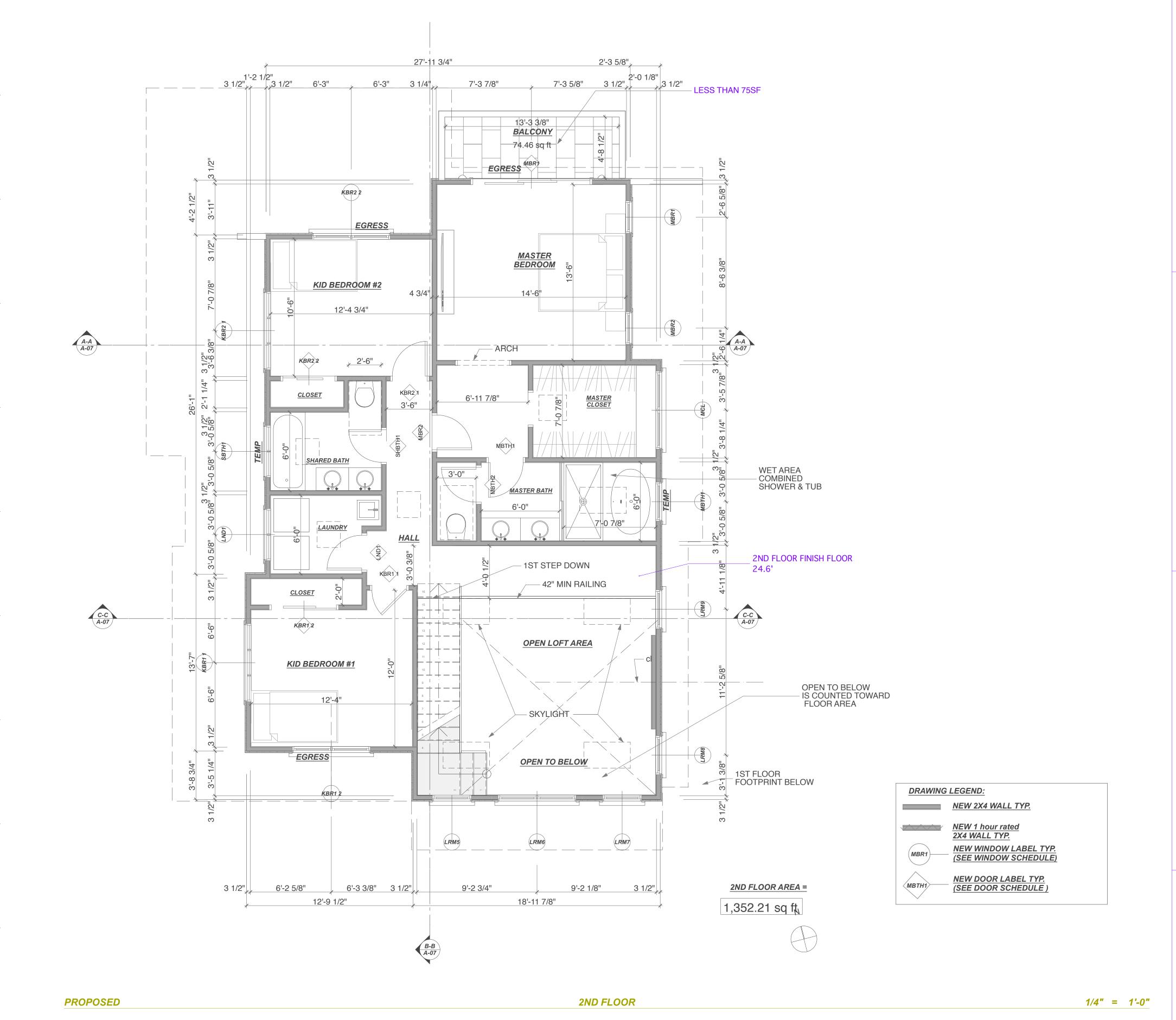
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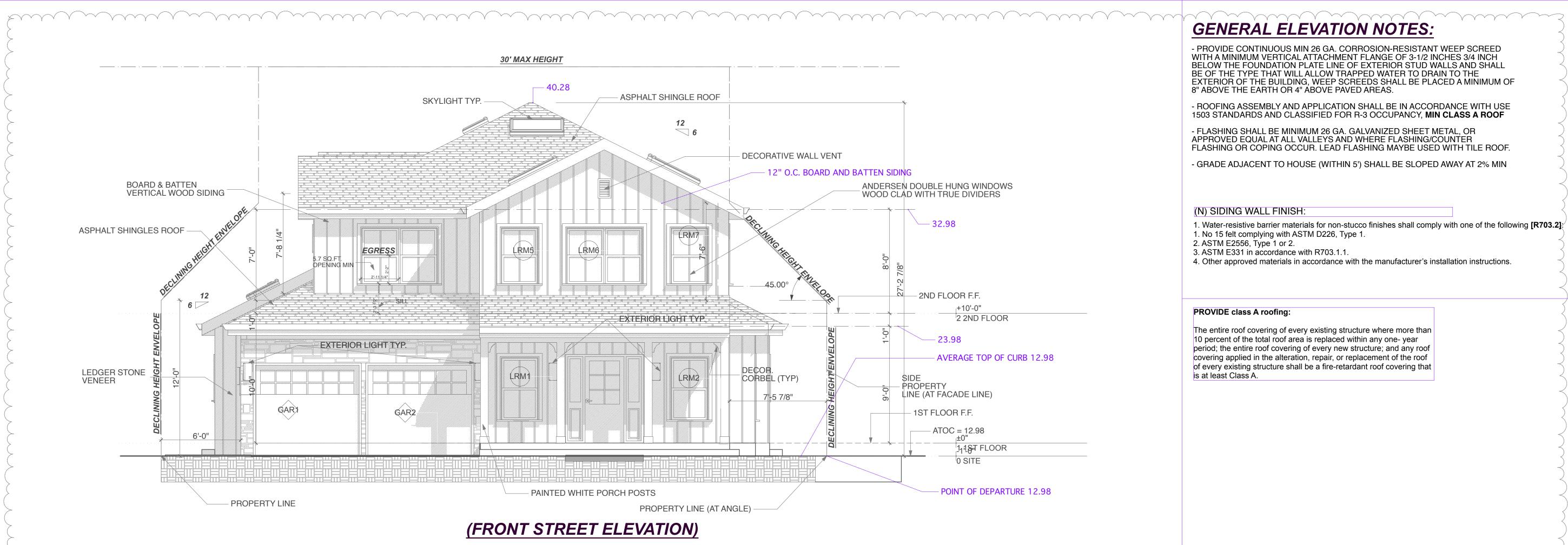
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DATE PRINTED: 7/9/25

SHEET NUMBER:

4-03





ELEV S

PROPOSED

- 30' MAX BUILDING HEIGHT ASPHALT SHINGLE ROOF EXTERIOR LIGHT TYP. +10'-0" 2 2ND FLOOR PROPERTY LINE PAT FACADE LINE 8'-6 5/8" EXTERIOR LIGHT TYP. PROPERTY LINE AT FACADE LINE TOC -1118 TFLOOR

ELEV N PROPOSED 1/4" = 1'-0"

- PROVIDE CONTINUOUS MIN 26 GA. CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES 3/4 INCH BELOW THE FOUNDATION PLATE LINE OF EXTERIOR STUD WALLS AND SHALL BE OF THE TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING, WEEP SCREEDS SHALL BE PLACED A MINIMUM OF 8" ABOVE THE EARTH OR 4" ÁBOVE PAVED AREAS.

- ROOFING ASSEMBLY AND APPLICATION SHALL BE IN ACCORDANCE WITH USE 1503 STANDARDS AND CLASSIFIED FOR R-3 OCCUPANCY, **MIN CLASS A ROOF**

- FLASHING SHALL BE MINIMUM 26 GA. GALVANIZED SHEET METAL, OR APPROVED EQUAL AT ALL VALLEYS AND WHERE FLASHING/COUNTER FLASHING OR COPING OCCUR. LEAD FLASHING MAYBE USED WITH TILE ROOF.

- GRADE ADJACENT TO HOUSE (WITHIN 5') SHALL BE SLOPED AWAY AT 2% MIN

(N) SIDING WALL FINISH:

- 1. Water-resistive barrier materials for non-stucco finishes shall comply with one of the following [R703.2]
- 1. No 15 felt complying with ASTM D226, Type 1. 2. ASTM E2556, Type 1 or 2.
- 3. ASTM E331 in accordance with R703.1.1.
- 4. Other approved materials in accordance with the manufacturer's installation instructions.

PROVIDE class A roofing:

1/4" = 1'-0"

POINT OF DEPARTURE 12.98

The entire roof covering of every existing structure where more than 10 percent of the total roof area is replaced within any one- year period; the entire roof covering of every new structure; and any roof covering applied in the alteration, repair, or replacement of the roof of every existing structure shall be a fire-retardant roof covering that is at least Class A.

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ELEV S, ELEV N

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

REV # DESCRIP. 2025/01/29 REV1 PLAN CHECK COMMENT

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MVB

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RIVATE

O DWIGHT ROAD

ELEV E, ELEV W

CLIENT NAME:

__/R1\

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE REV # DESCRIP.

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SHEET NUMBER:

4-05



1/4" = 1'-0"

1/4" = 1'-0"



ELEV W

ELEV E

PROPOSED

PROPOSED



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PRIVATE RESIDENCE

UPPER ROOF PLN, LOWER ROOF PLAN, MATERIAL BOARD

CLIENT NAME:

—/R1\

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE REV # DESCRIP.

2025/01/29 REV1 PLAN CHECK COMMENTS

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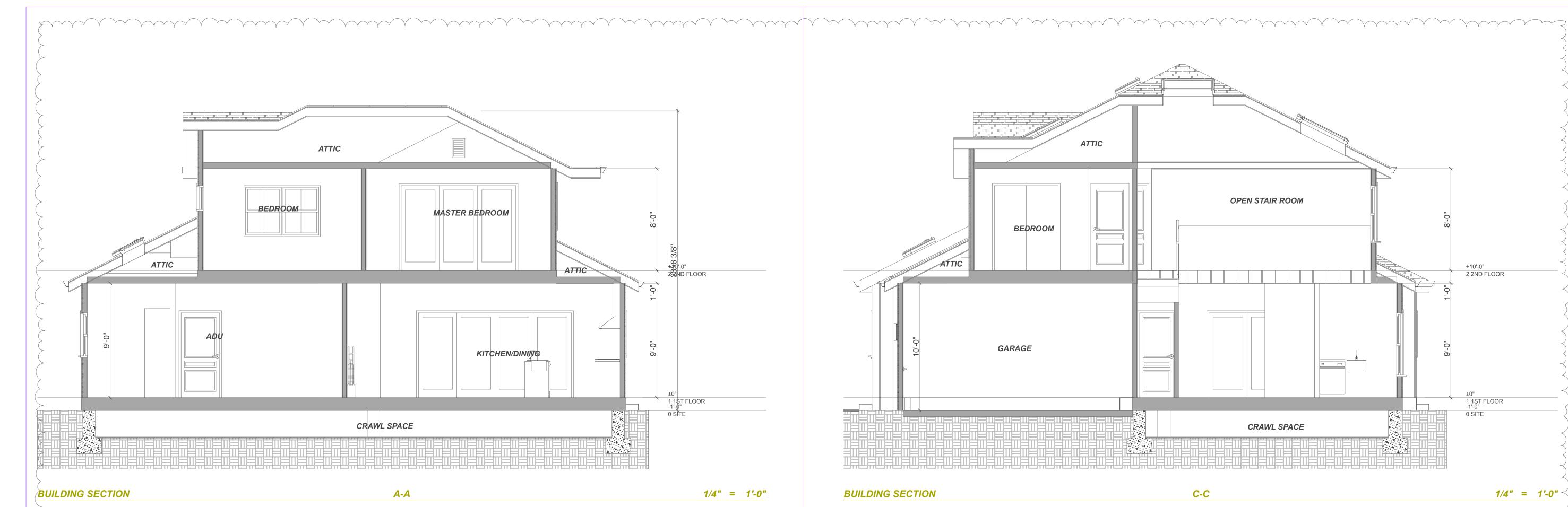
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1/29/25

SHEET NUMBER:

A-06





BEDROOM ATTIC +10'-0" 2 2ND FLOOR STAIR **DINING** LIVING ROOM ±0" 1 1ST FLOOR -1'-0" 0 SITE CRAWL SPACE

B-B

BUILDING SECTION

GENERAL NOTES:

FOR ALL MEMBER SIZES, FOOTING DETAILS AND FRAMING - REFER TO STRUCTURAL DRAWINGS

- INSULATION SHALL BE APPLIED IN ACCORDANCE WITH T-24 REPORT AND MANUFACTURER'S INSTRUCTIONS

CEILING R VALUE - R30 WALL R VALUE - R-15 CRAWL SPACE /floor R VALUE - R-19 REFER TO TITLE 24 REPORT

PER TITLE 24 U-factor shall be 0.3 and SHGC shall be 0.23

1/4" = 1'-0"

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PRIVAT RESID

A-A, B-B, C-C

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

REV # DESCRIP. 2025/01/29 REV1 PLAN CHECK COMMENTS

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MVB

SCALE AS NOTED

DATE PRINTED:

7/9/25

DOUBLE HUNG WINDOWS BY ANDERSEN 400 SERIES

TILT-WASH DOUBLE-HUNG WINDOV

TUSCANY SERIES V400

COLOR DARK BRONZE

VINYL WINDOWS WITH TRUE DIVIDERS



EXTERIOR DOORS BY ANDERSEN VINYL WITH TRUE DIVIDER DARK BRONZE



SKYLIGHTS BY VELUX: WHITE FRAME



PROPOSED MATERIAL BOARD

ADU ENTRANCE DOOR



FRONT VIEW RENDERING





GARAGE WALL STONE VENEER:



Spring Creek Gray Cement Standard Primary Wall Tiles

by AIRSTONE >

- Light enough to glue to drywall No grouting or mortar joints; stones fit precisely toget
- Simply apply adhesive to back of stone and press to

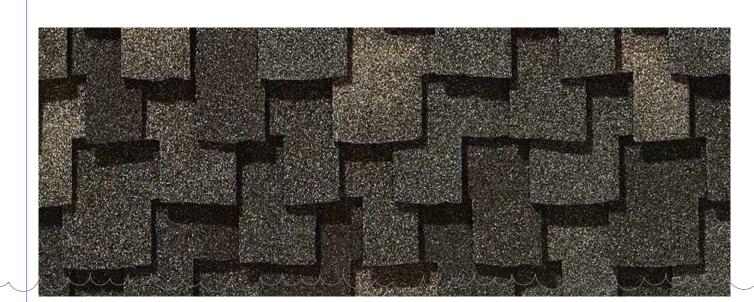
WALL: **BOARD & BATTEN VERTICAL SIDING** COLOR - BM BALLET WHITE 12" O.C.



ROOFING MATERIAL ASPHALT SHINGLES COLOR AND MANUFACTURER

CERTAINTEED

- Presidential TL AR - Autumn Blend



ROOF EDGE FACIA WOOD PAINTED WHITE

EXTERIOR LIGHTS:

☐ Hayward 10PM ☐ 94541 What can we help you find today?

/ Exterior Doors / Front Doors / Fiberglass Doors / Fiberglass Doors With Glass

Faux Pivot 64 in. x 80 in. 6-Lite Right-Hand/Inswing Clear Glass

Baby Grand Stain Fiberglass Prehung Front Door w/DSL

GUTTER METAL PAINTED TO MATCH WINDOW FRAME

RESERVED **FOR STAMP**

0 DAYS 9 HRS 11 MIN 21 SEC

Limit 250 per order

SPECIAL \$4997

Fixture Color/Finish: Black (11"H)

Pickup at Hayward

355 available

FRONT DOOR (FIBERGLASS IMITATION WOOD)

⇔ Share Prin

Ship to Store

APPROVAL Modern elegant wall sconce enhances your exterior decor BARMINA
DESIGN

> MARIA BARMINA **DESIGNER**

5753 GREENRIDGE ROAD CASTRO VALLEY CA 94552 T: 650.704.4501 mbarmina@yahoo.com

GARAGE DOOR (STEEL DOOR IMITATION WOOD)

, (E) EAST ELEVATION, SITE PLAN

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

REV # DESCRIP. PLAN CHECK COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED: 7/9/25

SHEET NUMBER:

A-08

ID	ROOM NAME	DOOR TYPE	MANUF	FACTURER	W x H Size	2D Symbol	3D Front View	GLAZING	FRAME MATERIAL	HARDWARE/ LOCK	THRESHOLD	NOTES:
ADUBR1	ADU BEDROOM	SLIDER	TO BE SE	ELECTED	6'-0"x6'-8"		0					
ADUBR2	ADU BEDROOM	SWING			3'-0"x6'-8"							
ADUBTH1	ADU BATH	SWING			2'-6"x6'-8"							
ADUCL1	ADU CLOSET	SWING			2'-6"x6'-8"							
ADUENT1	ADU ENTRY	SWING			3'-0"x6'-8"							
ADULND1					3'-0"x6'-8"							
ENT1	ENTRY	SWING WITH SIDE LIGHTS			3'-0"x6'-8"							
GAR1	GARAGE	GARAGE OVERHEAD DOOR			8'-0"x7'-0"							
GAR2	GARAGE	GARAGE OVERHEAD DOOR			8'-0"x7'-0"					1	ORS TO CALLED GLAS	5
GAR2	GARAGE	SWING			3'-0"x6'-8"					ac 00	EDG	
GAR3	GARAGE	SWING			2'-8"x6'-8"				(3)	ASMPE		
KBR1 1	KID BEDROOM	SWING			2'-8"x6'-8"				ALLIVE			
KBR1 2	KID BEDROOM	SLIDER			5'-0"x6'-8"				, hi			
KBR2 1	KID BEDROOM	SWING			2'-8"x6'-8"							
KBR2 2	KID BEDROOM	SLIDER			4'-0"x6'-8"							
		SLIDER			12'-0"x6'-8"							
LND1	LAUNDRY				2'-8"x6'-8"							
	MASTER BEDROOM				9'-0"x6'-8"							
	MASTER BEDROOM MASTER BATH	SWING			2'-8"x6'-8" 2'-8"x6'-8"							
		SWING			2'-8"x6'-8"							
		SWING			2'-8"x6'-8"							
	PANTRY	SWING			2'-8"x6'-8"							
		SWING			2'-6"x6'-8"							
STCL1	STAIR CLOSET	SWING			2'-8"x6'-8"							
ŪT1	UTILITY	SWING			2'-0"x6'-8"	1						
UT1	UTILITY	SWING	,		2'-4"x6'-8"							

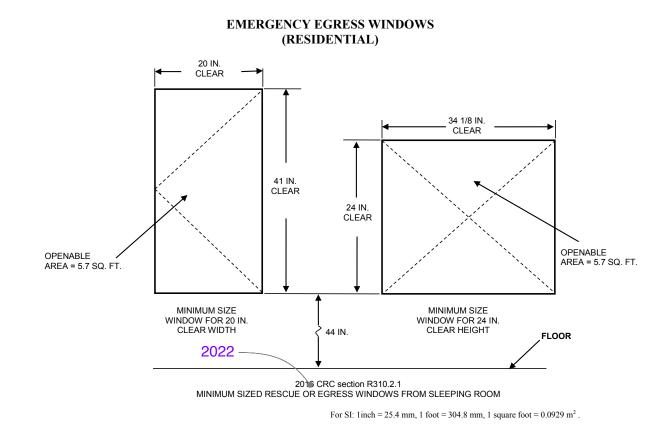
CONTRACTOR TO VERIFY ALL SIZES AND OPENING DIRECTION PRIOR TO ORDERING

2022 CODE TO BE APPLIED TO ALL WORK

GENERAL DOOR SCHEDULE NOTES:

- 1. All Exterior doors to be weather-stripped per Title 24 energy requirements.
- 2. All exterior glazed doors to be tempered, factory finished double glazed.
- 3. All doors between heated and unheated areas shall be weatherstripped per energy calculations.
- 4. For swing of all doors see provided floor plans.
- 5. Shop drawings to be provied to the designer prior to placement of order.
- 4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.

The contractor is to review all glazing prior to ordering. refer to SECTION R308 GLAZING.



Basement, habitable attics and every sleeping room shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public alley, yard or exit court. The emergency door or window shall be operable from the inside to provide a full, clear opening without the use of separate tools.

The intent of this section is that windows be available so that rescue can be effected from the exterior or, alternatively, by which one may escape from that window to the exterior of the building without having to travel through the building itself.

• Escape or rescue windows shall have a minimum net clear openable area of **5.7 square feet**. (Except at grade floor, shall have a minimum net clear opening of 5 square feet).

• The minimum net clear openable height dimension shall be 24 inches.
• The minimum net clear openable width dimension shall be 20 inches.
• The minimum net clear openable width dimension shall be 20 inches.
• Finished sill height shall hot be more than 44 inches above the floor.

top of stair surface

ROOM NAME

ADUKIT1 ADU KITCHEN

GARAGE

KID BEDROOM 1

KID BEDROOM 2

KID BEDROOM 1

KID BEDROOM 2

KID BEDROOM 2

KID BEDROOM 2

KITCHEN

KITCHEN

LAUNDRY

LIVING ROOM

MASTER BATH

MASTER CLOSET

SHARED BATH

MASTER BEDROOM DOUBLE HUNG

MASTER BEDROOM DOUBLE HUNG

TYPE/

OPERATION

DOUBLE HUNG

DOUBLE HUNG

DOUBLE HUNG

DOUBLE HUNG

DOUBLE HUNG

DOUBLE HUNG

OUBLE HUNG

DOUBLE HUNG

DOUBLE HUNG

MANUFACTURER

O BE SELECTED

5'-0"x3'-6" 3'-2"

6'-0"x2'-0" 4'-8"

3'-0"x4'-6" 2'-2"

3'-0"x4'-0" 2'-8"

3'-0"x4'-0" 2'-8"

4'-0"x2'-0" 4'-8"

6'-0"x2'-0"

3'-0"x4'-6"

6'-0"x2'-0"

3'-0"x3'-6"

3'-0"x3'-6"

3'-0"x5'-0"

3'-0"x5'-0"

3'-0"x5'-0"

3'-0"x5'-0"

3'-0"x4'-6"

3'-0"x4'-6"

3'-0"x4'-6"

2'-6"x3'-6"

2'-6"x3'-6"

3'-0"x4'-6"

5'-0"x4'-6"

6'-0"x4'-6" 2'-2"

3'-0"x4'-6" 2'-2"

"Garage doors shall be tested in accordance with either ASTM E 330 or ANSI/DASMA 108, and shall meet the acceptance criteria ANSI/DASMA

Tempered glass to be provided:

a) Glass in any door;

b) Glass in any kind of shower, bathtub area, hot tub, steam room, sauna or whirlpool area where the bottom edge of the glass is less than 60 inches above a standing surface and drain outlet;

c) Glass in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom edge of the glazing is less than 60" above a walking surface:

- d) Glass in fixed or operable panels that meets all of the following conditions:
- * Bottom edge is less than 18" above floor
- * Top edge is greater than 36" above floor

 * Total area of globa is greater than 0 ag, ft. (430)
- * Total area of glass is greater than 9 sq. ft. (1296 sq.in.)
 * One or more walking surfaces within 36" horizontally of the glazing;

The glazing is within 5 feet of a swimming pool or spa deck area;

e) Glass in walls used as a barrier for indoor or outdoor swimming pools or

spas when both of the following exist:

The bottom edge of the glazing is less than 60" above a pool side of the glazing

f) Glass in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60" above a walking surface

Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort" per the 2022 CRC R311.2.

WINDOW SCHEDULE

FRAME

TEMPERED

EGRESS

EGRESS

NOTES:

Window head

SEE SHEET T-24 FOR MIN. ENERGY VALUES
OF FENESTRATION
DO NOT REMOVE LABELS BEFORE PROJECT
IS SIGNED OFF

GENERAL WINDOW SCHEDULE NOTES:

- 1. All windows to be weather-stripped per Title 24 energy requirements.
- 2. All hardware and screen frames to match window frame fin. and color.
- 3. All windows to be factory finished with double glazed LOW-E glass unless otherwise noted.
- 4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.
- 5. For window operation see provided exterior elevations & window schedule.
- 6. Shop drawings to be provied to the designer/homeowner prior to placement of order.

The contractor is to review all glazing prior to ordering. Refer to SECTION R308.4 GLAZING.

RESERVED FOR STAMP OF APPROVAL



MARIA BARMINA DESIGNER

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PRIVATE RESIDENCE

DOOR SCHEDULE, WINDOW SCHEDULE,

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE REV # DESCRIP.

2025/01/29 REV1 PLAN CHECK COMMENTS

DWIGHT

DRAWN BY:

MVB

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2022 CALIFORNIA GREEN BUILDING CODE RESIDENTIAL CHECKLIST

New Residential Buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing Residential Buildings which increase the building's conditioned area, volume, or size. These requirements only apply to the specific area of addition or alteration.

2022 CGC §301.1.1

Permit Number: ______Project Address: <u>340 DWIGHT ROAD, BURLINGAME</u>

Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.

Green Building Measure					
ENERGY EFFICIENCY(2022 CEC §150.0)					
(2022 California Building Energy Efficiency Standards)					
2022 Energy Code performance (CF1R) compliance documentation must be provided digitally in 8-1/2" X 11" format, and, must be replicated on the plans. 2022 CEC §150.1	GN1 & GN2				
SITE DEVELOPMENT (2022 CGC §4.106)					
Plans shall indicate how Grading and Paving will prevent surface waterflows from entering buildings. Exception: Projects that do not alter the drainage path. 2022 CGC §4.106.3					
Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. 2022 CGC §4.106.4					
INDOOR WATER USE (2022 CGC §4.303)					
Standards for Plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> . 2022 CGC §4.303.3	GN1 & GN2				
OUTDOOR WATER USE (2022 CGC §4.304)					
Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWELO) checklist. 2022 CGC §4.304.1					
ENHANCED DURABILITY AND REDUCED MAINTENANCE (2022 CGC §4.406)					
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2022 CGC §4.406.1	GN1 & GN2				
CONSTRUCTION WASTE MANAGEMENT (2022 CGC §4.408)					
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2022 CGC §4.408.1	A-01				

Green Building Measure		Plan S	
		and D	eta
BUILDING MAINTENANCE AND OPERATION (2022 CGC §4.410)			
An operation and maintenance manual will be provided at final inspection. 2022 Where 5 or more multi-family dwelling units are constructed on a building site, provaccessible areas that serve all buildings on site and are identified for the depositing, collection of nonhazardous materials for recycling, including paper, corrugated card plastics, organic waste and metals, or, meet local ordinance, if more restrictive. 202	storage, and board, glass,	GN1	& G
FIREPLACES (2022 CGC §4.503)			
Any installed gas fireplaces will be direct-vent sealed-combustion type. Any installed pellet stove shall comply with US EPA NSPS emission limits. 20 GAS IS NOT ALLOWED FOR NEW CONSTRUCTION BASED ON BURLINGAME'S REACH C	22 CGC 4.503.1	GN1	& G
POLLUTANT CONTROL (2022 CGC §4.504)			
At the time of rough installation, during storage on the construction site, and until f of the HVAC equipment, all duct and other related air distribution component opening covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing	s will be	GN1 8	& GI
	CGC §4.504.1	^	
Adhesives, sealants, and caulks used on the project shall follow local and regional air or air quality management district standards. 2022CG	pollution GC §4.504.2.1		
Paints and coatings will comply with VOC limits. 2022C	GC §4.504.2.2		
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and copercent VOC by weight of product limits, Regulation 8, Rule 49. 2022 C	mply with GC §4.504.2.3		
Documentation shall verify compliance for VOC finish materials. 2022 CG	GC §4.504.2.4		
Carpet systems will meet CALGREEN testing and product requirements. 2022 CG	GC §4.504.3	i	
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring with the California Green Building Code requirements.	looring will CGC §4.504.4		
Hardwood plywood, particleboard, and medium density fiberboard composite wood shall comply with the low formaldehyde emission standards. 2022 (products CGC §4.504.5		
INTERIOR MOISTURE CONTROL (2022 CGC §4.505)			
A capillary break will be installed if a slab on grade foundation system is used. 2022 Co	GC §4.505.2.1		
Building materials with visible signs of water damage will not be installed. Wall and fl will not be enclosed when the framing members exceed 19% moisture content. Mois will be verified prior to finish material being applied. Replace wet insulation products dry before enclosure.	sture content		
INDOOR AIR QUALITY AND EXHAUST (CGC §4.506)		i	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the will be provided in every bathroom (bathtub, shower, or shower/tub combo). 2019 C Unless functioning as a component of a whole-house ventilation system, fans must b by a humidity control.	GC §4.506.1	 	

2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. VERIFICATION (2022 CGC §703) Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements. Responsible Designer's Declaration Statement I hereby certify that this project has been designed to meet the requirements of the 2022 Green Building Code. Name: MARIA BARMINA Address: 5753 GREENRIDGE ROAD City/State/Zip Code: CASTRO VALLEY CA 94552 Signature: Date:	Green	Building Measure	Plan Sheet and Details
selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual D-2016 or equivalent. VERIFICATION (2022 CGC §703) Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements. Responsible Designer's Declaration Statement I hereby certify that this project has been designed to meet the requirements of the 2022 Green Building Code. Name: MARIA BARMINA Address: 5753 GREENRIDGE ROAD City/State/Zip Code: CASTRO VALLEY CA 94552 Signature: Date: 1/29/25 Contractor's Declaration Statement I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address: Address:	ENVIRONMEN	ITAL COMFORT (2022 CGC §4.507)	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements. Responsible Designer's Declaration Statement I hereby certify that this project has been designed to meet the requirements of the 2022 Green Building Code. Name: MARIA BARMINA Address: 5753 GREENRIDGE ROAD City/State/Zip Code: CASTRO VALLEY CA 94552 Signature: Date: I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address:	selected using the following methods: 2 Manual J-2016 or equal; Duct system equivalent; Select heating and cooling	Heat Loss/Heat Gain values in accordance with ANSI/ACCA as are sized according to ANSI/ACCA 1, Manual D-2016 or equipment in accordance with ANSI/ACCA 3, Manual S-	GN1 & GN2
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City/State/Zip Code: CASTRO VALLEY CA 94552 Signature: Date: 1/29/25 Contractor's Declaration Statement I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address:	Name: MARIA BARMINA		
Signature: Date: 1/29/25 Contractor's Declaration Statement I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address:	Address: 5753 GREENRIDGE RO	AD	
Contractor's Declaration Statement I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address:	City/State/Zip Code: CASTRO VAL	LEY CA 94552	
Contractor's Declaration Statement I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address:	Signature:	Date:	
I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the Green Building Code. Name: Address:	A	1/29/25	
Green Building Code. Name: Address:	Contractor's Declaration Statemen	t	
Address:	· · · · · · · · · · · · · · · · · · ·	ller, that this project will be constructed to meet the requiren	nents of the 202
	Name:		
City/State/Zip Code:	Address:		
	City/State/Zip Code:		
Signature: Date:	Signature:	Date:	





MARIA BARMINA DESIGNER

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PRIVATE RESIDENCE

MANDATORY MEASURES, (E) EAST ELEVATION

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE REV # DESCRIP.

2025/01/29 REV1 PLAN CHECK COMMENTS

DRAWN BY:

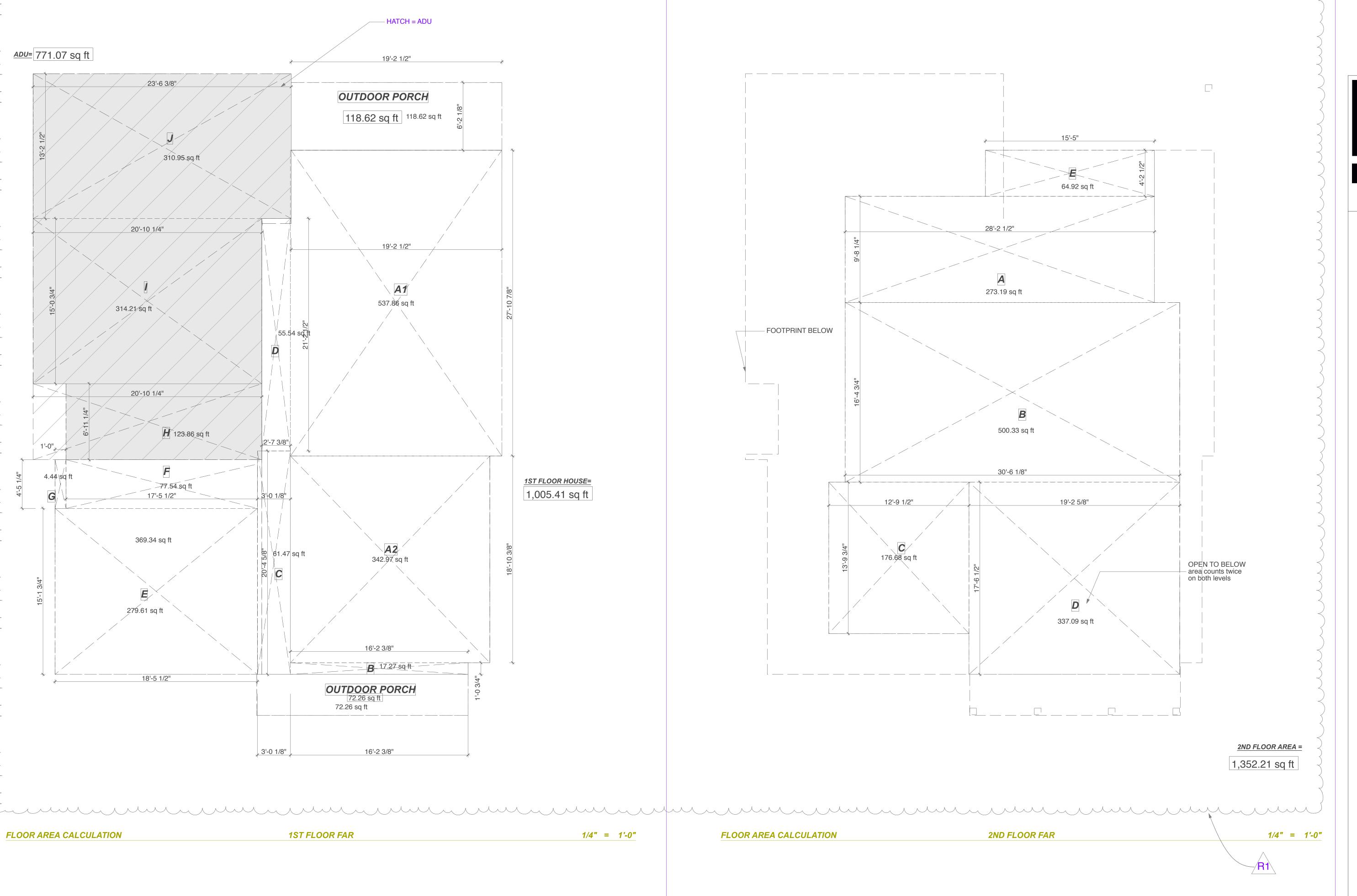
MVB

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PRIVATE RESIDENCE

340 DWIGHT ROAD

1ST FLOOR FAR, 2ND FLOOR FAR

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

DATE REV # DESCRIP.

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FAR

GREEN BUILDING NOTES:

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.
- CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS. WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.
- NEW CONSTRUCTION SHALL COMPLY WITH CALGREEN SECTION 4.106.4.1 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.
- WHERE LOCAL ENFORCING AGENCY HAS DETERMINED EV CHARGING AND INFRASTRUCTURE ARE NOT FEASIBLE. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT

ADDITIONAL PARKING FACILITIES.

FOR EACH DWELLING UNIT. INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

- ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATERCONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.
 - THE EFFECTIVE FLUS H VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE 17.
 - SPECIFICATION FOR TANK-TYPE TOILETS. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE
 - SPECIFICATION FOR SHOWERHEADS. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL 18. BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD
- THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
- RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER 20. IS MORE STRINGENT.
- NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED. ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.
 - SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE LOCAL ENFORCING AGENCY.
 - IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT 22. OR SALVAGE FOR FUTURE USE OR SALE.
 - SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
 - IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
 - IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND
 - DEMOLITION WASTE GENERATED. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
 - A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE LOCAL ENFORCING AGENCY. SEE CALGREEN 4.408.3 FOR FURTHER DETAILS

- AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION
- AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE LOCAL ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 25. 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.
- ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ENFORCING AGENCY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.
- AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE 14. CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER 26. RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM
 - ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.
 - AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN 27. UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER EQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
 - ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT- HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.
 - AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520: AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE LOCAL ENFORCING AGENCY.
 - ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS
 - PROGRAM. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
 - NSF/ANSI 140 AT THE GOLD LEVEL. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.
 - ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING

- PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD
- (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM). CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE
- VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE LOCAL ENFORCING AGENCY.
- CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:
- A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING: A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR
 - RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT

DOCUMENTATION SHALL BE PROVIDED TO THE LOCAL ENFORCING BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4. OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: FANS SHALL BE ENE RGY STAR COMPLIANT AND BE
- DUCTED TO TERMINATE OUTSIDE THE BUILDING. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL HUMIDITY CONTROLS SHALL BE CAPABLE OF
 - ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
- THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE

HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE

- OR METHODS. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.
- IF REQUIRED BY THE LOCAL ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE LOCAL ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
- DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE. THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST

TABLE 4.504.1 TABLE 4.504.3 ADHESIVE VOC LIMIT^{1, 2} VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2, 3} Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	VOC LIMIT	Less Water and Less Exempt Com			
Indoor carpet adhesives	50	COATING CATEGORY	VOC L		
Carpet pad adhesives	50	Flat coatings	50		
Outdoor carpet adhesives	150	Nonflat coatings	100		
Wood flooring adhesive	100	Nonflat-high gloss coatings	150		
Rubber floor adhesives	60	SPECIALTY COATINGS			
Subfloor adhesives	50	Aluminum roof coatings	400		
Ceramic tile adhesives	65	Basement specialty coatings	400		
VCT and asphalt tile adhesives	50	Bituminous roof coatings	50		
Drywall and panel adhesives	50	Bituminous roof primers	350		
Cove base adhesives	50	Bond breakers	350		
Multipurpose construction adhesives	70	Concrete curing compounds	35		
Structural glazing adhesives	100	Concrete/masonry sealers	10		
Single-ply roof membrane adhesives	250	Driveway sealers	50		
Other adhesives not specifically listed	50	Dry fog coatings	15		
SPECIALTY APPLICATIONS		Faux finishing coatings	35		
PVC welding	510	Fire resistive coatings	35		
CPVC welding	490	Floor coatings	10		
ABS welding	325	Form-release compounds	25		
Plastic cement welding	250	Graphic arts coatings (sign paints)	50		
Adhesive primer for plastic	550	High temperature coatings	42		
Contact adhesive	80	Industrial maintenance coatings	25		
Special purpose contact adhesive	250	Low solids coatings ¹	12		
Structural wood member adhesive	140	Magnesite cement coatings	45		
Top and trim adhesive	250	Mastic texture coatings	10		
SUBSTRATE SPECIFIC APPLICATIONS		Metallic pigmented coatings	50		
Metal to metal	30	Multicolor coatings	25		
Plastic foams	50	Pretreatment wash primers	42		
Porous material (except wood)	50	Primers, sealers, and undercoaters	10		
Wood	30	Reactive penetrating sealers	350		
Fiberglass	80	Recycled coatings	25		
If an adhesive is used to bond dissimilar substra	ntes together, the adhesive	Roof coatings	50		
with the highest VOC content shall be allowed.	wes together, the danesive	Rust preventative coatings	250		
For additional information regarding methods to specified in this table, see South Coast Air Quality 1168.		Shellacs Clear Opaque	730 550		
TABLE 4.504.2		Specialty primers, sealers and undercoaters	10		
SEALANT VOC LIMIT			250		
		Stains			

Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural Nonporous Porous	250 775
Modified bituminous	500
Marine deck	760
Other	750

Grams of VOC per Liter of Coating,

COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ¹	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	 20
Clear Opaque	730 550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
	100
Traffic marking coatings Tub and tile refinish coatings	420
-	
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

2. The specified limits remain in effect unless revised limits are listed in

3. Values in this table are derived from those specified by the California Air

Resources Board, Architectural Coatings Suggested Control Measure.

February 1, 2008. More information is available from the Air Resources Board.

subsequent columns in the table

TABLE 4.504.5 FORMALDEHYDE LIMITS¹

Maximum Formaldehyde Emissions in Parts per Million						
PRODUCT CURRENT LIMIT						
Hardwood plywood veneer core	0.05					
Hardwood plywood composite core	0.05					
Particleboard	0.09					
Medium density fiberboard	0.11					
Thin medium density fiberboard ² 0.13						
Values in this table are derived from those sy Resources Board, Air Toxics Control Meas tested in accordance with ASTM E1333. Fo California Code of Regulations, Title 17, Sect	our for Composite Wood as or additional information, see ions 93120 through 93120.12.					
2. Thin medium density fiberboard has a maximum	n thickness of $\frac{5}{16}$ inch (8 mm).					

BARMINA DESIGN

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CLIENT NAME:

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REVISIONS:

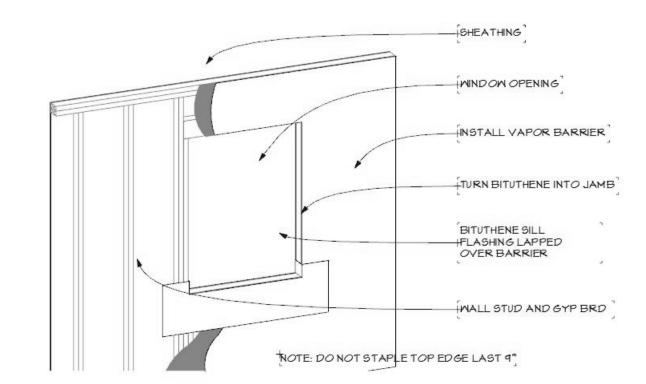
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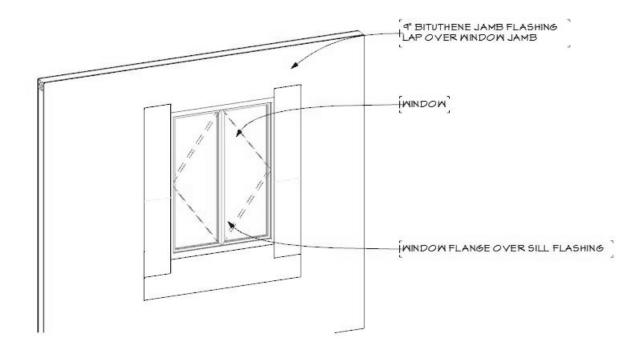
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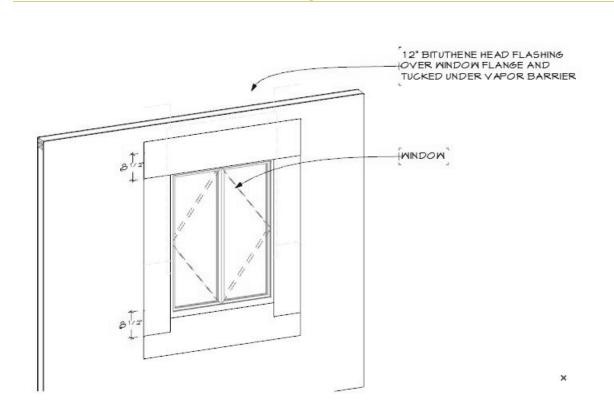
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Window flashing detail STEP 1



widow flashing detail STEP 2



window flashing step 3

FLASHING NOTES (R703.4):

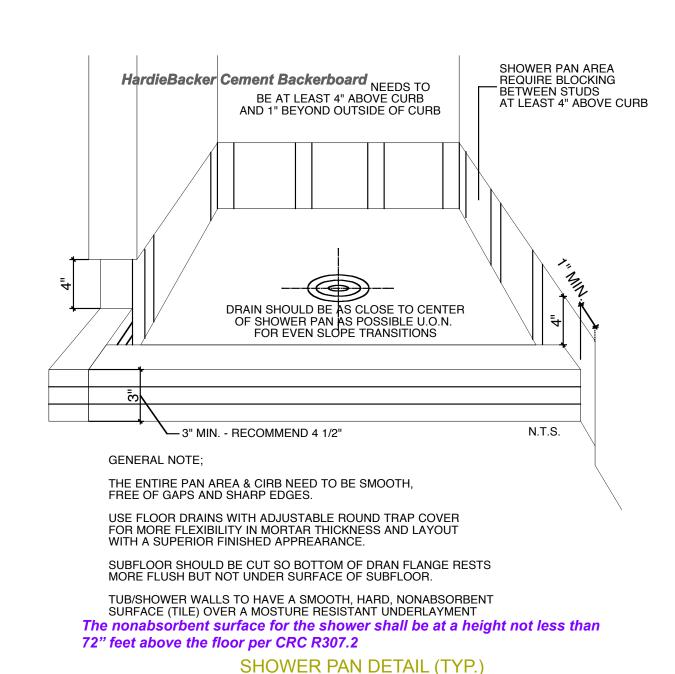
APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH AAMA 714. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING

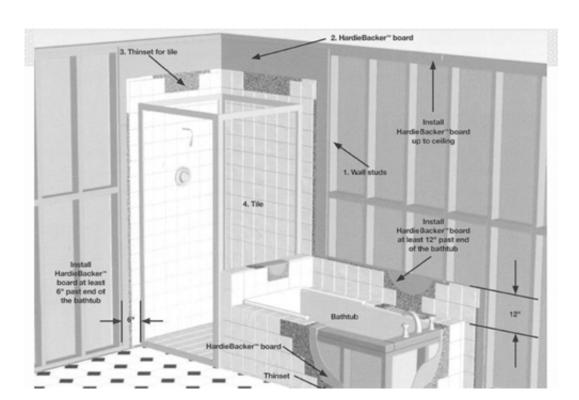
- a. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.4.1.
- b. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
- c. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- d. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- e. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
- f. AT WALL AND ROOF INTERSECTIONS.
- g. AT BUILT-IN GUTTERS.

R703.4.1 FLASHING INSTALLATION AT EXTERIOR WINDOW AND DOOR OPENINGS

FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO A WATER-RESISTIVE BARRIER COMPLYING WITH SECTION 703.2 FOR SUBSEQUENT DRAINAGE. AIR SEALING SHALL BE INSTALLED AROUND ALL WINDOW AND DOOR OPENINGS ON THE INTERIOR SIDE OF THE ROUGH OPENING GAP. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

• THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES.





HARDIEBACKER CEMENT BOARD IN BATH

EXHAUST FAN NOTES:

PROVIDE local exhaust at all rooms with a tub, shower, spa or similar fixture) with a fan capable of exhausting a minimum of 50 C.F.M. CMC and Energy Code. Specify the fan on the plans, duct size and include the fan cut sheet. The fan must be listed at 3 sone or less for noise. The rating must be based on a Water Column of .25 or greater. See Manual Section 4.6.5, 4.6.7

PROVIDE kitchen hood vented directly to the outside exhausting a minimum of 100 C.F.M. CMC and Energy Code. Specify the fan on the plans, duct size and include the fan cut sheet. The fan must be listed at 3 sone or less for noise. The rating must be based on a Water Column of .25 or greater. Exception: If the fan exhausts in excess of 400 C.F.M, the 3 sone rating is not required. See Manual Section 4.6.5, 4.6.7, California Energy Code 150(o), ASHRAE 62.2

BUILDING:

- 1. PROVIDE APPROVED *TILE BACKER MATERIALS AND GYPBOARD* IN *BATHROOMS*:
 - A. NON-ABSORBENT FINISH MATERIAL MINIMUM 72" ABOVE THE STANDING SURFACE OF TUBS AND SHOWERS.
 - B. CEMENT, FIBER-CEMENT OR GLASS-MAT GYP BACKERS FOR ADHESIVE APPLICATION OF FINISH MATERIAL (TILE OF OTHER NONABSORBENT SHEET MATERIALS), OR PAINT (ABOVE 72"), INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITHIN SHOWER STALLS AND BATHTUB SURROUNDS.
 - C. WATER-RESISTANT GYP BOARD SHALL NOT BE USED WITHIN SHOWER STALLS, BATHTUB COMPARTMENTS OR OTHER WET OR HUMID AREAS, OR ON CEILINGS WITH JOISTS GREATER THAN 12" O.C..
 - WATER-RESISTANT GYP BACKERS FOR TILE OR PAINT PER
 - MANUFACTURER'S INSTRUCTIONS AT WATER CLOSET COMPARTMENTS.

 REGULAR GYP BOARD FOR TILE OR PAINT ON WALLS AND CEILINGS
 OTHER ABOVE.
- BEDROOM WINDOW FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED FLOOR TO WINDOW OPENING HEIGHT OF NOT BE MORE THAN 44". WINDOW SHALL HAVE 20" MIN. WIDTH BY 24" HEIGHT CLEAR OPENING AND OPENING AREA OF 5.7 SF.
- NFRC TEMPORARY LABELING ON *NEW WINDOWS* SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY.
- 4. DECK STAIRS:
- A. MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN (R311.7.5)
 - B. MINIMUM 36 INCH CLEAR WIDTH (R311.7.1)
- 5. LANDINGS/FLOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1-1/2 INCHES LOWER THAN THRESHOLD FOR OUT-SWINGING DOORS. CRC R311.3.
- 6. PROVIDE *ILLUMINATED STREET NUMBERS*. THE NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET, HAVING A CONTRASTING BACKGROUND AND HAVE A MINIMUM 1/2" STROKE BY 4-1/2" MINIMUM HEIGHT.

PLUMBING:

- 7. KITCHEN
 - A. DISHWASHERS SHALL BE CONNECTED WITH AN APPROVED DRAINAGE AIR GAP DEVICES LOCATED ABOVE THE FLOOD LEVEL RIM OF THE SINK. CPC 807.3
- B. NEWLY INSTALLED KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE (GRN 4.303.1.4.4). ALL EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF NECESSARY TO COMPLY WITH SB407 PLUMBING FIXTURES REPLACEMENT REQUIREMENTS.
- C. ALL PIPING 3/4" OR MORE IN DIAMETER AND ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES MUST BE INSULATED WITH MIN. 1-INCH THICK INSULATION [CNC 150.0(J)2]. EXISTING INACCESSIBLE PIPING DOES NOT REQUIRE INSULATION.
- 8. BATHROOM PLUMBING, GENERAL:
 - A. ALL PIPING 3/4" OR MORE IN DIAMETER AND ALL HOT WATER PIPES ASSOCIATED WITH A RECIRCULATION SYSTEM MUST BE INSULATED WITH MIN. 1-INCH THICK INSULATION. EXISTING INACCESSIBLE PIPING
 - DOES NOT REQUIRE INSULATION. CNC 150.0(J)2

 B. NEWLY INSTALLED PLUMBING FIXTURES SHALL BE WATER-CONSERVING IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE AND GREEN BUILDING STANDARDS. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH, SHOWERHEADS SHALL NOT EXCEED 1.8 GPM AND NEW LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. (CPC 407.2, 408.2 & 411.2) ALL EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF NECESSARY TO COMPLY WITH SB407 PLUMBING FIXTURES REPLACEMENT REQUIREMENTS.
- 9. BATHROOM PLUMBING, TOILETS & BIDETS:
 - TOILETS AND BIDETS REQUIRE A MINIMUM 15" OF CLEARANCE FROM THE CENTER LINE OF THE BOWL TO EACH SIDE, AND 24" OF CLEARANCE FROM THE FRONT EDGE OF THE BOWL (CPC 402.5). THE MAXIMUM FLOW RATE IS 1.28 GPF (CPC 403.2.1).
 - 3. LAVATORY SINKS REQUIRE A MIN. OF 24" FRONT CLEARANCE (CPC 402.5).
 - C. SHOWERS REQUIRE A MIN. 2" DRAIN AND TRAP (CPC TABLE 702.1).
 D. ALL SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQ.IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE (CPC 408.6).THE CURB MAY ENCROACH ON THESE SIZE REQUIREMENTS. ALL SURFACES SHALL BE WATERPROOF UP TO 72" ABOVE THE DRAIN INLET (CRC R307.2). THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MIN. 22" CLEAR EGRESS

OPENING FROM THE SHOWER (CPC 408.5)

- SAFETY GLASS (TEMPERED OR LAMINATED) IS REQUIRED FOR ALL GLASS SHOWER DOORS AND PARTITIONS AND FOR WINDOWS IN WALLS FACING THE TUB OR SHOWER AND LOCATED LESS THAN 60" ABOVE THE STANDING SURFACE OF THE TUB/SHOWER AND WITHIN 60" HORIZONTALLY (CRC R308.4.1&5).
- F. THE MAX. WATER TEMPERATURE TO A SHOWER OR TUB/SHOWER COMBINATION IS 120F. THE WATER HEATER THERMOSTAT CANNOT BE USED AS THE CONTROL FOR THIS TEMPERATURE. VALVES SHALL PROVIDE SCALD AND THERMAL SHOCK PROTECTION, AND BE PRESSURE-BALANCED, THERMOSTATIC, OR COMBINATION PRESSURE-BALANCED/THERMOSTATIC MIXING IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1. (CPC 408.3).
- 10. LAUNDRY:
 - CLOTHES WASHER STANDPIPES MUST BE 2" DIAMETER. THE WEIR OF THE TRAP MUST BE ROUGHED IN 6" ~ 18" ABOVE THE FLOOR; THE STANDPIPE MUST BE A MINIMUM OF 18" AND A MAXIMUM OF 30" ABOVE THE TRAP (CPC 804.1).

MECHANICAL:

- 11. KITCHEN:
 - A. KITCHEN EXHAUST IS REQUIRED TO HAVE A METAL, SMOOTH INTERIOR SURFACE DUCT FOR VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT IS NOT APPROVED. PROVIDE BACK DRAFT DAMPER. CMC 504.3
 - B. A LOCAL MECHANICAL EXHAUST SYSTEM SHALL BE INSTALLED IN EACH KITCHEN. THE DEMAND-CONTROLLED VENTILATION RATES SHALL BE 100 CUBIC FEET PER MINUTE MINIMUM AND CONTINUOUS VENTILATION RATES SHALL PROVIDE 5 AIR CHANGES PER HOUR AND A MAXIMUM SOUND RATING OF 3 SONES OVER RESIDENTIAL STOVES AND COOKTOPS WITHIN DWELLING UNITS. THE RANGE HOOD MUST VENT TO THE OUTSIDE. (CENC 150.0(O) AND ASHRAE-62.2 5.1)
 - C. A MECHANICAL PERMIT IS REQUIRED TO REPLACE A KITCHEN EXHAUST HOOD THAT INCLUDES AN OUTSIDE AIR VENT. THE VENT MUST TERMINATE ON THE BUILDING EXTERIOR AT LEAST 3 FT. FROM OTHER OPENINGS INTO THE BUILDING AND 3 FT. FROM THE PROPERTY LINE(CMC502.2.1).

12. BATHROOM:

- MECHANICAL VENTILATION IS REQUIRED IN ALL BATHROOMS WITH TUBS OR SHOWERS. THE FAN MUST MOVE A MINIMUM 50 CFM OF AIR AND BE SEPARATELY SWITCHED FROM THE LIGHTING. FANS THAT OPERATE CONTINUOUSLY CAN BE 20 CFM. THE DUCT MUST TERMINATE ON THE EXTERIOR NOT LESS THAN 3 FEET FROM OPENINGS INTO THE BUILDING (CMC 502.2.1).
- BATHS WITH NO TUB OR SHOWER (HALF BATHS) DO NOT REQUIRE MECHANICAL VENTILATION IF THEY ARE PROVIDED WITH A WINDOW AT LEAST 3 SQ. FT. HALF OF WHICH IS OPENABLE (CRC R303.3).

13. LAUNDRY:

- CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 SQ. IN. OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR (CMC 504.4.1).
- B. DRYER DUCTS MUST BE SMOOTH-WALLED METAL 4" DIAMETER AND NOT MORE THAN 14 FEET IN LENGTH, WITH AN ALLOWANCE OF 2 90° BENDS IN THAT 14 FT. DEDUCT 2 FT. FOR EACH ADDITIONAL 90 BEND IN EXCESS OF 2 (CMC 504.4.2.1).
- C. VENT POINT OF DISCHARGE SHALL BE OUTSIDE OF THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING AND 3 FEET FROM THE PROPERTY LINE.
- RAISE WATER HEATER TO 18" ABOVE THE GARAGE FLOOR. STRAP WATER HEATER WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. STRAP AT THE LOWER POINT SHALL BE INSTALLED 4 INCHES ABOVE WATER HEATER CONTROLS. WATER HEATER SHALL BE WRAP WITH R-12 INSULATION

RESERVED FOR STAMP OF APPROVAL



MARIA BARMINA DESIGNER

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HADDITACKE HOWON TO BANH, WINDOW THE Shing Step 3 own Window The Shing Step 2, Window flashing detail STEP 1, SHOWER PAN

CLIENT NAME:

DETAIL (TYP.)

Benjamin Zhu, Shouzhi Wan, Wentao Shi

REVISIONS:

	DATE	REV#	DESCRIP.
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DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED: 10/30/24

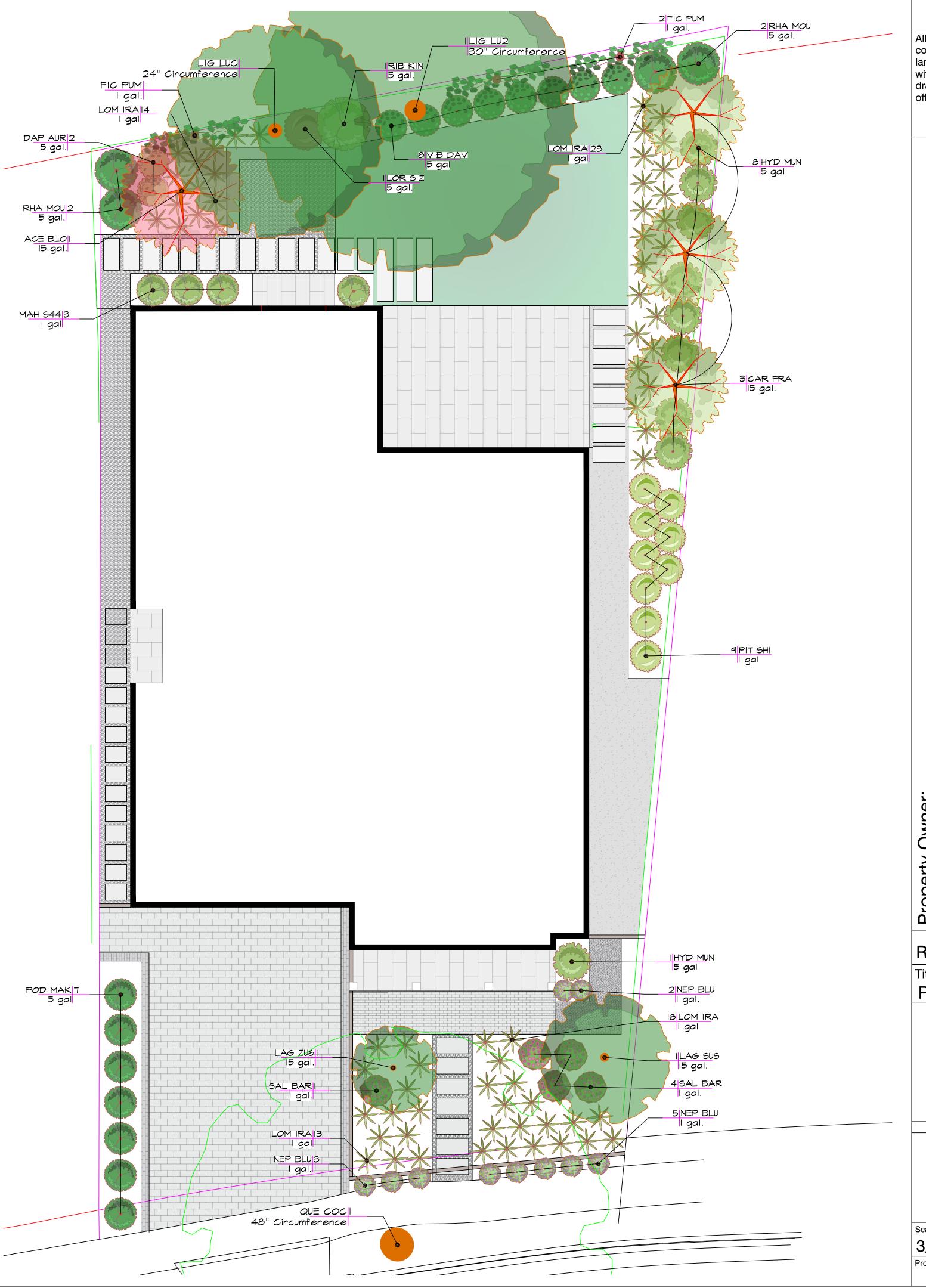
SHEET NUMBER:

GN2

CODE	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	WATER USE	MATURE HEIGHT	MATURE WIDTH
TREES								
ACE BLO	Acer palmatum 'Bloodgood'	15 gal.	Pot	1		Medium	15 - 25ft. ht.	10 - 15ft. w.
CAR FRA	Carpinus betulus 'Frans Fontaine'	15 gal.	Pot	3		Medium	25 - 40ft. ht.	10 - 15ft. w.
LAG SUS	Lagerstroemia indica x fauriei 'Muskogee'	15 gal.	Pot	1		Low	10 - 15ft ht.	10 - 15ft w.
LAG ZU6	Lagerstroemia indica x fauriei 'Zuni'	15 gal.	Pot	1		Low	10 - 15ft. ht.	10 - 15ft. w.
LIG LU2	Ligustrum lucidum	30" Circumference	Existing	1		Low	6 - ft. ht.	10 - ft. w.
LIG LUC	Ligustrum lucidum	24" Circumference	Existing	1		Low	6 - ft. ht.	10 - ft. w.
QUE COC	Quercus coccinea	48" Circumference	Existing	1		Medium	> 65ft. ht.	40 - 65ft. w.
SHRUBS				_				
DAP AUR	Daphne odora 'Aureomarginata'	5 gal.	Pot	2		Low	3 - 6ft. ht.	3 - 6ft. w.
FIC PUM	Ficus pumila	1 gal.	Pot	3		Medium	10 - 15ft. ht.	3 - 6ft. w.
HYD MUN	Hydrangea quercifolia 'Ruby Slippers'	5 gal	Pot	9		Medium	18 - 36in. ht.	3 - 4ft w.
LOM IRA	Lomandra longifolia 'Breeze'	1 gal	Pot	68		Low	18 - 36in. ht.	1 - 3ft. w.
LOR SIZ	Loropetalum chinense rubrum 'Sizzling Pink'	5 gal.	Pot	1		Low	3 - 6ft. ht.	3 - 6ft. w.
MAH S44	Mahonia eurybracteata `Soft Caress`	1 gal	Pot	4		Low	18 - 36in. ht.	1 - 3ft. w.
NEP BLU	Nepeta x faassenii 'Blue Wonder'	1 gal.	Pot	10		Low	6 - ft. ht.	1 - 3ft. w.
PIT SHI	Pittosporum tobira 'Shima'	1 gal	Pot	9		Low	18 - 36in. ht.	1 - 3ft. w.
POD MAK	Podocarpus macrophyllus 'Maki'	5 gal	Pot	7		Medium	10 - 15ft. ht.	3 - 6ft. w.
RHA MOU	Rhamnus californica `Mound San Bruno`	5 gal.	Pot	4		Low	18 - 6ft. ht.	6 - 10ft. w.
RIB KIN	Ribes sanguineum 'King Edward VII'	5 gal.	Pot	1		Low	3 - 6ft. ht.	3 - 6ft. w.
SAL BAR	Salvia leucantha 'Santa Barbara'	1 gal.	Pot	5		Low	18 - 36in. ht.	1 - 6ft. w.
VIB DAV	Viburnum davidii	5 gal	Pot	8		Medium	18 - 36in. ht.	3 - 6ft. w.

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscap e Area (Sq. Ft.)	ETAF x Area	Estimated Total Wate Use (ETWL
Regular Landscape Area							
Hydrozone 1 (MED)	0.5	DRIP	0.81	0.61	456	278	857
Hydrozone 2 (MED)	0.5	DRIP	0.81	0.61	176	107	201
Hydrozone 3 (LOW)	0.3	DRIP	0.81	0.37	405	150	46-
Hydrozone 4 (LOW)	0	0	0	0	0	0	
Hydrozone 5 (LOW)	0	0	0	0	0	0	
lydrozone 6	0	0	0	0	0	0	
lydrozone 7	0	0	0	0	0	0	
				Totals	(A)1059	(B) 535	
Special Landscape Area							
				1	0	0	
				1	0	0	
				1	0	0	
				Totals	(C)	(D)	
						ETWU Total	1519
					Maximum Allowable Water Allowance	(MAWA)	1794

- "Recirculating water systems shall be used for water features"
- 2. "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."
- 3. "For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil"
- 4. "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".



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Zhu Residence

Revision #1

on #1 Date: 11/18/24

Title: Planting

Pritchard Landscape Design LLC

Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519

Scale:	Date:	Drawn by:
3/16"=1'-0"	10/31/24	B.P.
Project #	Drawing #	Checked by:
24-20	L-02	B.P.

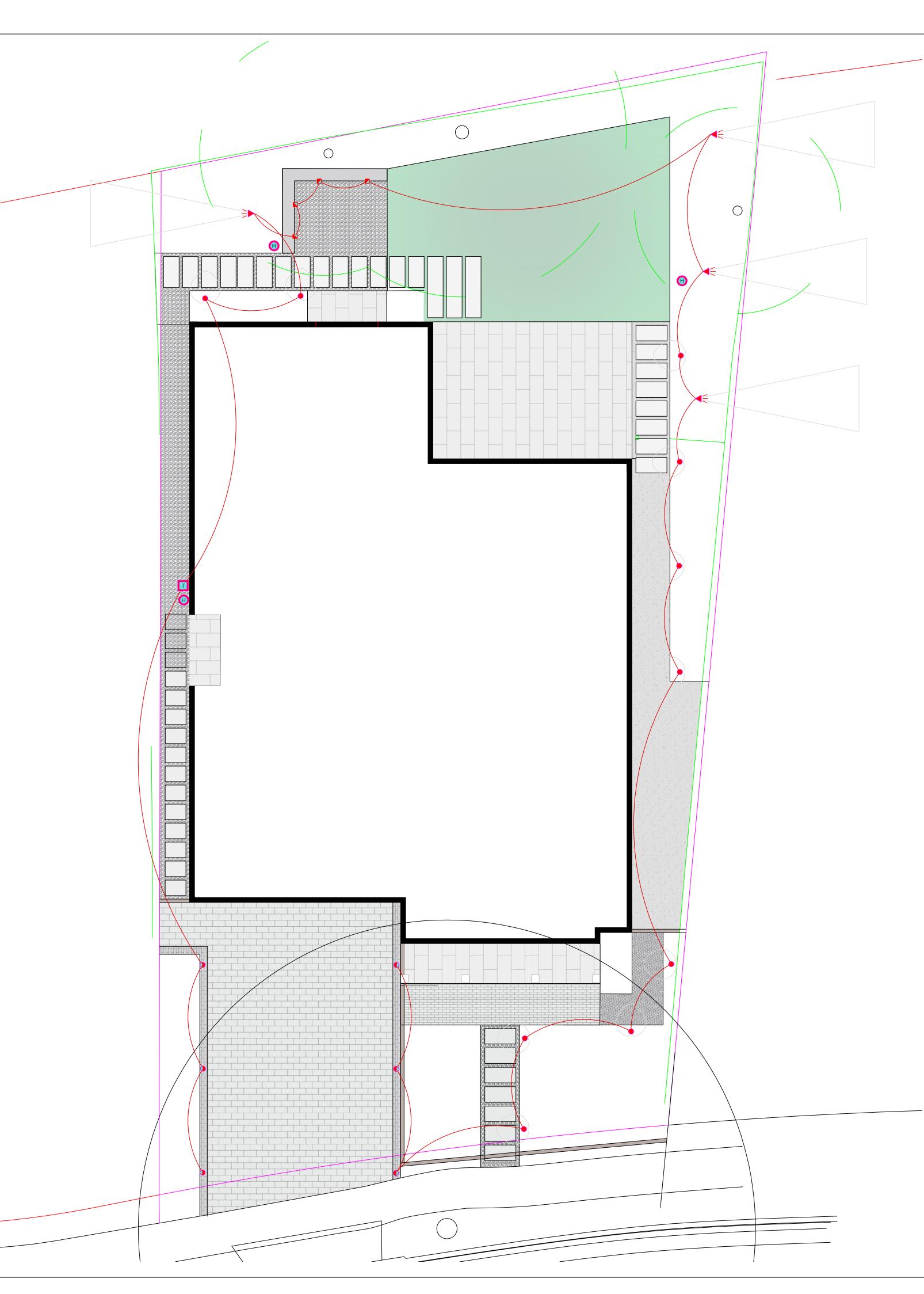
LIGHTING	SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
Θ	OUTDOOR GFCI ELECTTRICAL OUTLET	3	
T	PX 150 WATT LIGHTING CONTROLLER	1	
•	FX Luminaire M-PL Die-cast aluminum path light with powder-coated finish. 2.2in. W x 7.4in. W x 21.3in. H. Order code: M-PL, Aluminum, (FW) Flat White, Ground Mount Lamp: M-PL-1LED, 2W / 2.4VA, 2700K, Beamspread: Flood	10	
	FX Luminaire FC-GW-180 Large scale in grade hardscape well light fixture. 4in. Dia x 5.7in. H. Order code: FC-GW-180, Aluminum Alloy, (FB) Flat Black, Direct Mount Lamp: FC-GW-3LED, 4W / 4.4VA, 2700K	6	
√	FX Luminaire NP Large directional up light ideal for large landscape features. 8.38in. H x 2.66in. Dia. Order code: NP, Aluminum Alloy, (FB) Flat Black, 3-Prong Spike Lamp: NP-1LED, 2W / 2.4VA, 2700K, Beamspread: Narrow Flood	4	
	FX Luminaire BP Under cap, railing or existing construction applications. 6.7in. W x 0.9in. H x 0.625in. D. Order code: BP, Aluminum, (SV) Silver, Mounting Plate Lamp: 20W G4 LED, 1.6W / 1.7VA, 2700K	4	











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Revision #

Title: Lighting

Pritchard Landscape Design LLC Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519

Date:

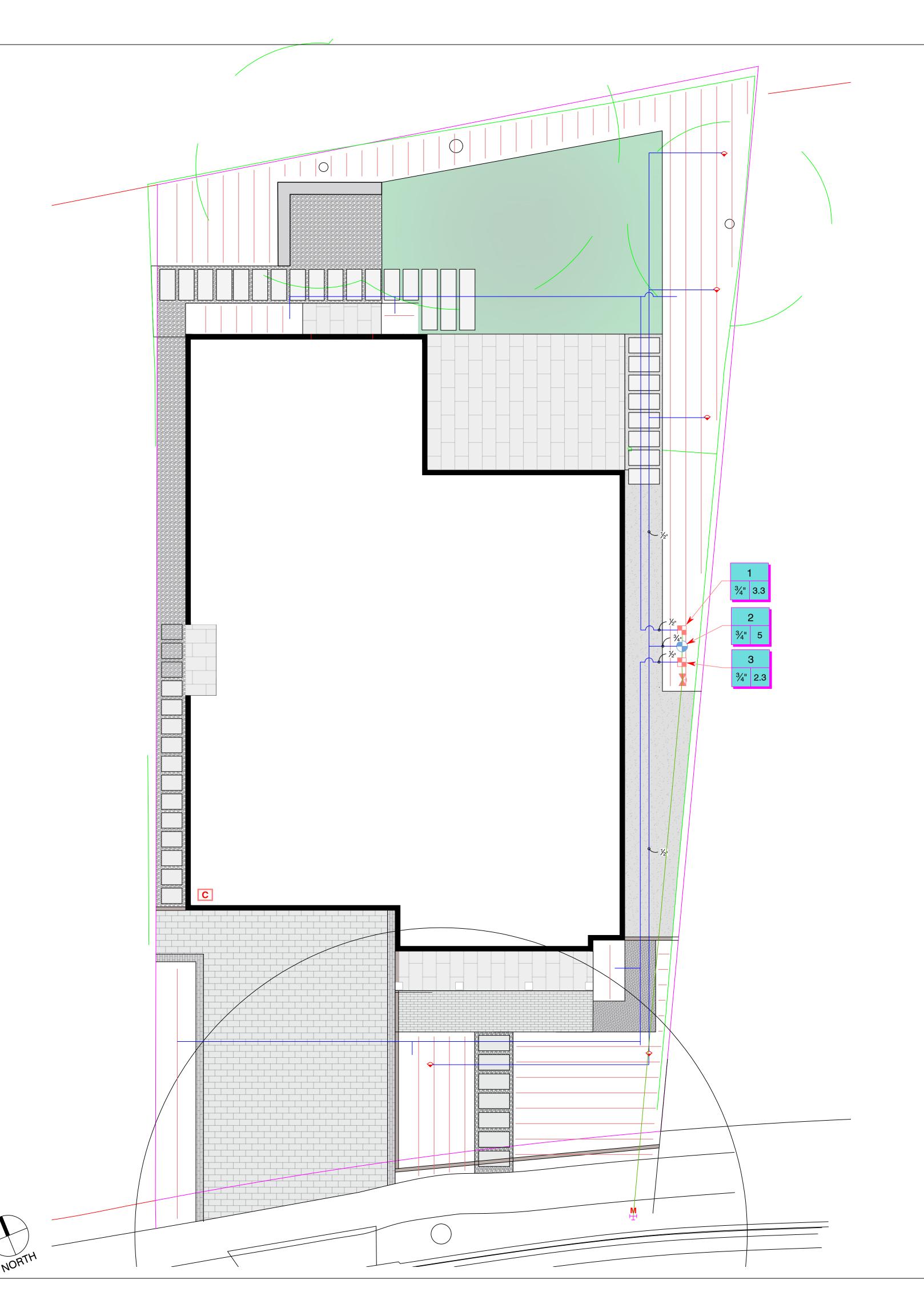
Scale:	Date:	Drawn by:
3/16"=1'-0"	10/31/24	B.P.
Project #	Drawing #	Checked by:
24-20	1-02	B.P.

IRRIGATION S	CHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
Hunter PROS-00-MSBN 10F Multi-Stream Bubbler, fixed riser, 25=.25gpm, 50=0.5gpm, 10=1.0gpm, 20=2.0gpm.		5	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ACZ-075-25 3/4" Drip control kit featuring a 3/4" PGV-ASV valve, with 3/4" HY075 filter system, and 25psi pressure regulated. Flow range: 0.5 GPM to 15 GPM. With 150 mesh stainless steel screen.	2	
	Area to Receive Dripline Hunter HDL-09-18-CV HDL-09-18-CV: Hunter Dripline w/ 0.9 GPH emitters at 18" O.C. Check valve, dark brown tubing w/ black striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	559.2 l.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
•	Hunter PGV-ASV 3/4" 3/4" and 1" Plastic Electric Remote Control Valve, with removable Anti-Siphon Cap, and Flow Control, for Residential Use. Inlet/Outlet: Female NPT Threads.	1	
X	Shut Off Valve	1	
C	Hunter PHC-600 Wi-Fi enabled, full-functioning controller with touchscreen, 6-Station fixed controller, 120 VAC, Outdoor model.	1	
M	Point of Connection 3"	1	
	Irrigation Lateral Line: PVC Schedule 40 1/2"	295.8 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 3/4"	3.2 l.f.	
	Irrigation Mainline: Schedule 40 Std. Steel Pipe	57.2 l.f.	

		Valve Callout
7	# •	Valve Numbe
#"	#•-	Valve Flow
		Valvo Sizo

VALVE SCHEDULE								
NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Hunter ACZ-075-25	3/4"	Area for Dripline	3.3	101.5	35.9		0.64 in/h
2	Hunter PGV-ASV	3/4"	Bubbler	5	100.0	33.3		30.64 in/h
3	Hunter ACZ-075-25	3/4"	Area for Dripline	2.3	98.4	34.3		0.65 in/h
	Common Wire				57.2			

- 1. A DEDICATED WATER SERVICE METER OR PRIVATE SUBMETER SHALL BE INSTALLED FOR ALL (NON-RESIDENTIAL IRRIGATED LANDSCAPES OF AT LEAST 1,000SQFT) (RESIDENTIAL IRRIGATED LANDSCAPE AREAS OF AT LEAST 5,000SQFT).
- 2. "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR
- 3. RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES."
- 4. "CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."
- 5. "A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- 6. AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE OR DRIP IRRIGATION.
- OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24-INCHES OF ANY NON-PERMEABLE SURFACE.
- 8. "AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."
- 9. "A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES."
- 10. "A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT".
- 11. "AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."
- 12. "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".
- 13. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE



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Zhu Residence

Revision #

#

Irrigation

Pritchard Landscape Design LLC

Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519

Scale:	Date:	Drawn by:
3/16"=1'-0"		B.P.
Project #	Drawing #	Checked by:
24-20	L-04	B.P.

IRRIGATION SCHEDULE

CODE DESCRIPTION
HYDROZONE 1 (MED)

HYDROZONE 2 (MED)

HYDROZONE 3 (LOW)

+ + + + +

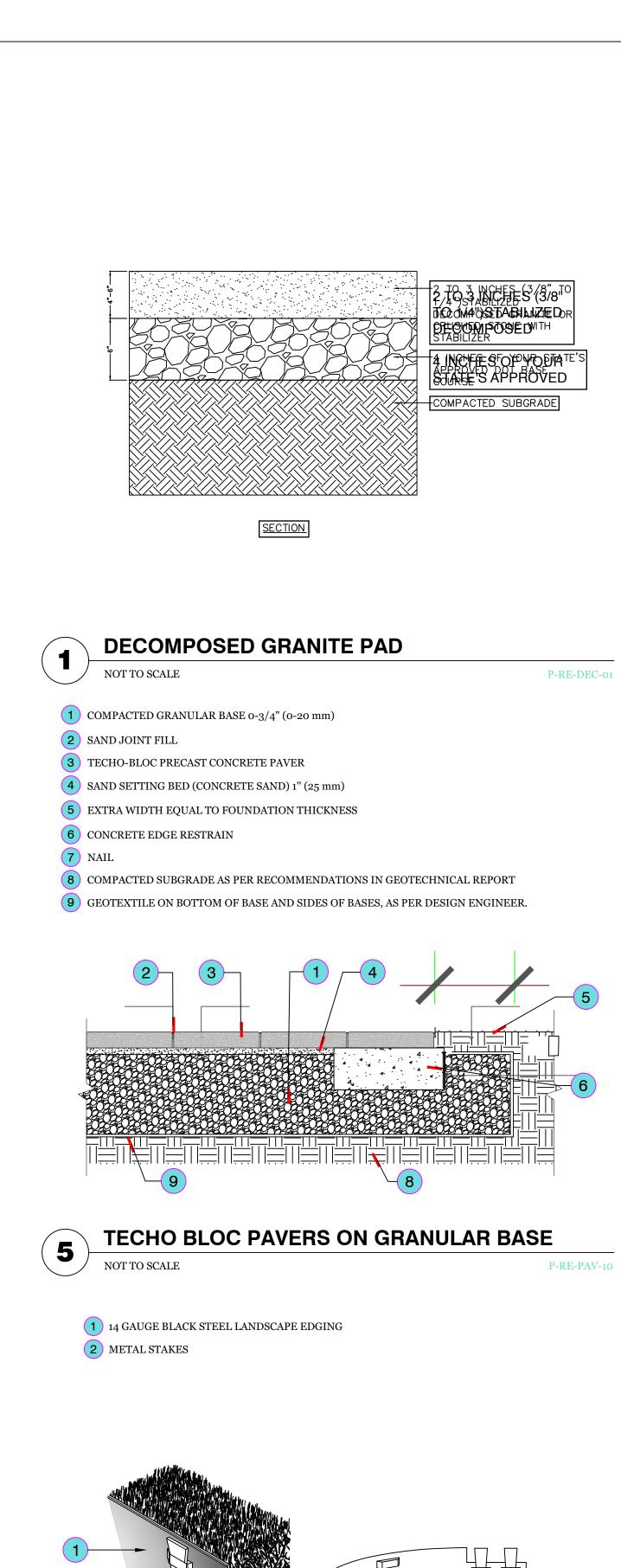
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Revision #

Title: Hydrazone

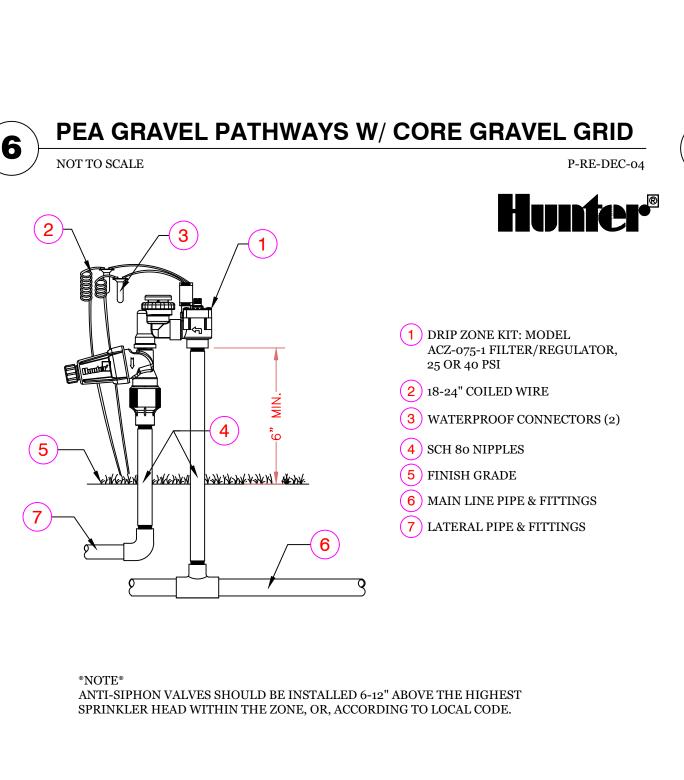
Pritchard Landscape Design LLC Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519

Scale:	Date:	Drawn by:
3/16"=1'-0"	10/31/24	B.P.
Project #	Drawing #	Checked by:
24-20	L-05	B.P.



METAL LANDSCAPE EDGING

P-RE-STE1-01



1 4" X 4" REDWOOD POST

2 1" X 6" REDWOOD BOARD

(3) MODERN OUTDOOR GATE

(CASCADESUPPLY.COM)

(HOME DEPOT)

EVERBILT 3-1/2 in. x 4-1/2 in BLACK GATE TEE HINGE

FENCE & GATES

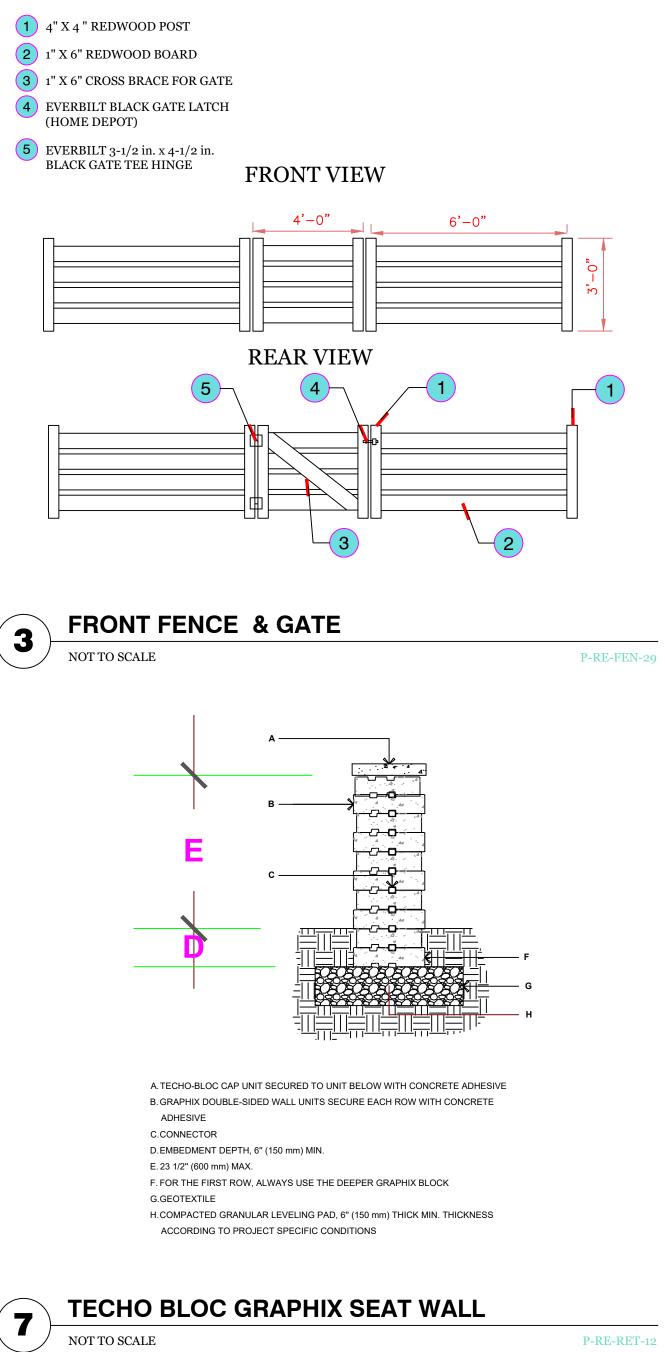
1 COREGRAVEL CORE Path™ 38-18

NOT TO SCALE

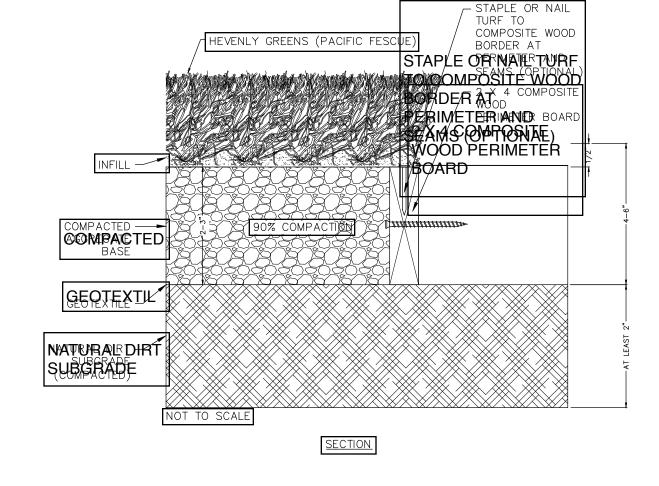
2 2-3 INCHS PEA GRAVEL

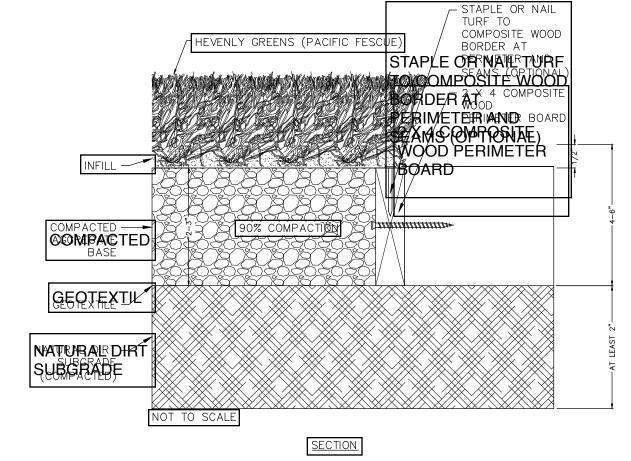
4 COMPACTED SUBGRADE

3 LANDSCAPE FABRIC



P-RE-GAT-04





BLACK CHISH-ANCHORED AS PER MANUFACTURERS'S SPECS

CALARC PRECAST PAVERS

EXISTING SOIL

COMPACTED SUBGRADE

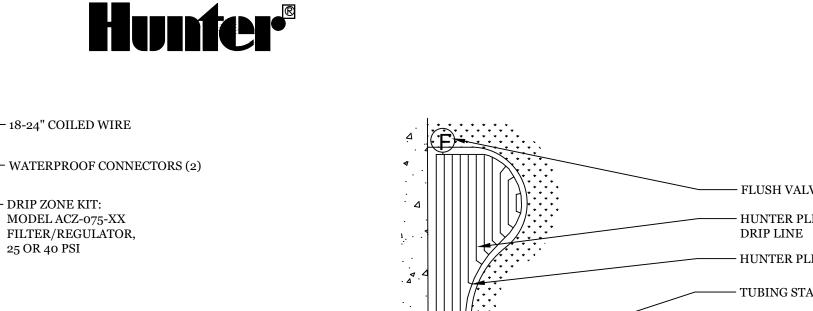
CAL ARC PAVERS W/ QUARTZ PEBBLES

WEED FABRIC & SAND BASE

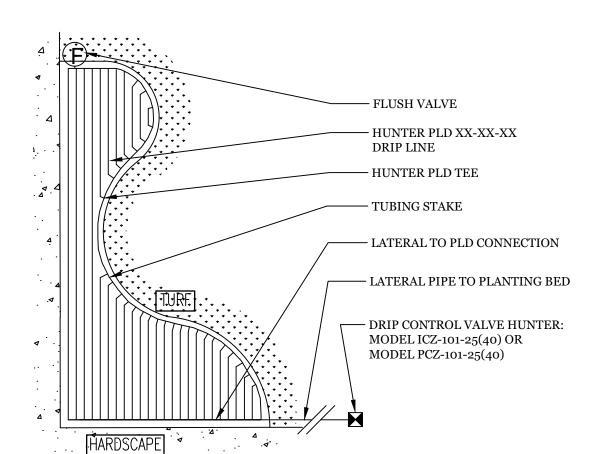
P-RE-PAV-07

P-RE-SOD-02

Hunter®



SYTHETIC TURF



ACZ-075-1 DRIP ZONE KIT FX-IR-HUNT-DRIP-01

ACZ-075 VALVE WITH SCH 80 NIPPLES FX-IR-HUNT-VALV-55

JAKANA WYGY VACHYYGY WYMSYMS

DRIP ZONE KIT:

25 OR 40 PSI

- SCH 80 NIPPLES

FINISH GRADE

- LATERAL PIPE & FITTINGS

– MAIN LINE PIPE & FITTINGS

CURVELINAR PLANT BED FX-IR-HUNT-MICR-31

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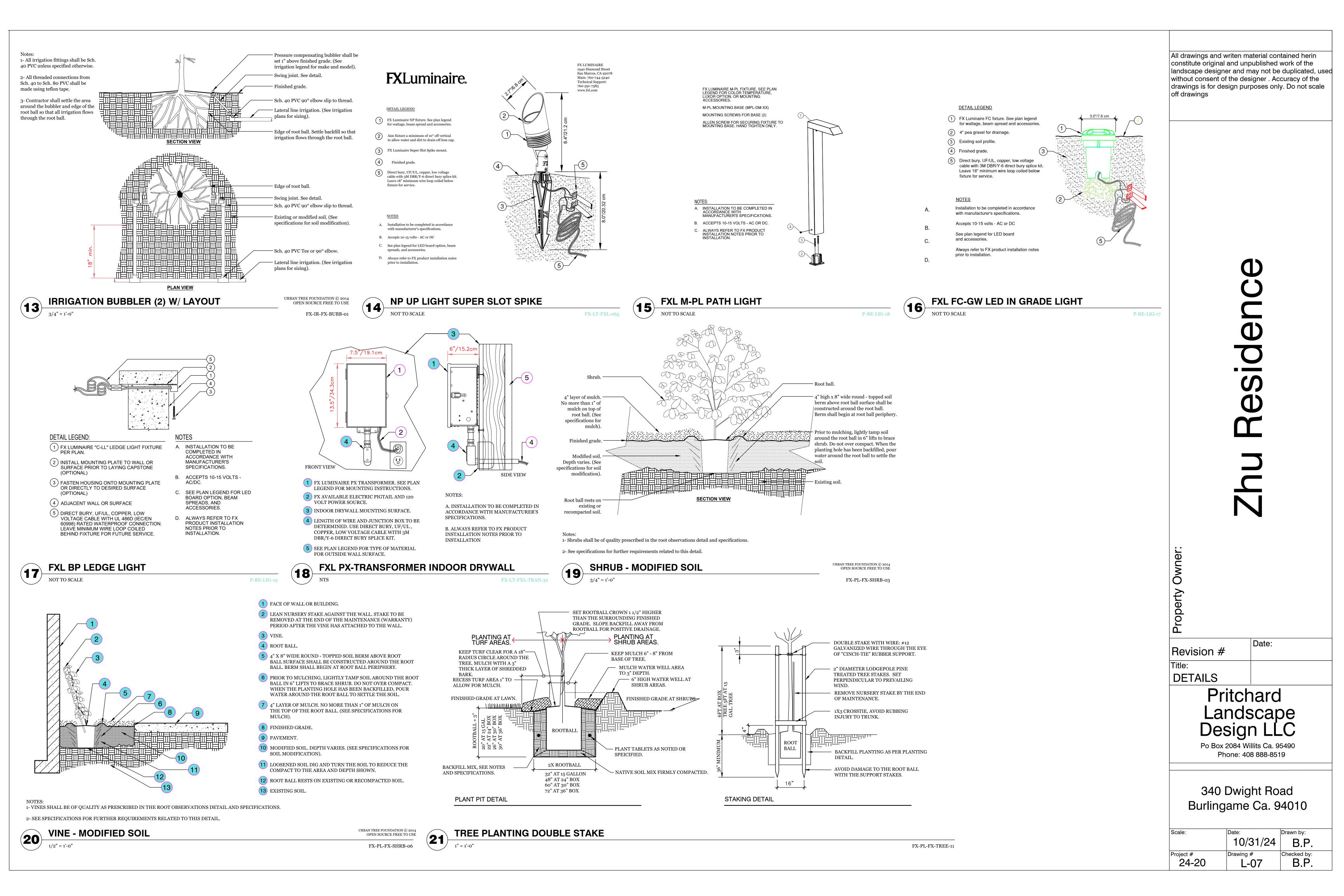
Property Date: Revision # Details

Pritchard Landscape

Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519

340 Dwight Road Burlingame Ca. 94010

Drawn by: 10/31/24 B.P. Checked by: Project # 24-20 B.P. L-06



1. PRIOR TO BEGINNING WORK VERIFY THE CONTRACT DRAWINGS AGAINST ALL APPLICABLE EXISTING CONDITIONS, NOTIFY THE LANDSCAPE CONTRACTOR AND DESIGNER IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE CONTRACTOR AND DESIGNER.

2. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK.

3. ALL UTILITY AND SITE INFORMATION SHOWN ON THESE CONTRACT DRAWINGS ARE FROM DIGITAL FILES DESIGNED AND PROVIDED BY OTHERS. SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OR VALIDITY OF THE INFORMATION PROVIDED BY OTHERS.

4. VERIFY LOCATION OF ALL ABOVE AND BELOW GRADE MECHANICAL, ELECTRICAL/UTILITY LINES AND EQUIPMENT AND ENSURE THAT ALL FEDERAL, MUNICIPAL, UTILITY PURVEYOR REQUIRED EASEMENTS, MINIMUM OFFSETS AND SETBACKS ARE STRICTLY ADHERED TOO.

5. AVOID EXISTING SITE FEATURE DAMAGE AND ANY WORK BEYOND SCOPE OF PROJECT AREA DURING CONSTRUCTION OPERATIONS.

6. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE DONE TO EXISTING OR COMPLETED SITE ELEMENTS.

7. IF CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN IN THE CONTRACT DOCUMENTS OR CALLED FOR IN THE ASSOCIATED NOTES AND SPECIFICATIONS, THEY SHALL BE INSTALLED PER ALL FEDERAL, STATE, LOCAL AND MUNICIPAL CODES AND GUIDELINES OR AS SHOWN IN SIMILAR CONDITIONS.

8. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING

DESIGN PLAN

A FOR THE EFFICIENT USE OF WATER, THE LANDSCAPE SHALL BE CAREFULLY DESIGNED AND PLANNED FOR THE INTENDED FUNCTION OF THE PROJECT.

1 PLANT MATERIAL

A PLANTS WILL BE SELECTED FOR THE LANDSCAPE, PROVIDING THE ESTIMATED TOTAL WATER USE IN THE LANDSCAPE AREA DOES NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE. TO ENCOURAGE THE EFFICIENT USE OF WATER, THE PLANS INCLUDE

1. PROTECTION AND PRESERVATION OF NATIVE SPECIES AND NATURAL VEGETATION;

2. SELECTION OF WATER-CONSERVING PLANT AND TURF SPECIES;

E. DELEGION OF WITH CONDENTING PENTLY INDICATE OF ECILO,

3. SELECTION OF PLANTS BASED ON DISEASE AND PEST RESISTANCE;4. SELECTION OF TREES BASED ON APPLICABLE LOCAL TREE ORDINANCES OR TREE SHADING GUIDELINES; AND

5. SELECTION OF PLANTS FROM LOCAL AND REGIONAL LANDSCAPE PROGRAM PLANT LISTS.

B EACH HYDROZONE SHALL HAVE PLANT MATERIALS WITH SIMILAR WATER USE, WITH THE EXCEPTION OF HYDROZONES WITH PLANTS OF MIXED WATER USE

C PLANTS SHALL BE SELECTED AND PLANTED APPROPRIATELY BASED UPON THEIR ADAPTABILITY TO THE CLIMATIC, GEOLOGIC, AND TOPOGRAPHICAL CONDITIONS OF THE PROJECT SITE. TO ENCOURAGE THE EFFICIENT USE OF WATER, THE PLANS INCLUDE

1. USE OF THE SUNSET WESTERN CLIMATE ZONE SYSTEM WHICH TAKES INTO ACCOUNT TEMPERATURE, HUMIDITY, ELEVATION, TERRAIN, LATITUDE, AND VARYING DEGREES OF CONTINENTAL AND MARINE INFLUENCE ON LOCAL CLIMATE;

2. RECOGNITION OF THE HORTICULTURAL ATTRIBUTES OF PLANTS (I.E., MATURE PLANT SIZE, INVASIVE SURFACE ROOTS) TO MINIMIZE DAMAGE TO PROPERTY OR INFRASTRUCTURE [E.G., BUILDINGS, SIDEWALKS, POWER LINES]; AND

1. THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE 100% / HEAD-TO-HEAD COVERAGE

1. USE OF THE SUNSET WESTERN CLIMATE ZONE SYSTEM WHICH TAKES INTO ACCOUNT TEMPERATURE, HUMIDITY, ELEVATION, TERRAIN, LATITUDE, AND VARYING DEGREES OF CONTINENTAL AND MARINE INFLUENCE ON LOCAL CLIMATE;

2. RECOGNITION OF THE HORTICULTURAL ATTRIBUTES OF PLANTS (I.E., MATURE PLANT SIZE, INVASIVE SURFACE ROOTS) TO MINIMIZE DAMAGE TO PROPERTY OR INFRASTRUCTURE [E.G., BUILDINGS, SIDEWALKS, POWER LINES]; AND

3. CONSIDERATION OF THE SOLAR ORIENTATION FOR PLANT PLACEMENT TO MAXIMIZE SUMMER SHADE AND WINTER SOLAR

4. MINIMUM TREE SIZES SHALL BE 15 GAL. SIZE. MINIMUM SHRUB AND VINE SIZES SHALL BE 1 GAL SIZE.

D TURF IS NOT UTILIZED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE 25% MEANS 1 FOOT OF VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X 100 = SLOPE PERCENT).

E INVASIVE AND/OR NOXIOUS PLANT SPECIES ARE NOT UTILIZED.

2 WATER FEATURES

A RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

B WHERE AVAILABLE. RECYCLED WATER SHALL BE USED AS A SOURCE FOR DECORATIVE WATER FEATURES.

C SURFACE AREA OF A WATER FEATURE SHALL BE INCLUDED IN THE HIGH WATER USE HYDROZONE AREA OF THE WATER BUDGET

D POOL AND SPA COVERS ARE UTILIZED.

3 MULCH AND AMENDMENTS

A. A MINIMUM TWO INCH (2) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

B. STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES.

C. THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE MULCHING REQUIREMENT.

D. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

IRRIGATION NOTES:

1. THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE 100% / HEAD-TO-HEAD COVERAGE FOR ALL LANDSCAPED AREAS AS SHOWN ON CONTRACT DRAWINGS.

2. REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS.

LOCATION/LAYOUT OF POINT OF CONNECTION PRIOR TO INSTALLATION.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND MUNICIPAL CODES FOR WORK NECESSARY IN IRRIGATIONIRRIGATION SYSTEM INSTALLATION.

4. CONTRACTOR IS TO REFER TO AND COORDINATE IRRIGATION SYSTEM INSTALLATION WITH LANDSCAPE PLANS AND ALL OTHER DISCIPLINES. AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND LANDSCAPE MATERIAL, EDGING, UTILITIES, ETC.

5. POINT OF LOCATION SHOWN ON THE IRRIGATION PLANS ARE PER THE CIVIL DOCUMENTS. REPORT ANY DISCREPANCIES IN THE LOCATION TO THE PROJECT ENGINEER FOR CLARIFICATION OR REVISION, OWNER/PROJECT ENGINEER SHALL APPROVE FINAL

6. CONTRACTOR IS TO PROVIDE ALL NECESSARY PIPE, VALVES, ETC. DOWNSTREAM FROM POINT OF CONNECTION NOT INSTALLED BY OTHER DISCIPLINES.

7. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY IN A MANNER THAT MEETS THE CONTRACT DOCUMENTS. ALL WORK MUST BE INSTALLED USING SKILLED PERSONS PROFICIENT IN THE TRADES REQUIRED AND WORK MUST BE DONE PER ALL FEDERAL, STATE, LOCAL AND MUNICIPAL CODES AND GUIDELINES.

8. WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE UNIFORM PLUMBING CODE (UPC) AND ALL OTHER STATE OR LOCAL MUNICIPAL REGULATIONS.

9. CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED IN LANDSCAPED AREAS WHEREVER POSSIBLE AND WITHIN THE PROPERTY LIMITS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY, MAINLINE LOCATION SHALL BE STAKED IN FIELD FOR APPROVAL BY OWNER/PROJECT ENGINEER PRIOR TO INSTALLATION.

10. LATERAL AND MAINLINE PIPE, CONTROL WIRES AND SLEEVES ARE SHOWN ON CONTRACT DRAWINGS SPACED HORIZONTALLY ON PLAN FOR GRAPHIC CLARITY ONLY. CONTRACTOR SHALL CONSOLIDATE IRRIGATION LATERALS, MAINLINES AND COMPONENTS WHERE POSSIBLE. IRRIGATION PIPING SHALL BE INSTALLED WITH A MINIMUM OF 4 INCHES CLEAR ON ALL SIDES.

11. CONTRACTOR SHALL MAINTAIN THE MINIMUM DEPTHS DETAILED AND SPECIFIED FOR ALL IRRIGATION EQUIPMENT INSTALLED BELOW GRADE.

12. ALL PRODUCTS REQUIRED FOR COMPLETION OF THESE CONTRACT DOCUMENTS SHALL BE DELIVERED, HANDLED AND STORED IN A MANNER TO PREVENT DAMAGE OR DETERIORATION. DELIVER AND STORE PACKAGED MATERIALS IN LABELED CONTAINERS. TRANSPORT ALL PIPE IN A MANNER TO PREVENT DAMAGING OR WEAKENING BENDING OR EXTERNAL LOADING.

13. CONTRACTOR IS TO VERIFY AVAILABLE PRESSURE AND FLOW AT POINT OF CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM EQUIPMENT AND NOTIFY THE PROJECT ENGINEER WITH VERIFICATION FIGURES.

14. CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH BUILDING CONSTRUCTION AND INSTALLATION OF PAVING AND SIDEWALKS. ALL SLEEVING UNDER PAVED SURFACES SHOWN ON CONTRACT DRAWINGS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. ALL MAINLINES, LATERAL LINES, DRIP LINES AND CONTROL WIRES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. INSTALL SLEEVING AS PER DETAIL AND SPECIFICATIONS.

15. ALL PIPING, PVC ELECTRICAL SLEEVES, ETC. UNDER PAVING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING EXCEPT WHERE SHOWN ON CONTRACT DRAWINGS. CAP ALL ENDS HAND TIGHT PRIOR TO BACKFILL.

16. CONTRACTOR IS TO PROVIDE ELECTRICAL POWER TO THE AUTOMATIC CONTROLLER PER THE NOTES IN THIS CONTRACT DOCUMENT.

17. FINAL LOCATIONS AND ARRANGEMENT OF IRRIGATION EQUIPMENT VISIBLE AT OR ABOVE FINISHED GRADE ARE TO BE STAKED IN THE APPROXIMATE LOCATIONS AND SHALL BE APPROVED BY PROJECT ENGINEER AND/OR CONTRACTORS QUALITY DEPARTMENT PRIOR TO INSTALLATION.

18. CONTRACTOR SHALL EXTEND SPARE CONTROL WIRES FROM EACH CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER. EXTEND THREE (3) SPARE WIRES TO EACH END OF MAINLINE; ONE (1) COMMON AND TWO (2) CONTROL WIRES.

19. INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL MALE PIPE THREADS ON ALL IRRIGATION SWING JOINT AND VALVE ASSEMBLIES.

20. CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING ON ALL MAINLINE SECTIONS BY FILLING PRESSURE PIPE WITH WATER ON NOT LESS THAN 100 PSI FOR A TWO (2) HOUR PERIOD. TEST SHALL BE PERFORMED IN THE PRESENCE OF THE PROJECT ENGINEER AND CONTRACTOR'S QUALITY DEPARTMENT. PRESSURE MUST BE HELD TO A SATISFACTORY LEVEL THROUGHOUT THE TEST, AN ACCEPTABLE LOSS IS ZERO (0) PSI OVER THE TEST DURATION. IF AN UNACCEPTABLE PRESSURE LOSS OCCURS, CONTRACTOR SHALL REPAIR THE LEAKING JOINTS AND RETEST AS REQUIRED.

21. ALL TRENCHES TO BE BACKFILLED AND COMPACTED TO THE SAME DENSITY AS THE ADJACENT SOIL. BACKFILLING SHALL BE DONE IN LIFTS AND COMPACTED PER SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST OR REPAIR ANY SETTLED TRENCHES OR DAMAGED CAUSED AS A DIRECT RESULT OF SETTLING DURING THE WARRANTY PERIOD.

22. CONTRACTOR SHALL PROVIDE MAINTENANCE AND OPERATION REQUIREMENTS: A SEASONAL MAINTENANCE SCHEDULE BEGINNING ON APRIL 1 THROUGH OCTOBER 1 SHALL ESTABLISH PROCEDURES FOR OPTIMUM IRRIGATION EFFICIENCY AND PREVENTIVE MAINTENANCE PRACTICES THAT WILL CONSERVE WATER RESOURCES.

PLANTING NOTES

1. CONTACT 811 PRIOR TO DIGGING TO VERIFIY UNDERGROUND UTILITIES

2. VERIFIY ALL PLANT QUANTITIES PRIOR TO ORDERING PLANTS. WHERE PLANT LIST AND PLAN DISAGREE, PLAN SYMBOLS SHALL TAKE PRECEDENT

3. PLANTS ARE SUBJECT TO SUBSTITUTION BASED ON NURSERY AVAILIBILITY.

4. PLACE PLANTS ACCORDING TO PLAN AND FACE THE PLANTS BEST SIDE TOT HE DOMINATE VIEW FOR THAT PLANT. WHERE IT IS NEEDED TO CHANGE PLACEMENT OF THE PLANT DUE TO UNKNOWN CIRCUMSTANCES, THE INTEGRITY OF THE DESIGN SHALL BE MAINTAINED.

5. FINISH GRADE OF PLANTING AREA SHALL BE 2.5" INCHES BELOW ADJACENT PAVEMENTS TO ACCOMODATE MULCH WHERE NEEDED.

6. PLANTING AREAS SHALL RECIEVE 2" MINIMUN OF SMALL BARK TO REDUCE WEEDS, RETAIN MOISTURE AND FINAL FINISH DETAIL. KEEP MULCH TO A MINIMUM COVERAGE WITHIN 6" DIAMETER OF SHRUB TRUNNKS. ADJACENT TO PAVEMENTS MULCH SHULD BE .5 INCHES BELOW PAVEMENT SURFACE.

7. HOLES DUG FOR PLANTS ARE TO BE FILLED WITH WATER PRIOR TO PLANTING. ALL NEW AND TRANSPLANTED PLANTS SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 2 HOURS OF PLANTING.

8. EXISTNG TREES, SHRUBS AND GROUNDCOVER TO REMAIN SHALL BE PROTECTED. ANY DAMAGE BY CONTRACTORS WORK OR NEGLEGENCE SHALL BE REPLACED OR REPAID AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE OWNER.

9. DO NOT ROUGH ROOT BALL OF NATIVE PLANTS. ADD ONE B COMPLEX VITAMIN PILL TO ROOT BALL AT A TIME OF PLANTING OF ALL NATIVES TO REDUCE TRANSPLANT STRESS.

10. TREES WILL NEED TO BE STAKED.

11. WEED BARRIER IS OPTIONAL IF DESIRED BY HOMEOWNER.

Protected Trees.

1. ALL TREES TO BE PRESERVED AS INDICATED ON THE LANDSCAPE DEMOLITION PLAN SHALL BE PROTECTED BY 6' CHAIN LINK FENCE. THE FENCE SHALL BE LOCATED AT A 5 FT RADIUS FRM THE EDGE OF THE TRUNK. THE FENCE SHALL BE FIRMLY ANCHORED INTOT HE GROUND AND SHALL REMAIN UPRIGHT AND INTACT UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETE CONSTRUCTION ACTIVITIES OR STORAGE SHALL NOT OCCUR WITHIN THESE PROTECTED AREAS. THE CONTRACTOR SHALL STAKE THE PROTECTIVE FENCING LOCATION. THE LOCATION OF THE FENCING SHALL BE APPROVED ONSITE BY THE LANDSCAPE CONTRACTOR

2. NO PROTECTED TREE SHALL BE REMOVED, PRUNED OR OTHERWISE MATERIALLY ALTERED WITHOUT A PERMIT EXCEPT AS PROVIDED IN THIS SECTION. TRIMMING OF A PROTECTED TREE IS ALLOWED WITHOUT SUCH PERMIT

3. CHEMICALS OR OTHER CONSTRUCTION MATERIALS SHALL NOT BE STORED WITHIN THE DRIPLINE OF PROTECTED TREES
4. DRAINS SHALL BE PROVIDED AS REQUIRED BY THE DIRECTOR WHENEVVER SOIL FILL IS PLACED AROUND PROTECTED TREES

5. SIGNS, WIRES OR SIMILAR DEVICES SHALL NOT BE ATTACHED TO THE PROTECTED TREES

6. IT IS PROPOSED DEVELOPMENT, INCLUDING ANY SITE WORK FOR THE DEVELOPMENT, WILL ENCROACH UPON THE DRIPLINE OF A PROTECTED TREE, SPECIAL MEASURES SHALL BE UTILIZED, AS APPROVED BY THE REVIEW AUTHORITY, TO ALLOW THE ROOTS TO OBTAIN OXYGEN, WATER AND NUTRIENTS AS NEEDED. ANY EXCAVATION, CUTTING, FILLING, OR COMPACTION OF THE EXISTING GROUND SURFACE WITHIN THE PROTECTED PERIMETER. IF AUTHORIZED AT ALL BY THRE REVIEW AUTHORITY, SHALL BE MINIMIZED AND SUBJECT TO SUCHCONDITIONS AS MAY BE IMPOSED BY THE REVIEW AUTHORITY NO SIGNIFICANT CHANGE IN EXISTING GROUND LEVEL SHALL BE MADE WITHIN THE DRIP LINE OF THE PROTECTED TREE.

7. UNDERGROUND TRENCHING FOR UTILITIES SHALL AVOID MAJOR SUPPORT AND ABSORBING TREE ROOS OF PROTECTED TREES. IF AVOIDANCE IS IMPRACTICAL, TUNNEL SHALL BE MADE BELOW THE ROOTS. TRENCHES SHALL BE A CONSOLIDATED SERVICE AS MANY UNITS AS POSSIBLE. TRENCHING WITHIN THE DRIP LINE OF PROTECTED TREES SHALL BE AVOIDED TOT HE GREATEST EXTENT POSSIBLE AND SHALL ONLY BE DONE UNDER THE AT SITE DIRECTIONS OF A

8. NO CONCRETE OR ASPHALT PAVING SHALL BE PLACED OVER THE ROOT ZONE OF OAKS

9. NO COMPACTION OF THE SOIL WITHIN THE ROOT ZONE OF PROTECTED TREES SHALL OCCUR

SOIL PREPARATION

1. SOIL PREPARATION OF A LANDSCAPE DESIGN IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG LASTING LANDSCAPE. REMOVE EXISTING TOPSIOL AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATED BACK INTO THE SOIL AT A LATER DATE. CONTRACTOR TO CONDUCT A SOIL EVALUATION TO DETERMINE THE SOILS COMPOSITION COMPACTION RATE., NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLING CAPABILITIES. THE IDEAL PARTICLE SOIL MIX IS APRROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN.

2. PRIOR TO INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIORMENT FOR PLANT ROOT DEVELOPMENT

3. CONTRACTOR TO DE-COMPACT SOILS IN THE PLANTING AREAS BY ROTOTILLING, DISKING OR RIPPING TO A DEPTH OF 6-8" MINIMUM AND PREFERABLY A DEPTH OF 12-18". DECOMPACTION OF SMALL PLANTER AREAS, SUCH AS THOSE IN PARKING AREAS, THAT MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN REINSTALLED LOOSELY WITH REQUIRED AMENDMENTS. ALWAYS REMOVE DEBRIS THAT IS 2" IN SIZE FROM SOIL BEDS

4. WHEN PERFORMING SOIL DE COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSIBLE SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THE THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO TILLER TO BREAK UP AND LARGE CLUMPS TO MAKE FINAL GRADE

5. AFTER INITIAL SOIL DECOMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMMENDMENTS SUCH

OF ONE POUND OF SULFUR PER 100 SQUARE FEET.

6. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING

7. DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. THIS COMPACTION IS TYPICALLY LIMITED TO THE TOP 4-6" OF THE SOIL. PRIOR TO INSTALLATION OF THE PLANT MATERIAL IN THESE AREAS, THE COMPACTION SHALL BE REDUCED TO 80% OR LESS USING THE PREVIOUSLY DESCRIBED METHODS.

DRAINAGE NOTES

1. CONTRACTOR SHALL ENSURE PROPER DRAINAGE THROUGHOUT THE WHOLE PROJECT. ALL PAVED AREAS MUST BE SLOPED TO DRAIN AT A MINIMUM OF 1% WITH ALL PLANTER BEDS AND TURF GRASS AREAS SLOPED AT 2% MINIMUM AWAY FROM HOUSE AND TOWARDS DRAINS.

2. ALL DRAIN PIPES MUST DRAIN AT 5% WITH A SLOPE OF 1% PREFERRED. PATIO DECK DRAINS, PLANTER, RETAINING WALL, FRENCH DRAINS AND GUTTER DOWNSPOUTS CONNECTIONS.

3. PATIO , DECK, PLANTER, RETAINING WALL, FRENCH DRAINS, AND GUTTER DOWNSPOUT CONNECTIONS AND ABS/ PVC SHALL CONNECT TO EXISTING DRAIN LINES AND CATCH BASINS (REPER TO ACTUAL SITE CONDITIONS)

4. ALL DRAINS SHALL BE 4-6" ROUND PVC/ABS SDR 35 OR EQUAL PER CALLOUTS ON PLAN. CONTRACTOR SHALL CONNECT TO EXISTING DRAINS AND DRAINLINES PROVIDED BY THE DEVELOPER AND VERIFY LOCATIONS OF EXISTING CONNCETION TO STORM DRAIN OR CURB CORES.

5. CONTRACTORS SHALL GLUE ALL CONNECTIONS UNDER PAVED AREAS. CONTRACTOR SHALL COORDINATE THE DRAINLINE PIPING WITH ALL TREE LOCATIONS.

6. CONTRACTOR SHALL INSTALL 4" DIAMETER PERFORATED DRAINLINE WITH FILTER FABRIC AND GRAVEL (FRENCH DRAIN) AND SURFACE DRAINAGE BEHIND ALL RETAINING PLANTER WALLS

7. ALL HARDSCAPE MUST BE HELD AT A MINIMUM OF 1" BELOW THE ADJACENT METAL WEEP SCREED OR DOOR THRESHOLDS, ALL STUCCO WEEP SCREEDS SHALL REMAIN EXPOSED UPON COMPLETION OF THE HARDSCAPE ADJACENT TO THE RESIDENCE.

9. ALL GRADES IN PLANTER BEDS SHALL BE 6" BELOW ADJACENT FINISH FLOOR AND 4" BELOW THE ADJACENT METAL HOUSE SCREED

8. CONTRACTOR SHALL NOT ALTER OR CHANGE GRADE DIRECTLY ADJACENT TO EXISTING WALLS OR FENCES.

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Zhu Residence

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Notes

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