

PROJECT DATA:

ZONE: R-1  
OCCUPANCY GROUP: R-3  
CONSTRUCTION TYPE: V-B  
APN#: 029-192-200  
YEAR BUILT: 1941  
LOT SIZE: 5200SF

SETBACKS: front - 15' (1st floor, 20' 2nd floor) garage 25' min,  
side - 4' 1st floor, 2nd floor - declining height envelope applies rear - 15' 1st floor, 20' 2nd floor

NEW FIRE SPRINKLER SYSTEM TO BE INSTALLED  
NEW SOLAR SYSTEM TO BE INSTALLED

ALL ELECTRIC NEW BUILDING NO GAS ALLOWED

LOT COVERAGE:

40% of lot area = 2,080sf max allowable for structures touching ground including garage

	EXISTING (SF)	PROPOSED (SF)	TOTAL
HOUSE	1,140		1005.41
GARAGE	460		369.34
PORCH	638 254.21		55.56 118.62
ADU	0		771.07
TOTAL :	1,917.21		1,548.93(29.7%)

EXCLUDED FROM CALCULATION

FLOOR AREA:

32% of lot area + 1,100sf = 1,664+1,100 = 2,764sf max allowable size of all structures on all floors including garage

	EXISTING (SF)	PROPOSED (SF)	TOTAL
HOUSE 1ST FLOOR	1,140		1005.41
HOUSE 2ND FLOOR	0		1352.21
ADU	0		771.07
GARAGE	460		369.34
TOTAL :	1600		2,726.96 < 2764SF

EXCLUDED FROM CALCULATION

MAX HEIGHT:

30' MAX (2.5 STORIES)

PARKING REQUIREMENTS:

TWO CAR GARAGE 20X20 MIN CLEAR

FLOOD ZONE:

x

PROTECTED TREES:

SEE SURVEY

(N) 2 STORY RESIDENCE WITH ATTACHED ADU

APN#: 029-192-200

PROJECT ADDRESS 340 DWIGHT ROAD, BURLINGAME, CA 94010

OWNERS: Benjamin Zhu  
T: (206)239-8152  
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Shouzhi Wan  
T: (857) 350-5804  
shouzhivan@gmail.com

Wentao Shi  
T:(614) 886-3324  
wtshi93@outlook.com

ADU WILL HAVE A SEPARATE ADDRESS

detached ADU address shall be displayed separate from the main dwelling in one of the following methods: on a secondary mailbox, gate, or non-movable structure visible from the street frontage at the property line, including the front entrance of the ADU. BMC.

PROJECT DESCRIPTION:

DEMOLISH EXISTING HOUSE & GARAGE ENTIRELY  
BUILD NEW 2 STORY RESIDENCE WITH ATTACHED ADU  
(N) BEDROOMS - 3, (N) BATHS - 3.5 ADU: 1 BEDROOM, 1 BATH

PLANNING/BUILDING DEPARTMENT:

CITY OF BURLINGAME (PLANNING/ BUILDING)  
501 Primrose Rd, Burlingame  
CA 94010

CONSULTANTS:

SURVEYOR  
ROBERT J. DAINS

TITLE 24 report  
Igor Pichko, CEA/CEPE  
(424) 247-7658  
www.title24ez.com

STRUCTURAL ENGINEER  
TBS

GENERAL NOTES:

CODE COMPLIANCE: THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS AND TITLE 24 AS AMENDED BY THE STATE OF CA AND CITY OF BURLINGAME:

This project will comply with the 2022 California Building Code, 2022 California Residential Code (where applicable), 2022 California Mechanical Code, 2022 California Electrical Code, and 2022 California Plumbing Code, including all amendments as adopted in the Burlingame Municipal Code.

VERIFICATION: CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS PRIOR TO COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR INCONSISTENCIES BETWEEN THESE AND ALL DOCUMENTS OR AGAINST FIELD CONDITIONS SHALL BE AT ONCE REPORTED TO THE DESIGNER & STRUCTURAL ENGINEER IN WRITING.

DIMENSIONS: ALL DIMENSIONS MUST BE VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE DESIGNER & STRUCTURAL ENGINEER. MEASURED DIMENSIONS SUPERSEDE DIMENSIONS OBTAINED BY SCALING. EXTERIOR/INTERIOR DIMENSIONS ARE FACE OF STUD, UNLESS OTHERWISE NOTED. "CLR" MEANS CLEAR DIMENSION FROM FACE OF FINISH. NOTIFICATION: DESIGNER IS TO BE NOTIFIED IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS, DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS.

DOCUMENTS: THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, IN THAT WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES AND DETAILS, WHICH TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. UNLESS OTHERWISE SHOWN OR NOTED.

CONTINUOUS OPERATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK IN ACCORDANCE WITH THE LOCAL BUILDING JURISDICTION OFFICIAL:

“Construction Hours”Weekdays: 8:00 a.m. – 7:00 p.m. Saturdays:

9:00 a.m. – 6:00 p.m.

Sundays and Holidays: No Work Allowed(See City of Burlingame Municipal Code, Section 18.07.110 for details.)

(See City of Burlingame Municipal Code, Section 13.04.100 for details.)

Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m.

Note: Construction hours for work in the public right of way must now be included on the plans.

THE MOST RESTRICTIVE WORK HOURS SHALL GOVERN WORKING OUTSIDE OF THE PRE-DEFINED SCHEDULE SHALL BE COORDINATED WITH THE OWNER IN ADVANCE AND THE LOCAL BUILDING OFFICIAL IF THE PROPOSED WORKING HOURS FALL OUTSIDE OF THAT WHICH IS ALLOWED BY THE BUILDING OFFICIAL. STAGING, STORING MATERIALS AND PARKING SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. SUPPORT: PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ACCESSORIES, HEATING EQUIPMENT AND ALL OTHER ITEMS REQUIRING SUPPORT. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, ETC., DURING CONSTRUCTION AND/OR DEMOLITION.

MISCELLANEOUS: WORD "DEMOLISH" USED IN DRAWINGS MEANS REMOVE AS REQUIRED BY THE SCOPE OF WORK AND AND DISPOSE OFF-SITE. WORD "PROVIDE" USED IN DRAWINGS MEANS ITEM IS FURNISHED, INSTALLED AND CONNECTED AS REQUIRED FOR COMPLETE INSTALLATION. EXCEPT AS SPECIFICALLY NOTED OTHERWISE. WORD "VERIFY" USED IN DRAWINGS MEANS ITEM, DIMENSION, CONDITION, OR PROVISION SHALL BE ACCURATELY VERIFIED AND WRITTEN CLARIFICATION SECURED FROM DESIGNER PRIOR TO INITIATION OF ASSOCIATED WORK.

DEMO PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERIT IS ISSUED FOR THE PROJECT

“Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission.”

MATERIAL: ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL UON. INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE ALLOWED FOR ALL MATERIALS UON.

A. GENERAL:

(1) DELIVER ALL MATERIALS AND EQUIPMENT TO THE PROJECT IN THE MANUFACTURER'S ORIGINAL SEALED, LABELED CONTAINERS, IF ANY, AND PROTECT ALL PACKAGED AND UNPACKED ITEMS AGAINST MOISTURE, DUST, TAMPERING OR DAMAGE FROM IMPROPER HANDLING OR STORAGE. (2) EXCEPT AS SPECIFICALLY NOTED OTHERWISE, THE INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS AND EQUIPMENT. (3) ALL MATERIALS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN SHALL BE NEW, UNUSED MATERIALS UNLESS SPECIFICALLY MARKED OTHERWISE.

B. SUBSTITUTIONS:

(1) SPECIFIC NAMES ARE INDICATED TO ESTABLISH QUALITY AND FUNCTIONAL STANDARDS REQUIRED TO DO THE WORK, AND TO MEET THE QUALITY AND FUNCTION STANDARD OF THE CONTRACT. (2) SUBSTITUTE ITEMS SHALL BE EQUAL OR SUPERIOR TO THE ITEMS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

UNDERGROUND UTILITIES: ALL KNOWN UNDERGROUND CONDITIONS HAVE BEEN SHOWN. THE CONTRACTOR SHOULD EXERCISE CAUTION WHEN EXCAVATING TO AVOID DAMAGE TO (E) UNDERGROUND PIPES, CONDUITS, ETC. WHICH ARE TO REMAIN.

SPECIAL INSPECTIONS/TESTING REQUIREMENTS:

A. CONTRACTOR SHALL GIVE

THE DESIGNER AND OWNER 3-DAY MINIMUM NOTIFICATION FOR THE TESTS TO BE TAKEN. THE MINOR AMOUNTS OF MATERIAL REQUIRED FOR TESTING SHALL BE FURNISHED BY THE CONTRACTOR, THE COSTS OF TESTS SHALL BE BORNE BY THE CONTRACTOR.

B. SHOULD THE RESULTS OF ANY REQUIRED TESTS OR SAMPLES OF MATERIALS FAIL, THEN THE CONTRACTOR SHALL FURNISH NEW SAMPLES OF NEW MATERIALS, AND ADDITIONAL TESTS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE UNTIL THE MATERIALS ARE FOUND TO MEET TESTING REQUIREMENTS.

CLEAN UP:

A. DURING CONSTRUCTION: CLEAN-UP SITE AND ACCESS AND DISPOSE OF WASTE MATERIALS, RUBBISH AND DEBRIS AT REASONABLE INTERVALS DURING THE PROGRESS OF WORK, TO AVOID UNSIGHTLY OR HAZARDOUS CONDITIONS.

B. FINAL CLEANING OF GROUNDS: REMOVE FROM SITE, WITHIN AREA OF WORK, CONSTRUCTION WASTE AND UNUSED MATERIALS, AND DEBRIS OF ANY DESCRIPTION RESULTING FROM WORK. HOSE DOWN WITH WATER AND SCRUB, WHERE NECESSARY, CONCRETE AND ASPHALT PAVEMENT SOILED AS A RESULT OF THE WORK.

C. FINAL CLEANING OF BUILDING: REMOVE TRACES OF SOIL, WASTE MATERIALS, SMUDGES, AND OTHER FOREIGN MATTER FROM SURFACES. REMOVE TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES. CLEAN GLASS INSIDE AND OUTSIDE.

ADDITIONAL NOTES:

WASTE MANAGEMENT:

PROPER DOCUMENTATION TO BE PROVIDED BY CONTRACTOR PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.2.1

A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND PERSONAL AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4

B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OF THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

INSTALLER AND SPECIAL INSPECTOR REQUIRED QUALIFICATIONS:

Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.

Verification of compliance with green building measures code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.

DRAWING INDEX:

T-00	TITLE SHEET
	C3 C6 CHECKLIST
	EXTERIOR RENDERINGS
	SURVEY
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A-02	(N) 1ST FLOOR PLAN
A-03	(N) 2ND FLOOR PLAN
A-04	(N) ELEVATIONS
A-05	(N) ELEVATIONS
A-06	(N) ROOF PLAN
A-07	(N) BUILDING SECTIONS
A-08	MATERIAL BOARD
A-09	WINDOW & DOOR SCHEDULE

LANDSCAPE DRAWINGS

L-01  
L-02  
L-03  
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L-08

A-15	MANDATORY MEASURES
BMP	BMP
FAR	FAR CALCULATION
GN1	GENERAL NOTES
GN2	GENERAL NOTES

RECEIVED

7.17.25

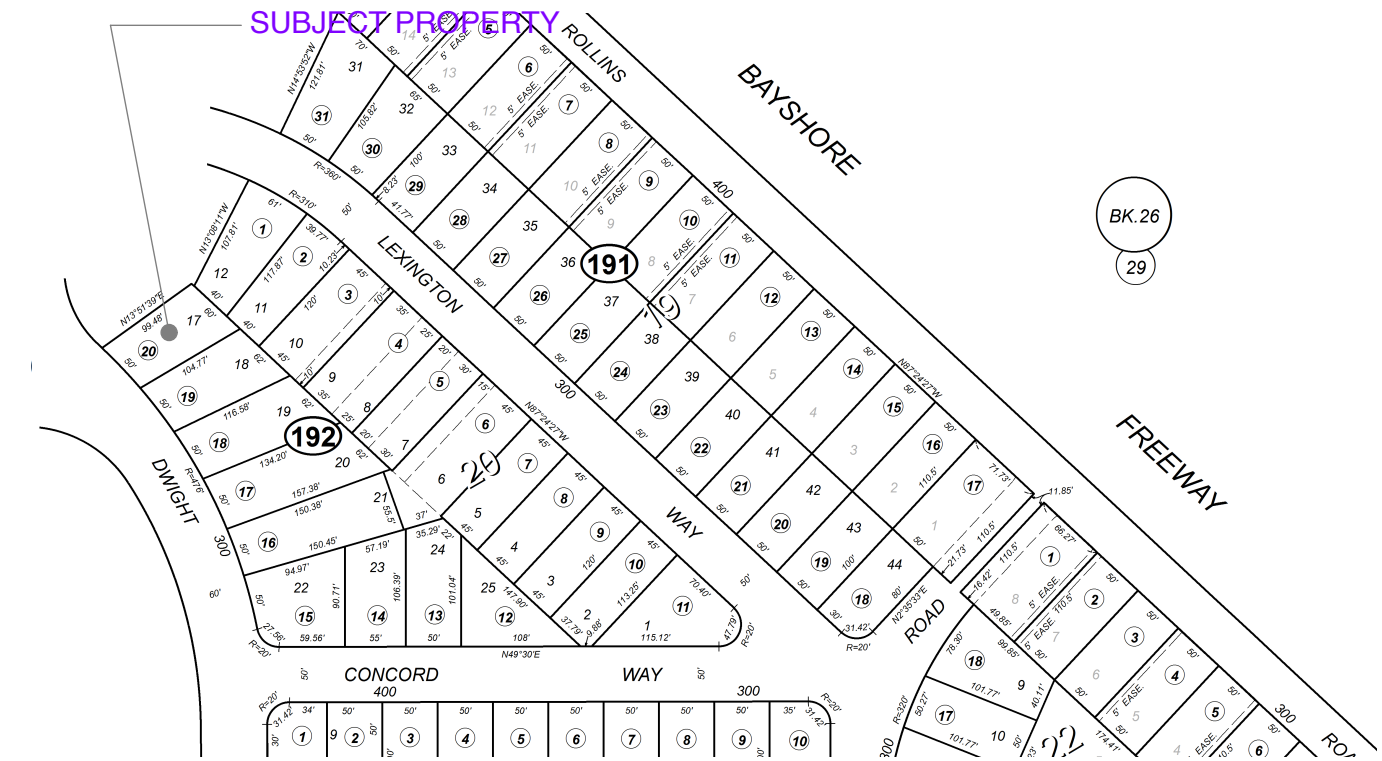
CITY OF BURLINGAME  
CDD-PLANNING DIVISION

REVISED

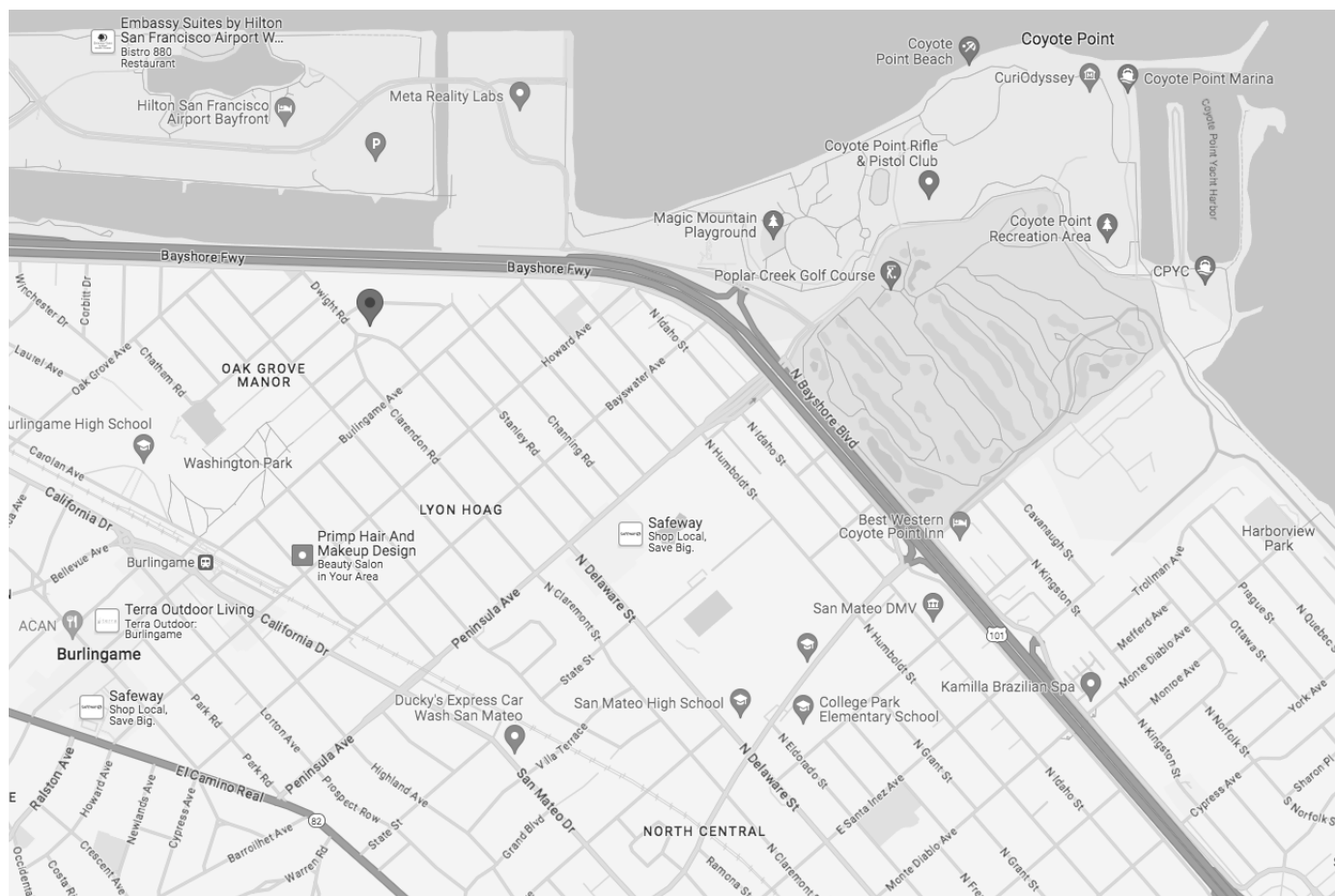
VIEW FROM ABOVE:



PARCEL MAP:



VICINITY MAP:



RESERVED  
FOR STAMP  
OF  
APPROVAL

**B1**  
**BARMINA**  
**DESIGN**

MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 850.704.4501  
mbarmina@yahoo.com

PRIVATE  
RESIDENCE

340 DWIGHT ROAD  
BURLINGAME, CA, 94010  
APN#: 029-192-200

TITLE SHEET

CLIENT NAME:

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

REVISIONS:

DATE	REV #	DESCRIP.
2025/01/29	REV1	PLAN CHECK COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

3/3/25

SHEET NUMBER:

T-00







EXTERIOR RENDERINGS



GARAGE SIDE VIEW



FRONT VIEW



FRONT RIGHT VIEW



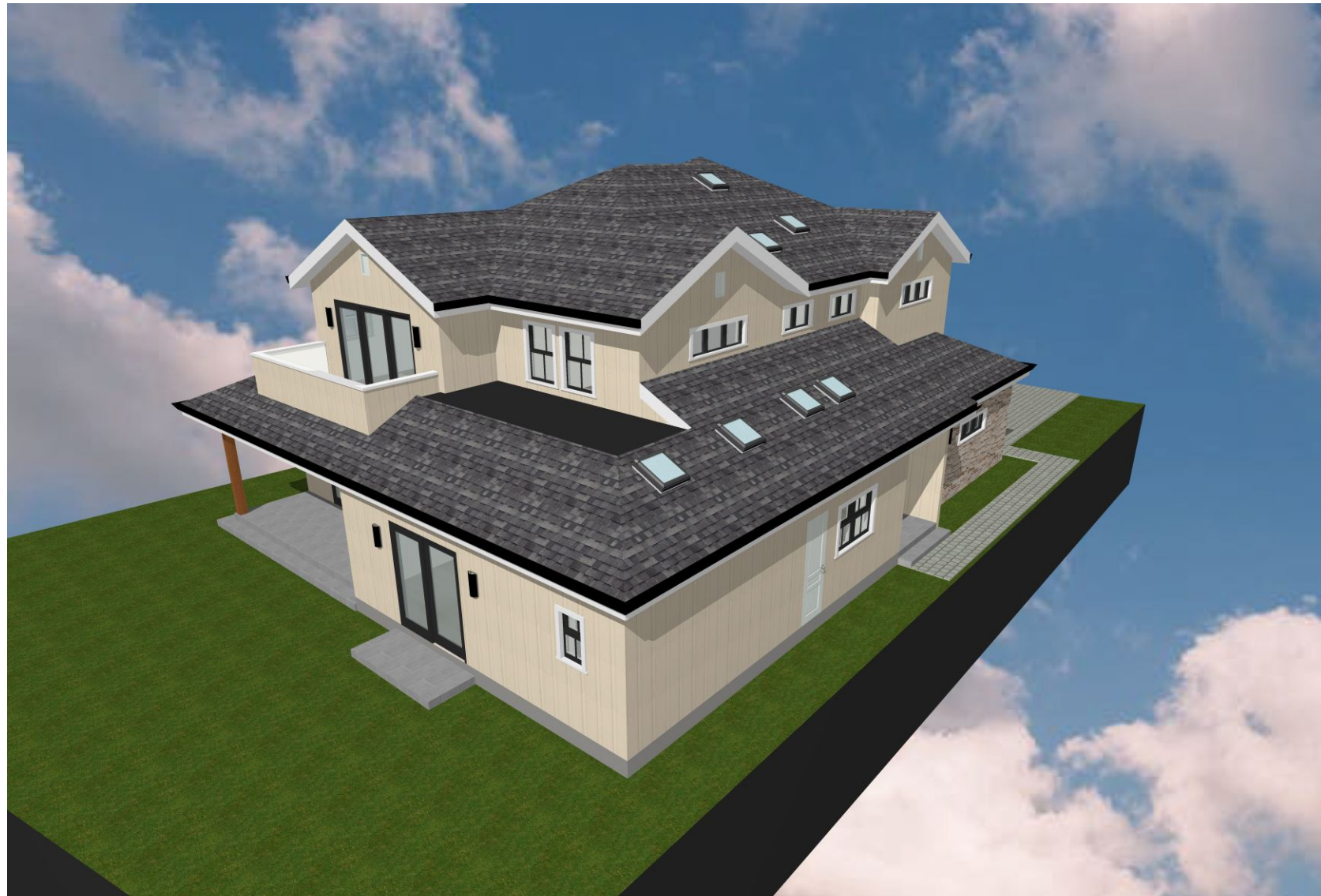
REAR YARD LEFT



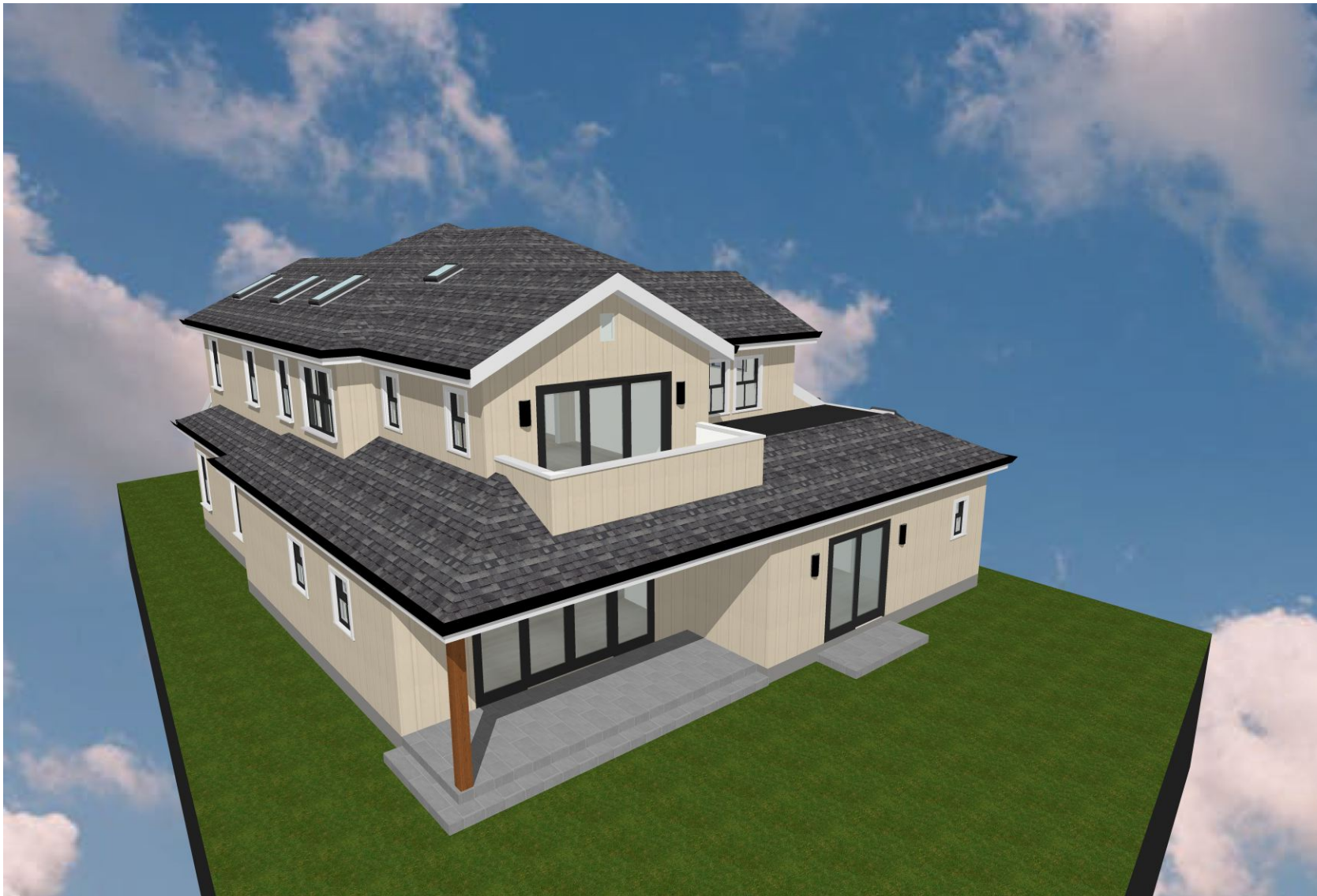
REAR YARD RIGHT



VIEW FROM ABOVE (LEFT)



VIEW FROM ABOVE (REAR)



VIEW FROM ABOVE REAR

RESERVED  
FOR STAMP  
OF  
APPROVAL



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BURLINGAME, CA, 94010  
APN#: 029-192-200

Benj\_rev final,  
MATERIAL  
BOARD

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

REVISIONS:

DATE	REV #	DESCRIP.
2025/01/29	REV1	PLAN CHECK COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

7/9/25

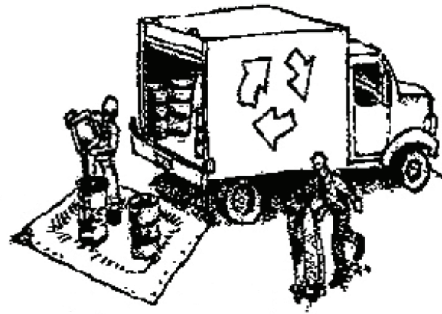
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# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



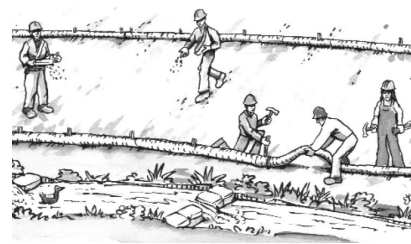
### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

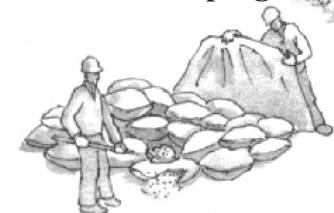
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



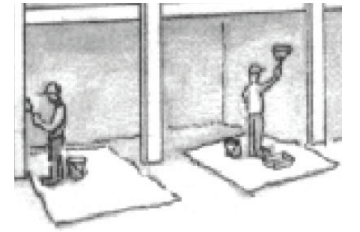
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

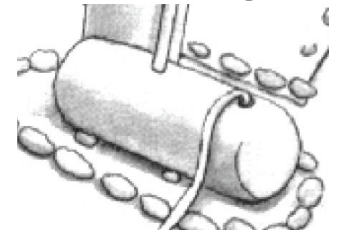
## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.


## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

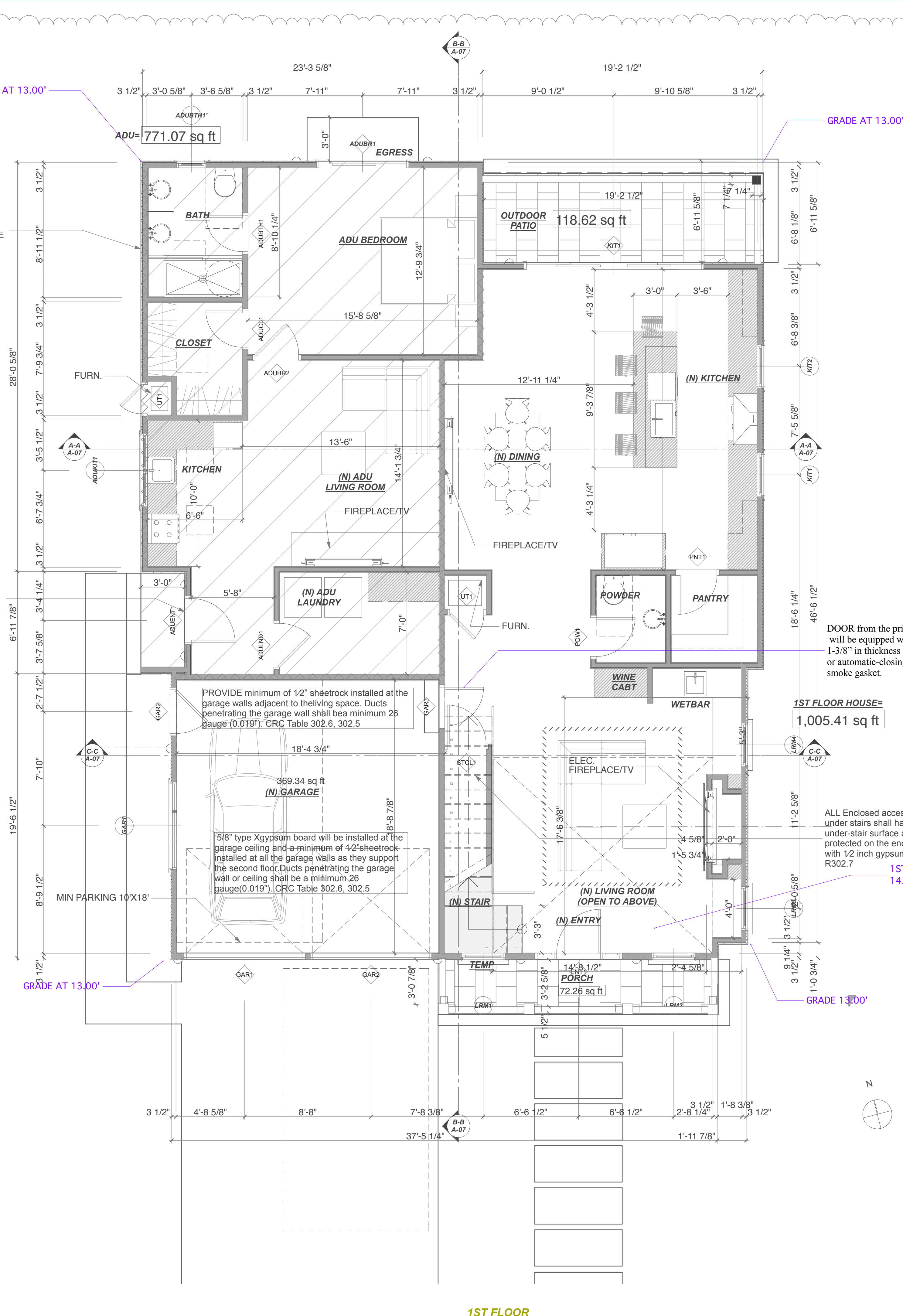
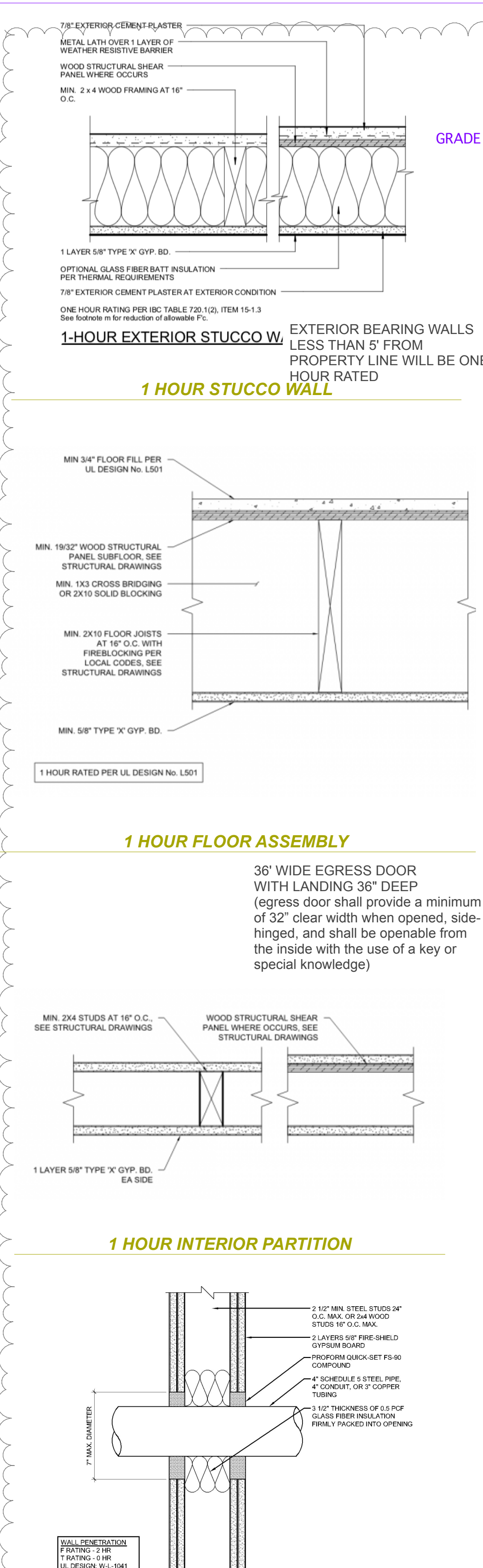


TOPOGRAPHIC SURVEY PLAN 340 DWIGHT ROAD A.P.N. 029-192-200 LOT 17, BLOCK 20, 20 MAPS 55-56 BURLINGAME SAN MATEO COUNTY CALIFORNIA		PREPARED FOR: BENJAMIN ZHU		DAINS LAND SURVEYING rdains@dainslandsurveying.net (650) 743-0831			
DRAWN BY: RJD		DESIGNED BY: ---		CHECKED BY: RJD		REV.:	
SCALE: 1"=10'		DATE: 09/03/2024		PROJECT NO. 24-1483		DESCRIPTION:	
SHEET 1 OF 1						BY: DATE:	









**FLOOR PLAN NOTES:**

- LOCATION OF ADDRESS NUMBERS SHALL BE PLACED WHERE THEY CAN BE CLEARLY VISIBLE FROM THE ADJACENT STREET OR ROAD.
- LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 36"
- THE LANDING AT AN EXTERIOR DOORWAY IS ALLOWED TO BE NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS OR 1/2" FOR OTHER DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED.
- GYPSUM BOARD SHALL BE 1/2 INCH THROUGHOUT, EXCEPT 5/8 INCH TYPE X DRYWALL WILL BE USED AT STORAGE AREAS UNDER STAIRS AND AT GARAGE CEILING AND WALLS COMMON TO DWELLING AND WALLS SUPPORTING 1 HOUR CEILING
- FOUNDATION VENTILATION UNDER-FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. OPENINGS TO BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. THEY SHALL BE COVERED WITH CORROSIVE-RESISTANT 1/4 INCH WIRE MESH VENTS.
- CRAWL SPACE VENTILATION: TO BE CALCULATED
- ATTICS AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION OF EACH SEPARATE SPACE. A MINIMUM OF 1" OF AIR SPACE IS REQUIRED BETWEEN THE INSULATION AND ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREAS OF THE SPACE VENTILATED, WITH HALF OF THE VENTING LOCATED IN THE UPPER PORTION OF THE SPACE AND THE BALANCE PROVIDED BY SOFFIT VENTS.
- ROOF & ATTIC VENTILATION: see roof plan sheet for calculation
- THE MINIMUM NET FREE VENTILATING AREA MAY BE REDUCED TO 1/300 OF THE AREA WHEN AN APPROVED VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH APPROVED MATERIAL WITH OPENINGS A MINIMUM OF 1/8" AND NOT EXCEEDING 1/4".
- ATTIC BATT'S INSULATION SHALL BE BAFFLED OR BEND DOWNWARD AT EAVES TO MAINTAIN 1" MINIMUM GAP FOR AIR FLOW. UBC 1505.3
- SHOWER DOOR SIZE TO HAVE A NET OPENING OF 22" MINIMUM AND MUST BE SAFETY TEMPERED GLAZING
- SHOWER COMPARTMENT REGARDLESS OF SHAPE, SHALL HAVE A MIN FINISHED INTERIOR OF 1.024 SQ. INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 34 INCH CIRCLE. NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD AND SAFETY GRAB BARS OR RAILS ARE ALLOWED
- BUILT-UP SHOWER/TUB HORIZONTAL SURFACES SHALL BE PROTECTED BY APPLYING 2 LAYERS OF 15 LB. ASPHALT FELT WITH 20 LB./SQ.FT. ASPHALT BETWEEN LAYERS AND A FLOOD COAT OF 20 LBS./SQ. FT.
- MEMBRANE MUST EXTEND A MIN OF 8 INCHES UP WALL OR 3 INCHES HIGHER THAN CURB
- PROVIDE BUILDING PAPER 6 FT. HIGH MINIMUM ON FACE OF STUDS OF SHOWER (TUB SHOWER) ENCLOSURE AND FINISH WALLS WITH CERAMIC TILE OVER MORTAR TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE DRAIN
- PROVIDE SAFETY GLASS AT WINDOWS IN SHOWER/BATHTUB ENCLOSURES WITHIN 60" ABOVE THE DRAIN INLET
- MOISTURE RESISTANT GYP BOARD SHALL BE APPLIED AT TUB AND/OR SHOWER WALLS. NOT REQUIRED AT MORTAR OR CEMENT BOARD BASES
- PROVIDE BACKING FOR ALL ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: SHOWER ENCLOSURES, TP HOLDER, TOWEL BARS, MEDICINE CABINET, ETC. - CONDUCT WALK-THRU WITH HOMEOWNER PRIOR TO HANGING GYPSUM BOARD TO IDENTIFY LOCATIONS THAT REQUIRE BACKING

**DRAWING LEGEND:**

	<b>NEW 2X4 WALL TYP.</b>
	<b>NEW 1 hour rated 2X4 WALL TYP.</b>
	<b>NEW WINDOW LABEL TYP. (SEE WINDOW SCHEDULE)</b>
	<b>NEW DOOR LABEL TYP. (SEE DOOR SCHEDULE)</b>

**LIGHT AND VENT CHART FOR HABITABLE ROOMS**

ROOM NAME	SIZE OF ROOM IS SQ. FT.	LIGHT (8% MIN) in sq. ft.	LIGHT PROVIDED in sq. ft.	VENT (4% MIN) in sq. ft.	VENT PROVIDED in sq. ft.
LIVING ROOM	378	<b>30.24</b>	203	<b>15.12</b>	75
KITCHEN/DINING	425.55	<b>34.044</b>	105	<b>17.022</b>	52.5
ADU LIVING ROOM	254.39	<b>20.3512</b>	25.5	<b>10.1756</b>	18.5
ADU BEDROOM	201.51	<b>16.1208</b>	42	<b>8.0604</b>	21
ADU BATH	58.06	<b>4.6448</b>	10	<b>2.3224</b>	7
BEDR #1	135.41	<b>10.8328</b>	36	<b>5.4164</b>	24
BEDR #2	130.16	<b>10.4128</b>	36	<b>5.2064</b>	24
SHARED BATH	56.99	<b>4.5592</b>	8	<b>2.2796</b>	4
MASTER BEDR	194.28	<b>15.5424</b>	80.5	<b>7.7712</b>	50.75
MASTER BATH	100.81	<b>8.0648</b>	21.5	<b>4.0324</b>	6.75

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*[Signature]*

**PRIVATE RESIDENCE**

1 HOUR FLOOR ASSEMBLY, 1 HOUR INTERIOR PARTITION

CLIENT NAME:

Benjamin Zhu, Shouzhi Wan, Wentao Shi

**REVISIONS:**

DATE	REV #	DESCRIP.
2025/01/29	REV1	PLAN CHECK COMMENTS

**DRAWN BY:**

MVB

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APN#: 029-192-200

2ND FLOOR

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

REVISIONS:

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2025/01/29	REV1	PLAN CHECK COMMENTS

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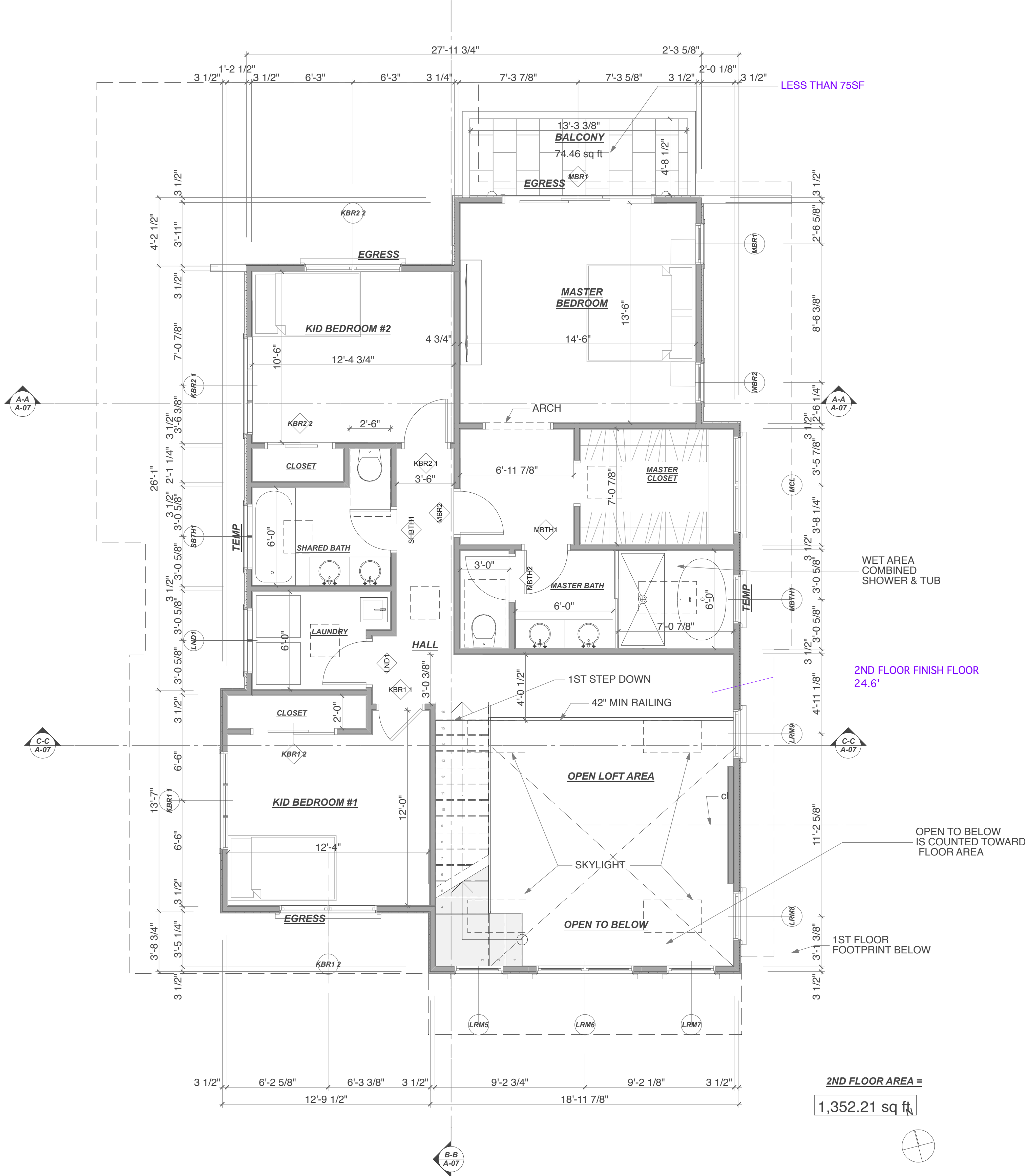
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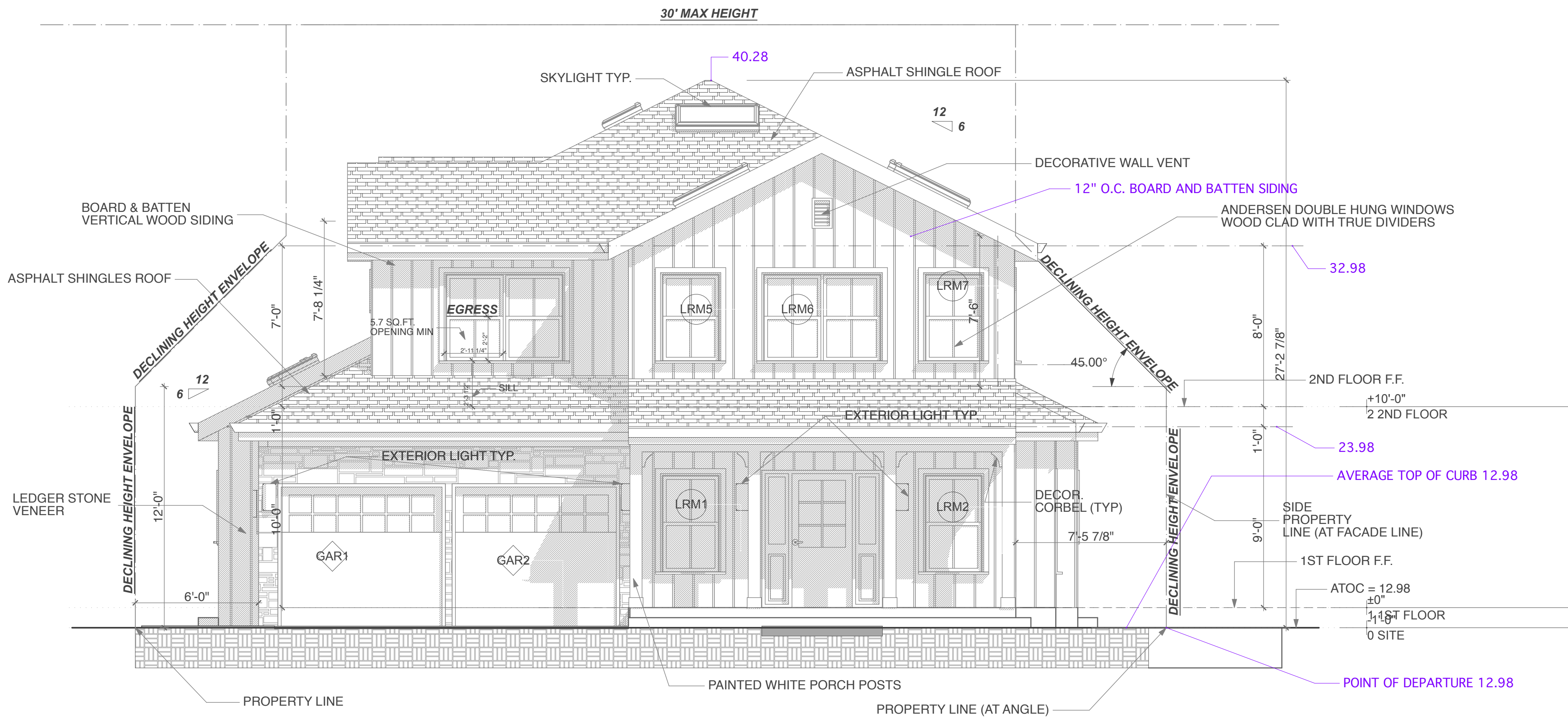
7/9/25

SHEET NUMBER:

A-03







(FRONT STREET ELEVATION)

PROPOSED

ELEV S

1/4" = 1'-0"

GENERAL ELEVATION NOTES:

- PROVIDE CONTINUOUS MIN 26 GA. CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES 3/4 INCH BELOW THE FOUNDATION PLATE LINE OF EXTERIOR STUD WALLS AND SHALL BE OF THE TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. WEEP SCREEDS SHALL BE PLACED A MINIMUM OF 8" ABOVE THE EARTH OR 4" ABOVE PAVED AREAS.
- ROOFING ASSEMBLY AND APPLICATION SHALL BE IN ACCORDANCE WITH USE 1503 STANDARDS AND CLASSIFIED FOR R-3 OCCUPANCY, **MIN CLASS A ROOF**
- FLASHING SHALL BE MINIMUM 26 GA. GALVANIZED SHEET METAL, OR APPROVED EQUAL AT ALL VALLEYS AND WHERE FLASHING/COUNTER FLASHING OR COPING OCCUR. LEAD FLASHING MAYBE USED WITH TILE ROOF.
- GRADE ADJACENT TO HOUSE (WITHIN 5') SHALL BE SLOPED AWAY AT 2% MIN

(N) SIDING WALL FINISH:

1. Water-resistive barrier materials for non-stucco finishes shall comply with one of the following [R703.2]:
1. No 15 felt complying with ASTM D226, Type 1.
2. ASTM E2556, Type 1 or 2.
3. ASTM E331 in accordance with R703.1.1.
4. Other approved materials in accordance with the manufacturer's installation instructions.

PROVIDE class A roofing:

The entire roof covering of every existing structure where more than 10 percent of the total roof area is replaced within any one- year period; the entire roof covering of every new structure; and any roof covering applied in the alteration, repair, or replacement of the roof of every existing structure shall be a fire-retardant roof covering that is at least Class A.

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RESIDENCE**  
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APN#: 029-192-200

ELEV S, ELEV N

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

REVISIONS:

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2025/01/29	REV1	PLAN CHECK COMMENTS

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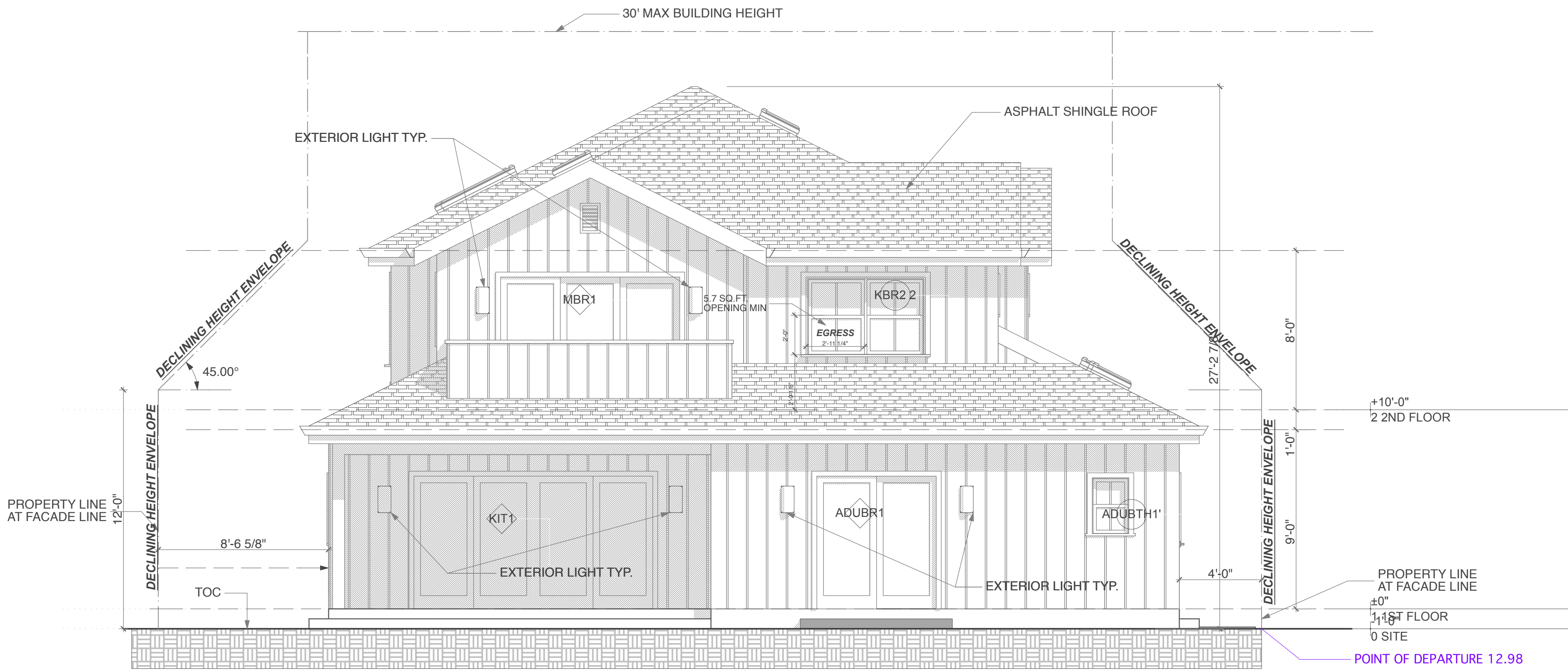
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PROPOSED

ELEV N

1/4" = 1'-0"



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ELEV E, ELEV W

CLIENT NAME:

R1

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Wan, Wentao Shi

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A-05



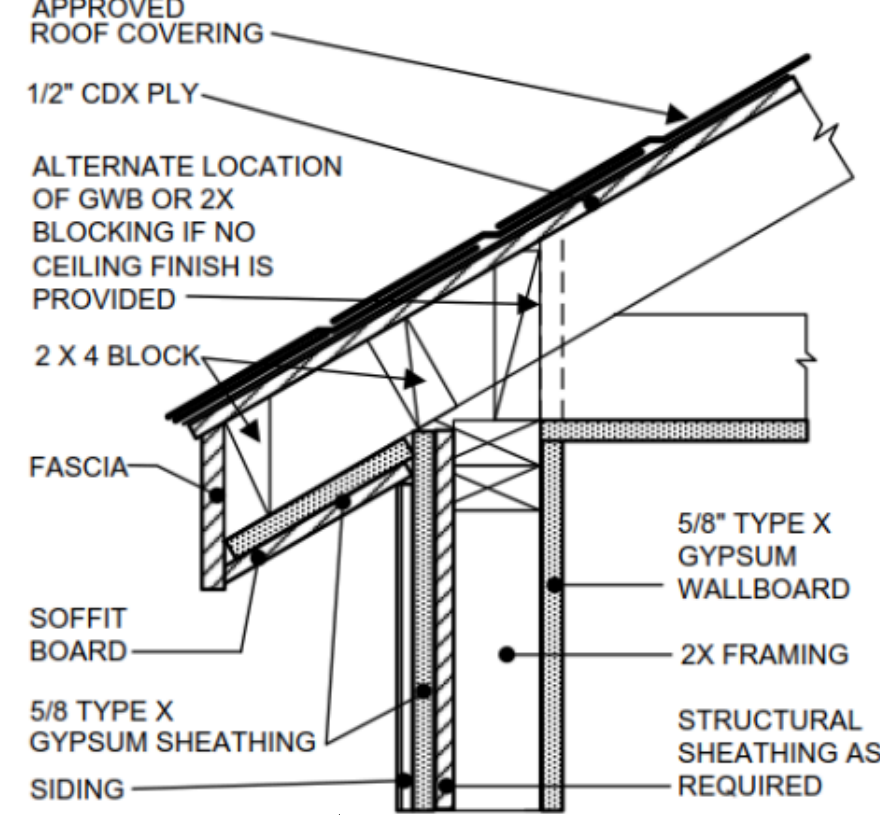
PROPOSED ELEV E 1/4" = 1'-0"



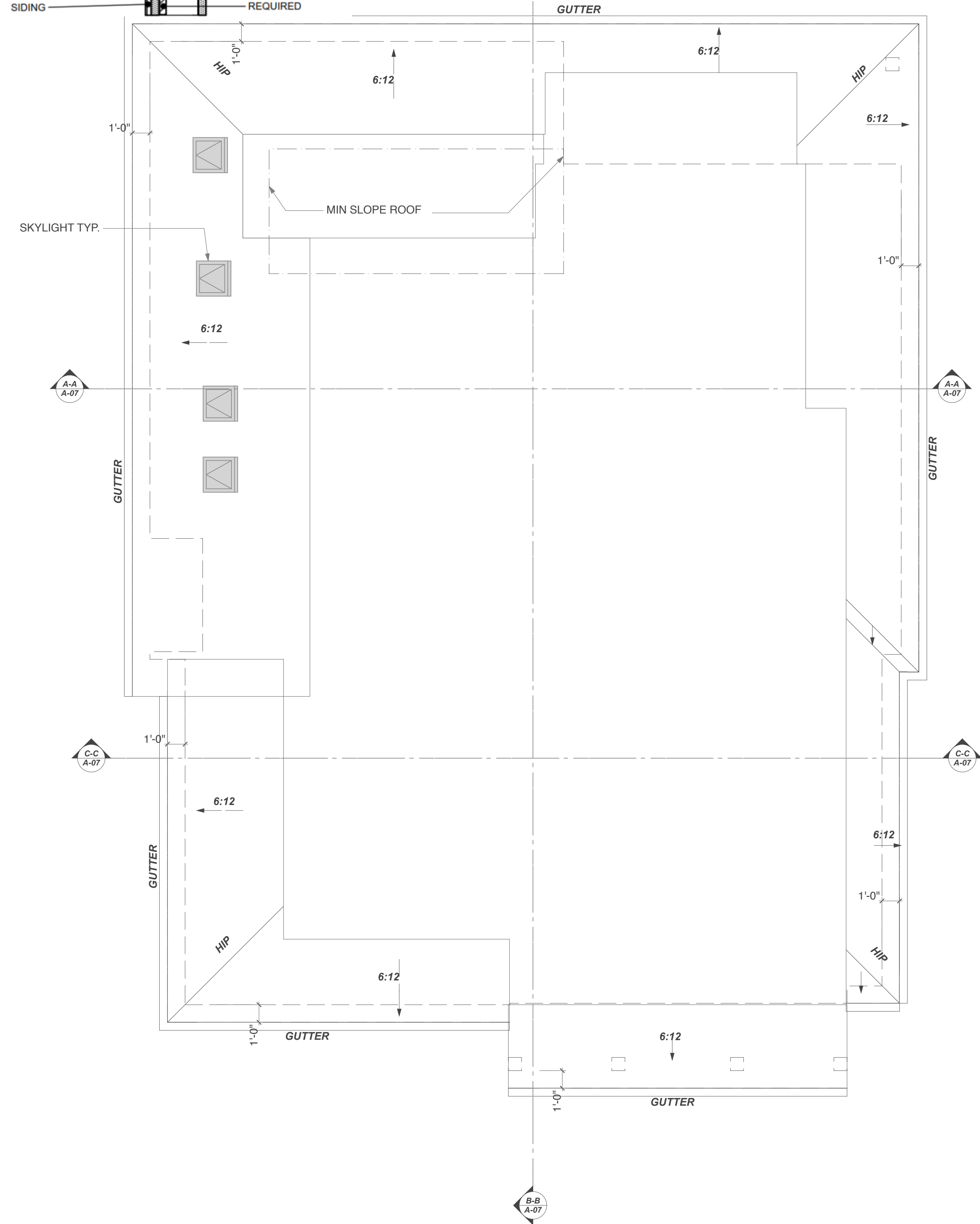
PROPOSED ELEV W 1/4" = 1'-0"



1 HOUR PROTECTED EAVE (NO VENTING)



all roof projections which project beyond the point where fire-resistive construction would be required will be constructed of one-hour fire-resistance-rated construction



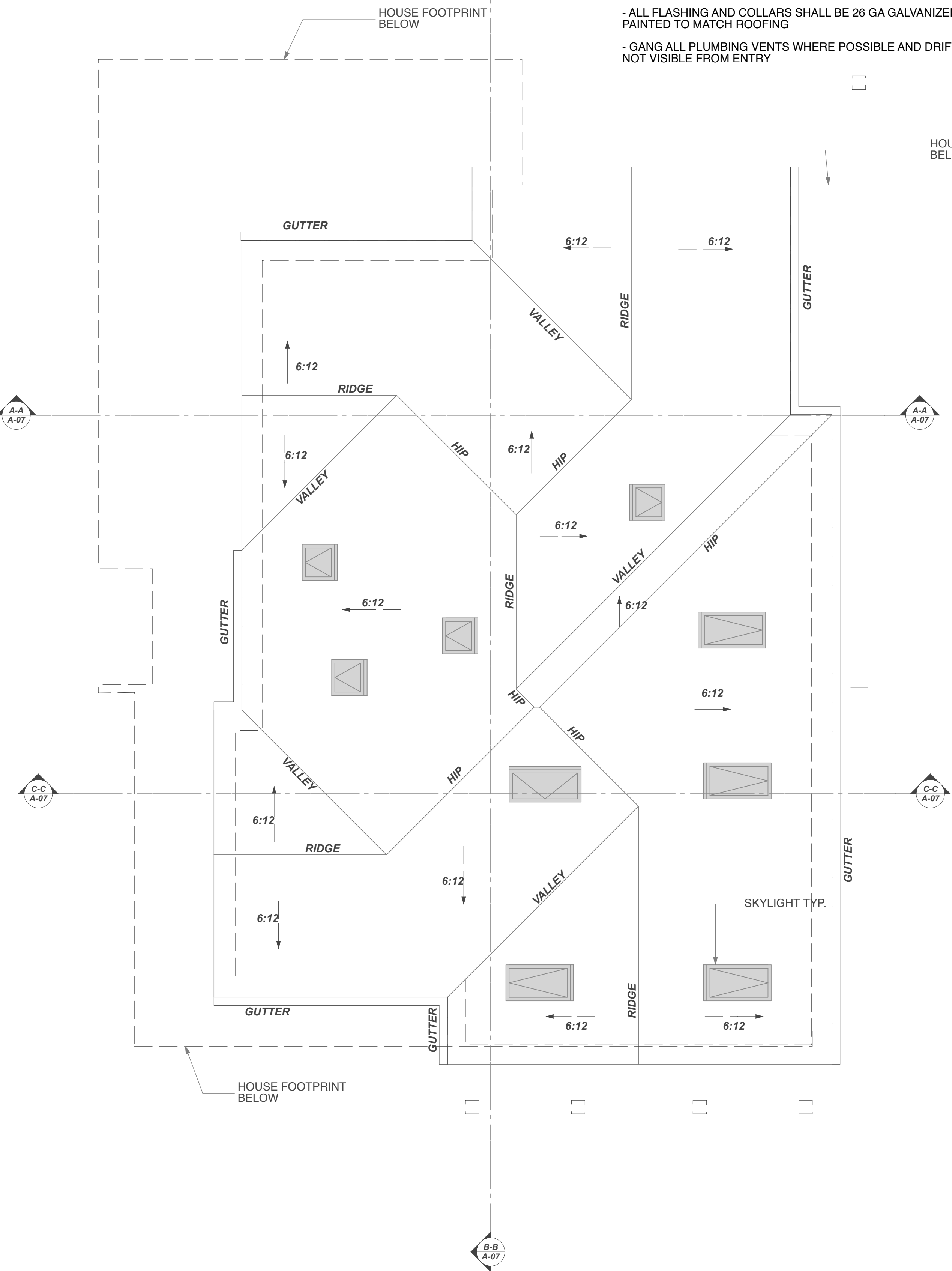
PROPOSED LOWER ROOF PLAN 1/4" = 1'-0"

ATTIC AND ROOF VENTING

ROOF VENTILATION CALCULATION:

TO BE CALCULATED

AREAS WITHOUT ATTIC - PROVIDE CLOSED SPRAY FOAM INSULATION (master bedroom and family room)



PROPOSED UPPER ROOF PLN 1/4" = 1'-0"

ROOF PLAN NOTES:

- ALL ROOF SLOPES AS NOTED
- INSTALLATION SHALL BE IN ACCORDANCE WITH MFG'S INSTRUCTIONS AND APPLICABLE BUILDING CODE
- TYP. SLOPED ROOF - ASPHALT SHINGLE ROOF OVER GRACE ICE & WATER SHIELD OVER 1/2" CDX PLYWD OVER 2X RAFTERS @ 16" O.C.
- TYP. FLAT ROOF - TPO ROOF TPO MEMBRANE OVER 1/2" CDX PLYWD OVER 2X RAFTERS @ 16" O.C.
- DOWNSPOUTS/GUTTERS:
  - GUTTERS @ SLOPED ROOFS SHALL BE 5" OGEE 26 GA GALVANZIED (UNFINISHED)
  - DOWNSPOUTS AT HALF-ROUND GUTTERS SHALL BE 3" ROUND 26 GA GALVANIZED (UNFINISHED)
  - DOWNSPOUTS AT FASCIA GUTTERS SHALL BE TO BE ALULMINUM 2-1/2" X 3-1/2" PRE-FINISHED BLACK
  - SPLASH BLOCKS REQUIRED AT ALL DOWNSPOUTS
  - ALL FLASHING AND COLLARS SHALL BE 26 GA GALVANIZED SHEET METAL PAINTED TO MATCH ROOFING
  - GANG ALL PLUMBING VENTS WHERE POSSIBLE AND DRIFT TO LOCATIONS NOT VISIBLE FROM ENTRY

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UPPER ROOF  
PLN, LOWER  
ROOF PLAN,  
MATERIAL  
BOARD

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

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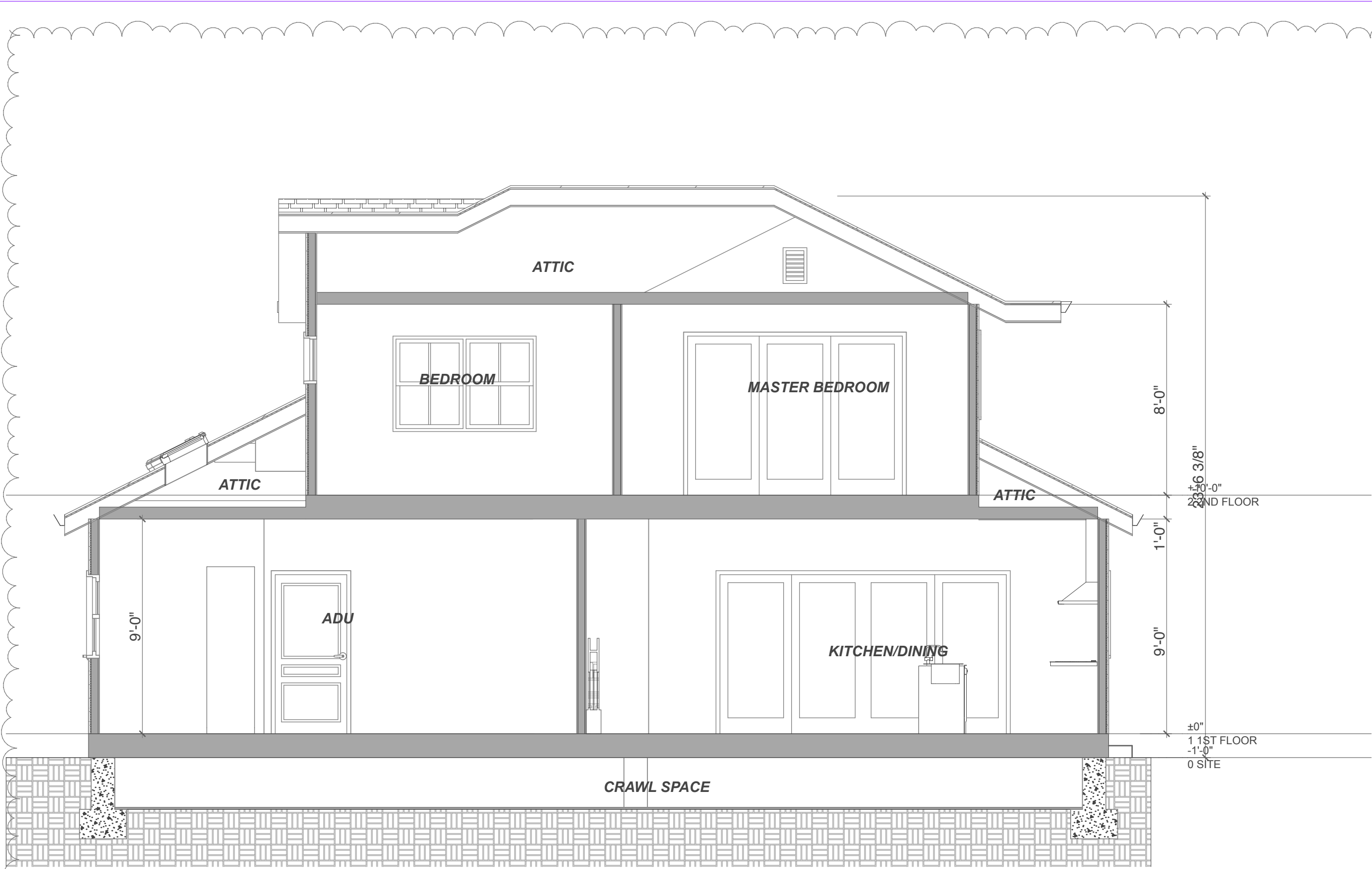
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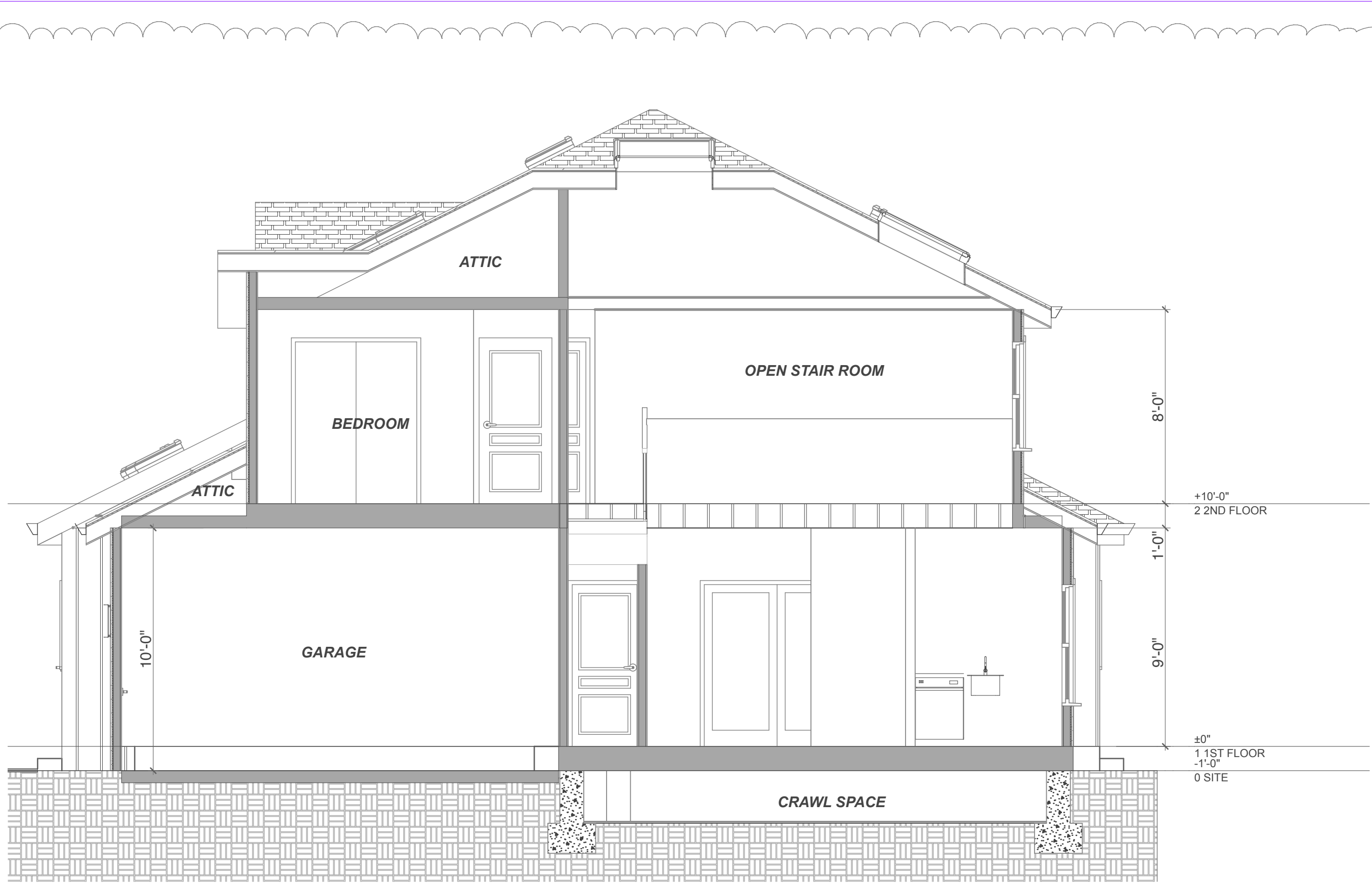
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A-06





BUILDING SECTION A-A 1/4" = 1'-0"



BUILDING SECTION C-C 1/4" = 1'-0"



BUILDING SECTION B-B 1/4" = 1'-0"

GENERAL NOTES:

FOR ALL MEMBER SIZES, FOOTING DETAILS AND FRAMING - REFER TO STRUCTURAL DRAWINGS

- INSULATION SHALL BE APPLIED IN ACCORDANCE WITH T-24 REPORT AND MANUFACTURER'S INSTRUCTIONS

CEILING R VALUE - R30  
WALL R VALUE - R-15  
CRAWL SPACE /floor R VALUE - R-19  
REFER TO TITLE 24 REPORT

PER TITLE 24  
U-factor shall be 0.3 and  
SHGC shall be 0.23

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A-A, B-B, C-C

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DOUBLE HUNG WINDOWS  
BY ANDERSEN  
400 SERIES  
TILT-WASH  
DOUBLE-HUNG WINDOW

COLOR DARK BRONZE

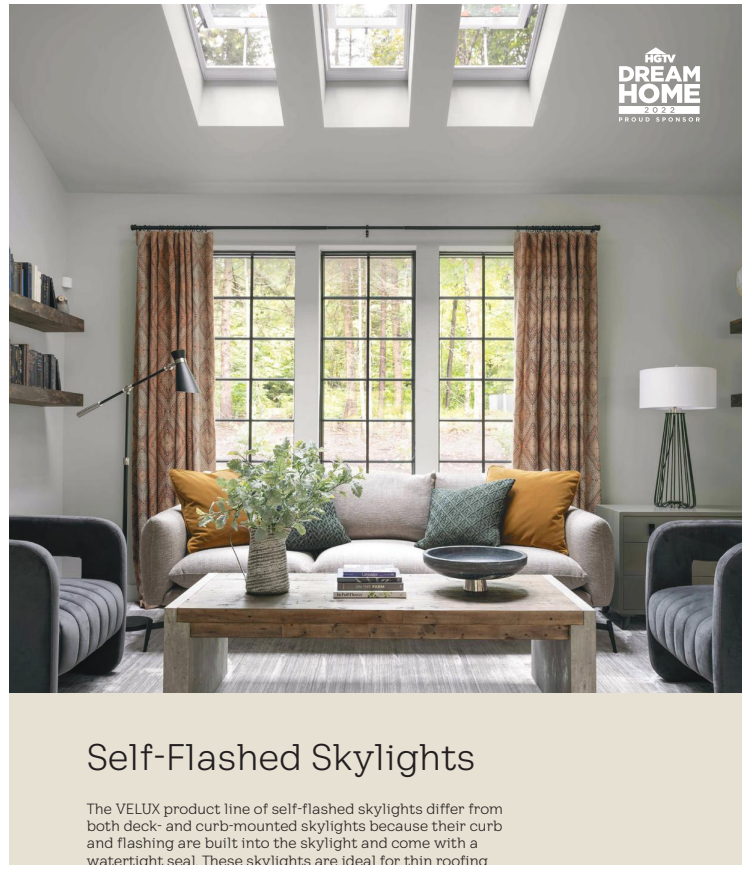
VINYL WINDOWS  
WITH TRUE DIVIDERS



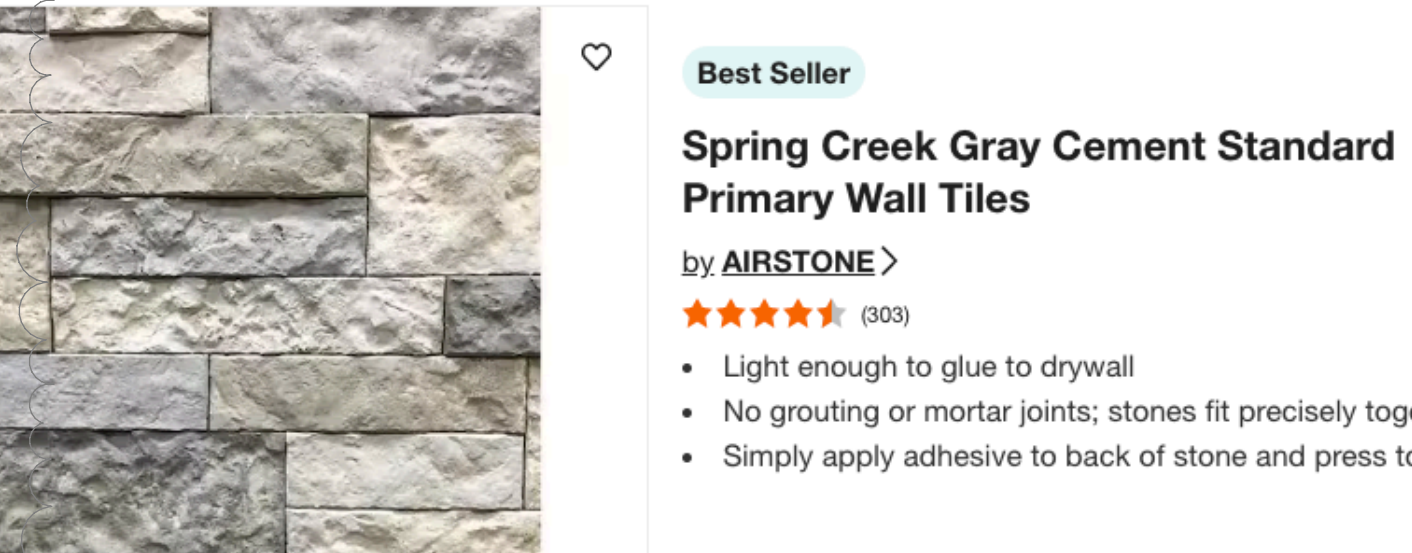
EXTERIOR DOORS BY ANDERSEN  
VINYL WITH TRUE DIVIDER  
DARK BRONZE



SKYLIGHTS BY VELUX:  
WHITE FRAME



GARAGE WALL STONE VENEER:

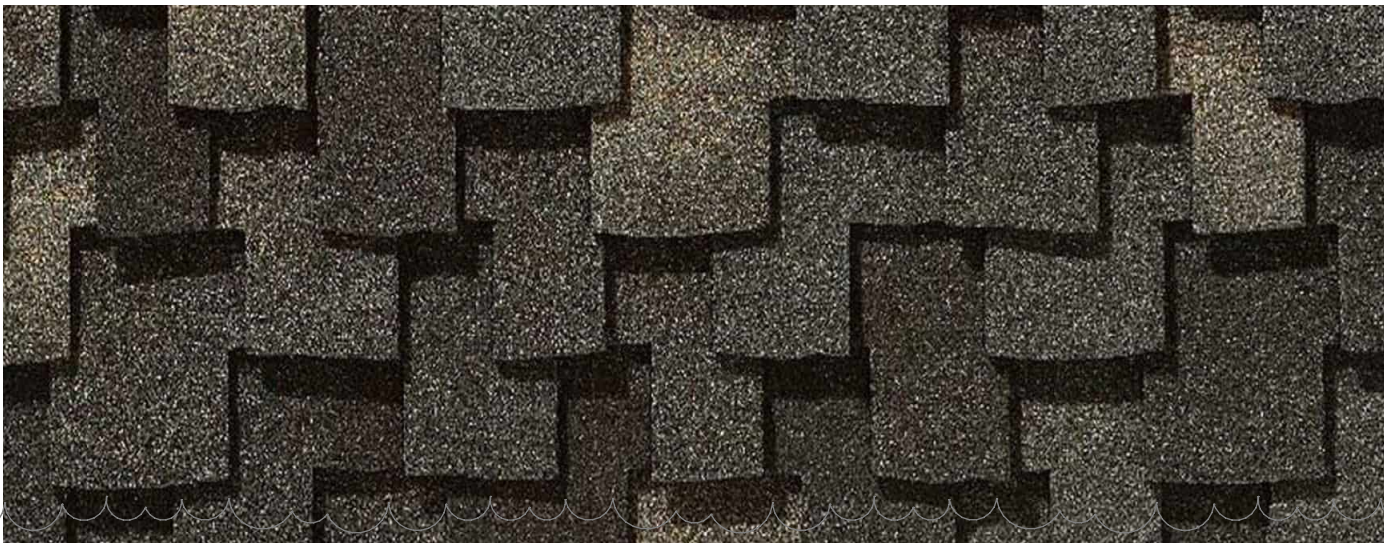


WALL:  
BOARD & BATTEN VERTICAL SIDING  
COLOR - BM BALLET WHITE 12" O.C.

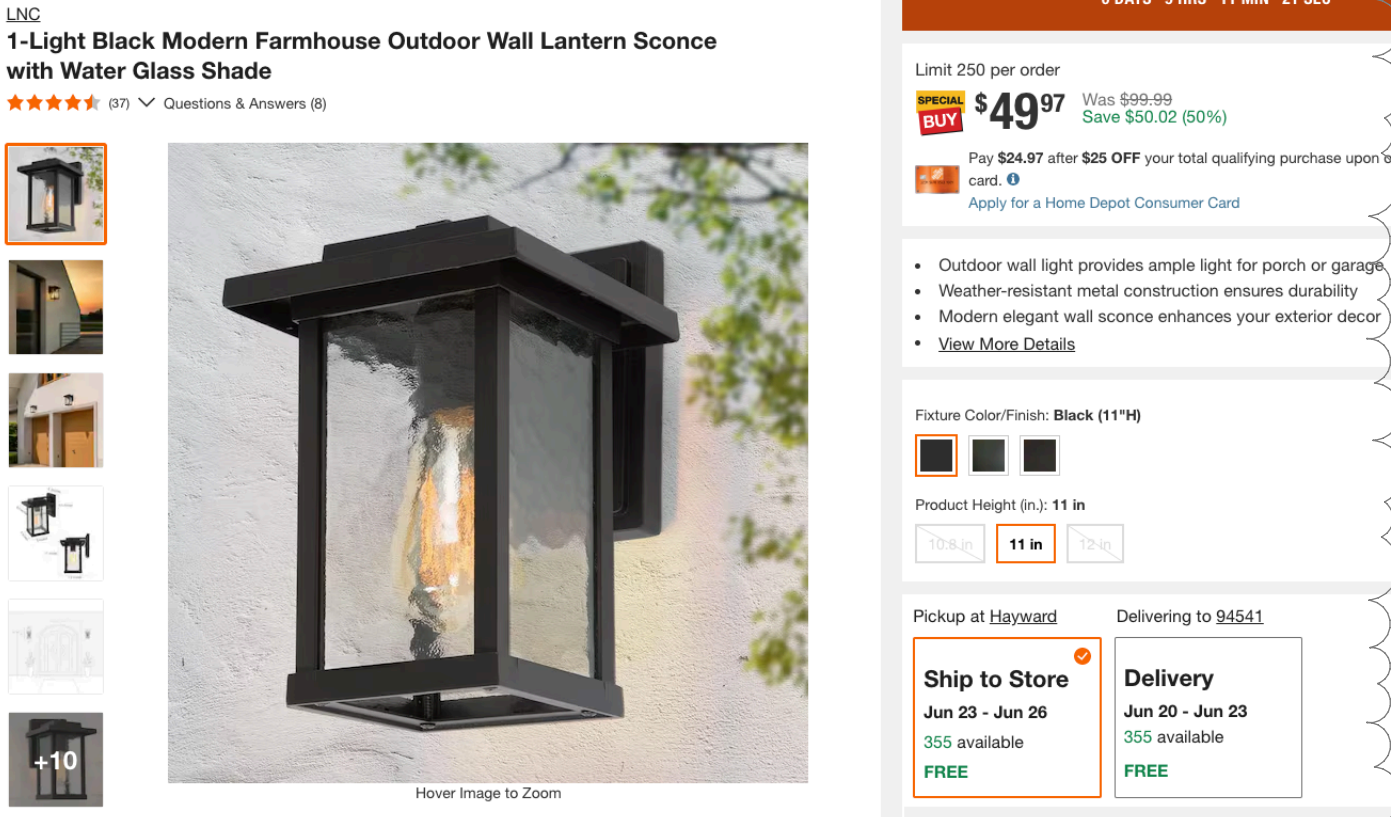


ROOFING MATERIAL  
ASPHALT SHINGLES COLOR  
AND MANUFACTURER

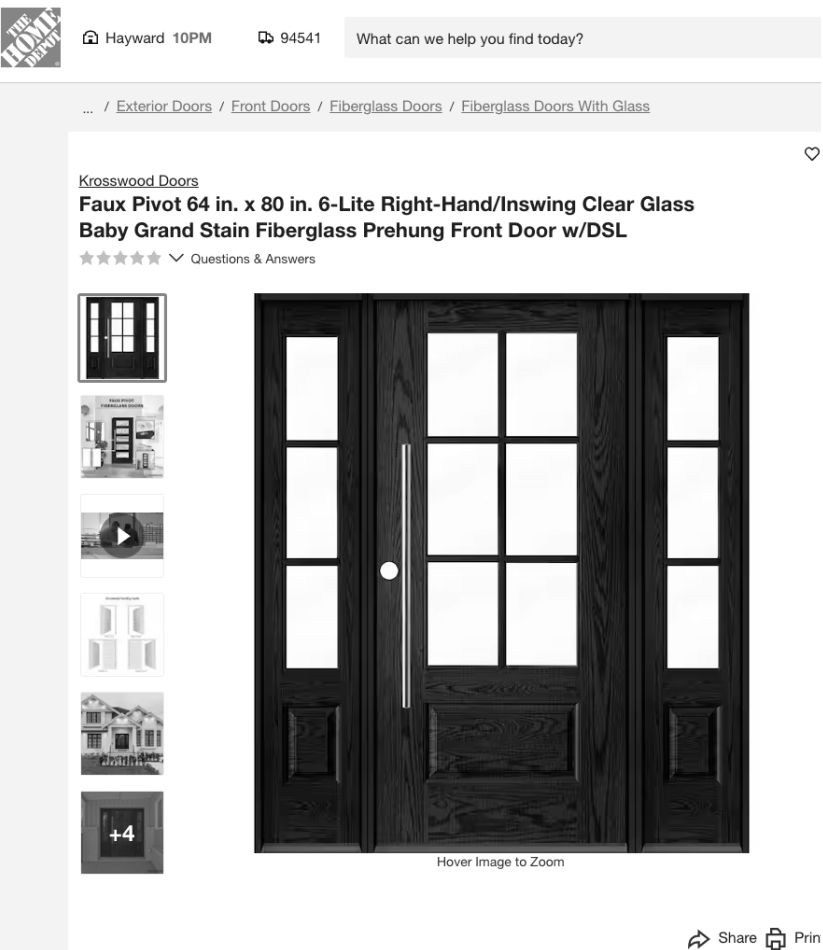
CERTAINTeed  
- Presidential TL AR - Autumn Blend



EXTERIOR LIGHTS:



FRONT DOOR (FIBERGLASS IMITATION WOOD)



GARAGE DOOR (STEEL DOOR IMITATION WOOD)



ROOF EDGE FACIA WOOD PAINTED  
WHITE

GUTTER METAL  
PAINTED TO MATCH WINDOW FRAME

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, (E) EAST  
ELEVATION,  
SITE PLAN

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

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DOOR SCHEDULE											
ID	ROOM NAME	DOOR TYPE	MANUFACTURER	W x H Size	2D Symbol	3D Front View	GLAZING	FRAME MATERIAL	HARDWARE/ LOCK	THRESHOLD	NOTES:
ADUBR1	ADU BEDROOM	SLIDER	TO BE SELECTED	6'-0"x6'-8"							
ADUBR2	ADU BEDROOM	SWING		3'-0"x6'-8"							
ADUBTH1	ADU BATH	SWING		2'-6"x6'-8"							
ADUCL1	ADU CLOSET	SWING		2'-6"x6'-8"							
ADUENT1	ADU ENTRY	SWING		3'-0"x6'-8"							
ADULND1				3'-0"x6'-8"							
ENT1	ENTRY	SWING WITH SIDE LIGHTS		3'-0"x6'-8"							
GAR1	GARAGE	GARAGE OVERHEAD DOOR		8'-0"x7'-0"							
GAR2	GARAGE	GARAGE OVERHEAD DOOR		8'-0"x7'-0"							
GAR2	GARAGE	SWING		3'-0"x6'-8"							
GAR3	GARAGE	SWING		2'-8"x6'-8"							
KBR1 1	KID BEDROOM	SWING		2'-8"x6'-8"							
KBR1 2	KID BEDROOM	SLIDER		5'-0"x6'-8"							
KBR2 1	KID BEDROOM	SWING		2'-8"x6'-8"							
KBR2 2	KID BEDROOM	SLIDER		4'-0"x6'-8"							
KIT1	KITCHEN	SLIDER		12'-0"x6'-8"							
LND1	LAUNDRY			2'-8"x6'-8"							
MBR1	MASTER BEDROOM	SLIDER		9'-0"x6'-8"							
MBR2	MASTER BEDROOM	SWING		2'-8"x6'-8"							
MBTH1	MASTER BATH	SWING		2'-8"x6'-8"							
MBTH2	MASTER BATH	SWING		2'-8"x6'-8"							
PDW1	POWDER	SWING		2'-8"x6'-8"							
PNT1	PANTRY	SWING		2'-8"x6'-8"							
SHBTH1	SHARED BATH	SWING		2'-6"x6'-8"							
STCL1	STAIR CLOSET	SWING		2'-8"x6'-8"							
UT1	UTILITY	SWING		2'-0"x6'-8"							
UT1	UTILITY	SWING		2'-4"x6'-8"							

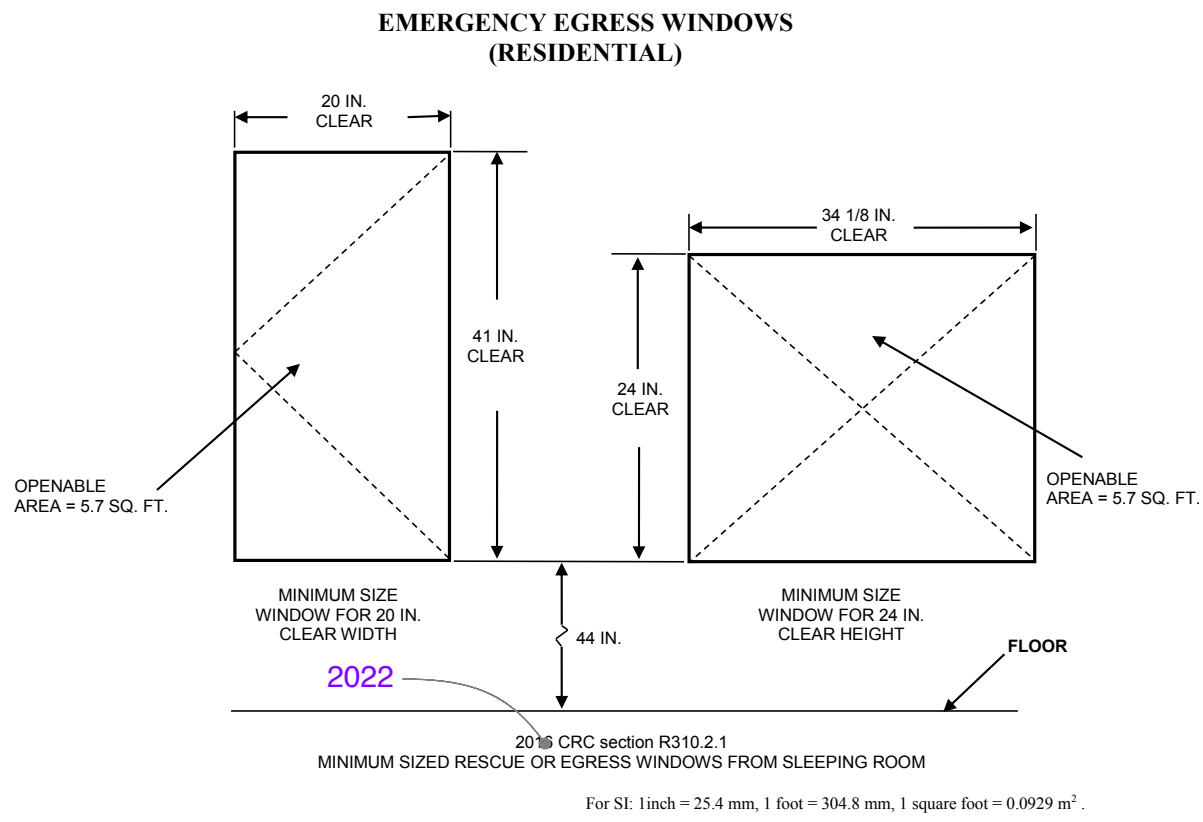
**CONTRACTOR TO VERIFY ALL SIZES AND OPENING DIRECTION PRIOR TO ORDERING**

**2022 CODE TO BE APPLIED TO ALL WORK**

**GENERAL DOOR SCHEDULE NOTES:**

1. All Exterior doors to be weather-stripped per Title 24 energy requirements.
2. All exterior glazed doors to be tempered, factory finished double glazed.
3. All doors between heated and unheated areas shall be weather-stripped per energy calculations.
4. For swing of all doors see provided floor plans.
5. Shop drawings to be provied to the designer prior to placement of order.
4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.

The contractor is to review all glazing prior to ordering. refer to SECTION R308 GLAZING.



Basement, habitable attics and every sleeping room shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public alley, yard or exit court. The emergency door or window shall be operable from the inside to provide a full, clear opening without the use of separate tools.

The intent of this section is that windows be available so that rescue can be effected from the exterior or, alternatively, by which one may escape from that window to the exterior of the building without having to travel through the building itself.

- Escape or rescue windows shall have a minimum net clear operable area of 5.7 square feet. (Except at grade floor, shall have a minimum net clear opening of 5 square feet).
- The minimum net clear operable height dimension shall be 24 inches.
- The minimum net clear operable width dimension shall be 20 inches.
- Finished sill height shall not be more than 44 inches above the floor.

WINDOW SCHEDULE																		
ID	ROOM NAME	WINDOW TYPE/ OPERATION	MANUFACTURER	W x H Size	Window sill height	Window head height	2D Symbol	3D Front View	GLAZING	FRAME	TEMPERED	EGRESS	NOTES:					
ADUBTH1	ADU BATH	DOUBLE HUNG	TO BE SELECTED	2'-0"x3'-0"	3'-8"	6'-8"												
ADUKIT1	ADU KITCHEN	DOUBLE HUNG		5'-0"x3'-6"	3'-2"	6'-8"												
GAR1	GARAGE	FIXED		6'-0"x2'-0"	4'-8"	6'-8"												
KBR1 1	KID BEDROOM 1	FIXED		6'-0"x2'-0"	4'-8"	6'-8"												
KBR1 2	KID BEDROOM 2	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"						EGRESS						
KBR1 3	KID BEDROOM 1	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"												
KBR2 1	KID BEDROOM 2	FIXED		6'-0"x2'-0"	4'-8"	6'-8"												
KBR2 2	KID BEDROOM 2	DOUBLE HUNG		3'-0"x4'-0"	2'-8"	6'-8"						EGRESS						
KBR2 3	KID BEDROOM 2	DOUBLE HUNG		3'-0"x4'-0"	2'-8"	6'-8"												
KIT1	KITCHEN	DOUBLE HUNG		3'-0"x3'-6"	3'-2"	6'-8"												
KIT2	KITCHEN	DOUBLE HUNG		3'-0"x3'-6"	3'-2"	6'-8"												
LND1	LAUNDRY	SLIDER		4'-0"x2'-0"	4'-8"	6'-8"												
LRM1	LIVING ROOM	DOUBLE HUNG		3'-0"x5'-0"	1'-8"	6'-8"												
LRM2	LIVING ROOM	DOUBLE HUNG		3'-0"x5'-0"	1'-8"	6'-8"												
LRM3	LIVING ROOM	DOUBLE HUNG		3'-0"x5'-0"	1'-8"	6'-8"												
LRM4	LIVING ROOM	DOUBLE HUNG		3'-0"x5'-0"	1'-8"	6'-8"												
LRM5	LIVING ROOM	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"												
LRM6	LIVING ROOM	DOUBLE HUNG		6'-0"x4'-6"	2'-2"	6'-8"												
LRM7	LIVING ROOM	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"												
LRM8	LIVING ROOM	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"												
LRM9	LIVING ROOM	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"												
MBR1	MASTER BEDROOM	DOUBLE HUNG		2'-6"x3'-6"	3'-2"	6'-8"												
MBR2	MASTER BEDROOM	DOUBLE HUNG		2'-6"x3'-6"	3'-2"	6'-8"												
MBTH1	MASTER BATH	DOUBLE HUNG		3'-0"x4'-6"	2'-2"	6'-8"												
MCL	MASTER CLOSET	DOUBLE HUNG		5'-0"x4'-6"	2'-2"	6'-8"												
SBTH1	SHARED BATH	SLIDER		4'-0"x2'-0"	4'-8"	6'-8"												

"Garage doors shall be tested in accordance with either ASTM E 330 or ANSI/DASMA 108, and shall meet the acceptance criteria ANSI/DASMA 108".

**Tempered glass to be provided:**

- a) Glass in any door;
- b) Glass in any kind of shower, bathtub area, hot tub, steam room, sauna or whirlpool area where the bottom edge of the glass is less than 60 inches above a standing surface and drain outlet;
- c) Glass in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom edge of the glazing is less than 60" above a walking surface:

d) Glass in fixed or operable panels that meets all of the following conditions:

- \* Bottom edge is less than 18" above floor
- \* Top edge is greater than 36" above floor
- \* Total area of glass is greater than 9 sq. ft. (1296 sq.in.)
- \* One or more walking surfaces within 36" horizontally of the glazing;

e) Glass in walls used as a barrier for indoor or outdoor swimming pools or spas when both of the following exist:

The bottom edge of the glazing is less than 60" above a pool side of the glazing  
The glazing is within 5 feet of a swimming pool or spa deck area;

f) Glass in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60" above a walking surface

Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort" per the 2022 CRC R311.2.

**SEE SHEET T-24 FOR MIN. ENERGY VALUES OF FENESTRATION**  
**DO NOT REMOVE LABELS BEFORE PROJECT IS SIGNED OFF**

**GENERAL WINDOW SCHEDULE NOTES:**

1. All windows to be weather-stripped per Title 24 energy requirements.
2. All hardware and screen frames to match window frame fin. and color.
3. All windows to be factory finished with double glazed LOW-E glass unless otherwise noted.
4. In general VERIFY ALL ROUGH OPENINGS SIZES AND MANUF. #S IN THE FIELD PRIOR TO ORDERING.
5. For window operation see provided exterior elevations & window schedule.
6. Shop drawings to be provied to the designer/homeowner prior to placement of order.

The contractor is to review all glazing prior to ordering. Refer to SECTION R308.4 GLAZING.

**RESERVED FOR STAMP OF APPROVAL**

**B1**  
**BARMINA DESIGN**

MARIA BARMINA  
DESIGNER

5753 GREENRIDGE ROAD  
CASTRO VALLEY CA 94552  
T: 650.704.4501  
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**PRIVATE RESIDENCE**  
**340 DWIGHT ROAD**  
**BURLINGAME, CA, 94010**  
**APN#: 029-192-200**

DOOR  
SCHEDULE,  
WINDOW  
SCHEDULE,

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

REVISIONS:

DATE	REV #	DESCRIP.
2025/01/29	REV1	PLAN CHECK COMMENTS

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

1/29/25

SHEET NUMBER:

**A-09**





2022 CALIFORNIA GREEN BUILDING CODE  
RESIDENTIAL CHECKLIST

New Residential Buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing Residential Buildings which increase the building's conditioned area, volume, or size. These requirements only apply to the specific area of addition or alteration.

2022 CGC §301.1.1

Permit Number: \_\_\_\_\_ Project Address: 340 DWIGHT ROAD, BURLINGAME

Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.

Green Building Measure	Plan Sheet, and Details
<b>ENERGY EFFICIENCY(2022 CEC §150.0)</b> <b>(2022 California Building Energy Efficiency Standards)</b> 2022 Energy Code performance (CF1R) compliance documentation must be provided digitally in 8-1/2" X 11" format, and, must be replicated on the plans. 2022 CEC §150.1	<b>GN1 &amp; GN2</b>
<b>SITE DEVELOPMENT (2022 CGC §4.106)</b> Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2022 CGC §4.106.3 Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. 2022 CGC §4.106.4	<b>A-01</b>
<b>INDOOR WATER USE (2022 CGC §4.303)</b> Standards for Plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> . 2022 CGC §4.303.3	<b>GN1 &amp; GN2</b>
<b>OUTDOOR WATER USE (2022 CGC §4.304)</b> Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWEL0) checklist. 2022 CGC §4.304.1	<b>GN1 &amp; GN2</b>
<b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (2022 CGC §4.406)</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2022 CGC §4.406.1	<b>GN1 &amp; GN2</b>
<b>CONSTRUCTION WASTE MANAGEMENT (2022 CGC §4.408)</b> Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2022 CGC §4.408.1	<b>A-01</b>

Green Building Measure	Plan Sheet, and Details
<b>BUILDING MAINTENANCE AND OPERATION (2022 CGC §4.410)</b> An operation and maintenance manual will be provided at final inspection. 2022 CGC §4.410.1 Where 5 or more multi-family dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on site and are identified for the depositing, storage, and collection of nonhazardous materials for recycling, including paper, corrugated cardboard, glass, plastics, organic waste and metals, or, meet local ordinance, if more restrictive. 2022 CGC §4.410.2	<b>GN1 &amp; GN2</b>
<b>FIREPLACES (2022 CGC §4.503)</b> Any installed gas fireplaces will be direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA NSPS emission limits. 2022 CGC 4.503.1 GAS IS NOT ALLOWED FOR NEW CONSTRUCTION BASED ON BURLINGAME'S REACH CODE.	<b>GN1 &amp; GN2</b>
<b>POLLUTANT CONTROL (2022 CGC §4.504)</b> At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution component openings will be covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris that may enter the system. 2022 CGC §4.504.1 Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2022CGC §4.504.2.1 Paints and coatings will comply with VOC limits. 2022CGC §4.504.2.2 Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2022 CGC §4.504.2.3 Documentation shall verify compliance for VOC finish materials. 2022 CGC §4.504.2.4 Carpet systems will meet CALGREEN testing and product requirements. 2022 CGC §4.504.3 Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2022 CGC §4.504.4 Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2022 CGC §4.504.5	<b>GN1 &amp; GN2</b>
<b>INTERIOR MOISTURE CONTROL (2022 CGC §4.505)</b> A capillary break will be installed if a slab on grade foundation system is used. 2022 CGC §4.505.2.1 Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2022 CGC §4.505.3	
<b>INDOOR AIR QUALITY AND EXHAUST (CGC §4.506)</b> Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo). 2019 CGC §4.506.1 Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2022 CGC §4.506.2	

Green Building Measure	Plan Sheet, and Details
<b>ENVIRONMENTAL COMFORT (2022 CGC §4.507)</b> The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2022 CGC §4.507.	<b>GN1 &amp; GN2</b>
<b>VERIFICATION (2022 CGC §703)</b> Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements. 2022 CGC	<b>GN1 &amp; GN2</b>
<b>Responsible Designer's Declaration Statement</b> I hereby certify that this project has been designed to meet the requirements of the 2022 Green Building Code. Name: <b>MARIA BARMINA</b> Address: <b>5753 GREENRIDGE ROAD</b> City/State/Zip Code: <b>CASTRO VALLEY CA 94552</b> Signature: _____ Date: <b>1/29/25</b>	
<b>Contractor's Declaration Statement</b> I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the 2022 Green Building Code. Name: _____ Address: _____ City/State/Zip Code: _____ Signature: _____ Date: _____	

RESERVED  
FOR STAMP  
OF  
APPROVAL



MARIA BARMINA  
DESIGNER

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MANDATORY  
MEASURES, (E)  
EAST  
ELEVATION

CLIENT NAME:

R1

Benjamin Zhu, Shouzhi  
Wan, Wentao Shi

REVISIONS:

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SHEET NUMBER:

A-15



The logo for Barmina Design, featuring a large, bold, black letter 'B' inside a square frame, with the words 'BARMINA DESIGN' in a bold, sans-serif font below it.

# FAR



R1



GREEN BUILDING NOTES:

1.

PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2.

CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS, SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3.

NEW CONSTRUCTION SHALL COMPLY WITH CALGREEN SECTION 4.106.4.1 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

EXCEPTIONS:

A. WHERE LOCAL ENFORCING AGENCY HAS DETERMINED EV CHARGING AND INFRASTRUCTURE ARE NOT FEASIBLE.

B. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING FACILITIES.

4.

FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AND ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

5.

ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATERCONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

6.

PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7.

RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

8.

NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE.

9.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

10.

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.

A. SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE LOCAL ENFORCING AGENCY.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.

2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).

3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.

4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.

5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE LOCAL ENFORCING AGENCY. SEE CALGREEN 4.408.3 FOR FURTHER DETAILS.

11.

DOCUMENTATION SHALL BE PROVIDED TO THE LOCAL ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4.

12.

AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE LOCAL ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13.

ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ENFORCING AGENCY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14.

AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15.

ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2. SUCH PRODUCTS SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

16.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.

17.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROG IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18.

VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE LOCAL ENFORCING AGENCY.

19.

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:

A. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.

B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)

C. NSF/ANSI 140 AT THE GOLD LEVEL.

D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.

20.

WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.

B. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).

C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.

D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

21.

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5.

22.

VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE LOCAL ENFORCING AGENCY.

23.

CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

A. A 4-INCH-THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.

B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24.

BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT

25.

EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.

B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.

1. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ± 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.

2. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.

26.

HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

27.

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

28.

IF REQUIRED BY THE LOCAL ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE LOCAL ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

29.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.
- | TABLE 4.504.1<br>ADHESIVE VOC LIMIT <sup>1,2</sup><br>Less Water and Less Exempt Compounds in Grams per Liter |           |
|---|-----------|
| ARCHITECTURAL APPLICATIONS  | VOC LIMIT |
| Indoor carpet adhesives   | 50        |
| Carpet pad adhesives  | 50        |
| Outdoor carpet adhesives  | 150       |
| Wood flooring adhesive  | 100       |
| Rubber floor adhesives  | 60        |
| Subfloor adhesives  | 50        |
| Ceramic tile adhesives  | 65        |
| VCT and asphalt tile adhesives  | 50        |
| Drywall and panel adhesives   | 50        |
| Cove base adhesives   | 50        |
| Multipurpose construction adhesives   | 70        |
| Structural glazing adhesives  | 100       |
| Single-ply roof membrane adhesives  | 250       |
| Other adhesives not specifically listed   | 50        |
| SPECIALTY APPLICATIONS  |           |
| PVC welding   | 510       |
| CPVC welding  | 490       |
| ABS welding   | 325       |
| Plastic cement welding  | 250       |
| Adhesive primer for plastic   | 550       |
| Contact adhesive  | 80        |
| Special purpose contact adhesive  | 250       |
| Structural wood member adhesive   | 140       |
| Top and trim adhesive   | 250       |
| SUBSTRATE SPECIFIC APPLICATIONS   |           |
| Metal to metal  | 30        |
| Plastic foams   | 50        |
| Porous material (except wood)   | 50        |
| Wood  | 30        |
| Fiberglass  | 80        |
1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.

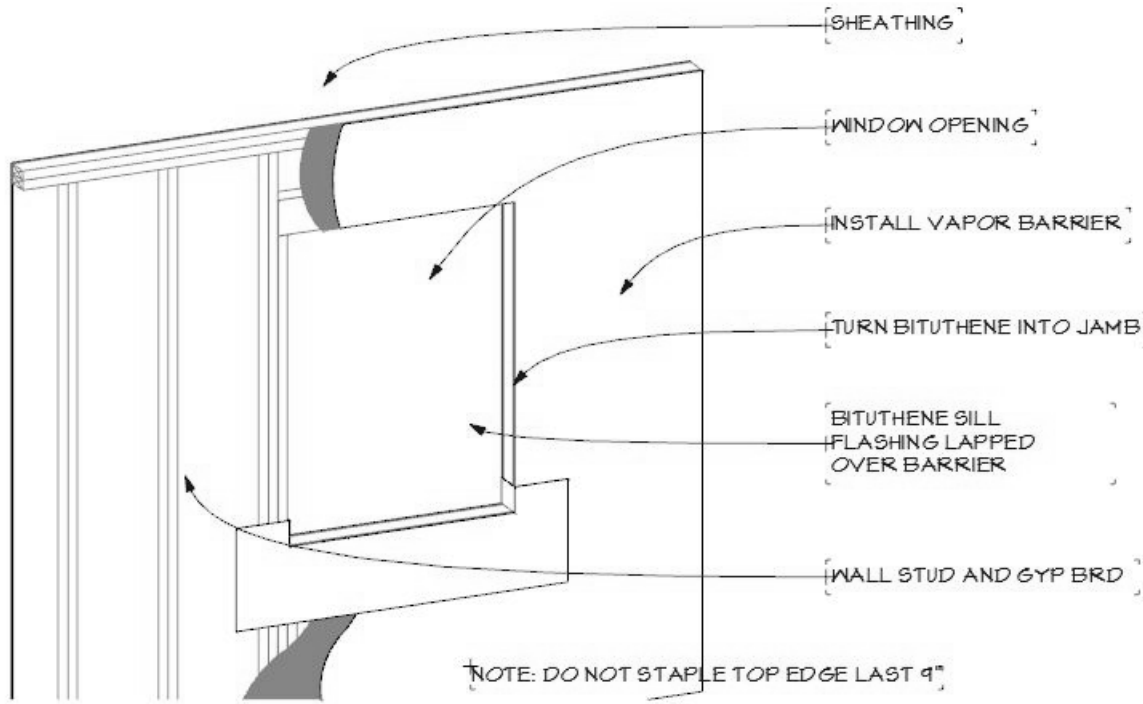
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.
- | TABLE 4.504.2<br>SEALANT VOC LIMIT<br>Less Water and Less Exempt Compounds in Grams per Liter |           |
|---|-----------|
| SEALANTS  | VOC LIMIT |
| Architectural   | 250       |
| Marine deck   | 760       |
| Nonmembrane roof  | 300       |
| Roadway   | 250       |
| Single-ply roof membrane  | 450       |
| Other   | 420       |
| SEALANT PRIMERS   |           |
| Architectural   |           |
| Nonporous   | 250       |
| Porous  | 775       |
| Modified bituminous   | 500       |
| Marine deck   | 760       |
| Other   | 750       |
- | TABLE 4.504.3<br>VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sup>1,3</sup><br>Grams of VOC per Liter of Coating,<br>Less Water and Less Exempt Compounds |           |
|---|-----------|
| COATING CATEGORY  | VOC LIMIT |
| Flat coatings   | 50        |
| Nonflat coatings  | 100       |
| Nonflat-high gloss coatings   | 150       |
| SPECIALTY COATINGS  |           |
| Aluminum roof coatings  | 400       |
| Basement specialty coatings   | 400       |
| Bituminous roof coatings  | 50        |
| Bituminous roof primers   | 350       |
| Bond breakers   | 350       |
| Concrete curing compounds   | 350       |
| Concrete/masonry sealers  | 100       |
| Driveway sealers  | 50        |
| Dry fog coatings  | 150       |
| Faux finishing coatings   | 350       |
| Fire resistive coatings   | 350       |
| Floor coatings  | 100       |
| Form-release compounds  | 250       |
| Graphic arts coatings (sign paints)   | 500       |
| High temperature coatings   | 420       |
| Industrial maintenance coatings   | 250       |
| Low solids coatings <sup>1</sup>  | 120       |
| Magnesium cement coatings   | 450       |
| Mastic texture coatings   | 100       |
| Metallic pigmented coatings   | 500       |
| Multicolor coatings   | 250       |
| Pretreatment wash primers   | 420       |
| Primers, sealers, and undercoaters  | 100       |
| Reactive penetrating sealers  | 350       |
| Recycled coatings   | 250       |
| Roof coatings   | 50        |
| Rust preventative coatings  | 250       |
| Shellacs  |           |
| Clear   | 730       |
| Opaque  | 550       |
| Specialty primers, sealers and undercoaters   | 100       |
| Stains  | 250       |
| Stone consolidants  | 450       |
| Swimming pool coatings  | 340       |
| Traffic marking coatings  | 100       |
| Tab and tile refinish coatings  | 420       |
| Waterproofing membranes   | 250       |
| Wood coatings   | 275       |
| Wood preservatives  | 350       |
| Zinc-rich primers   | 340       |
1. Grams of VOC per liter of coating, including water and including exempt compounds.

2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

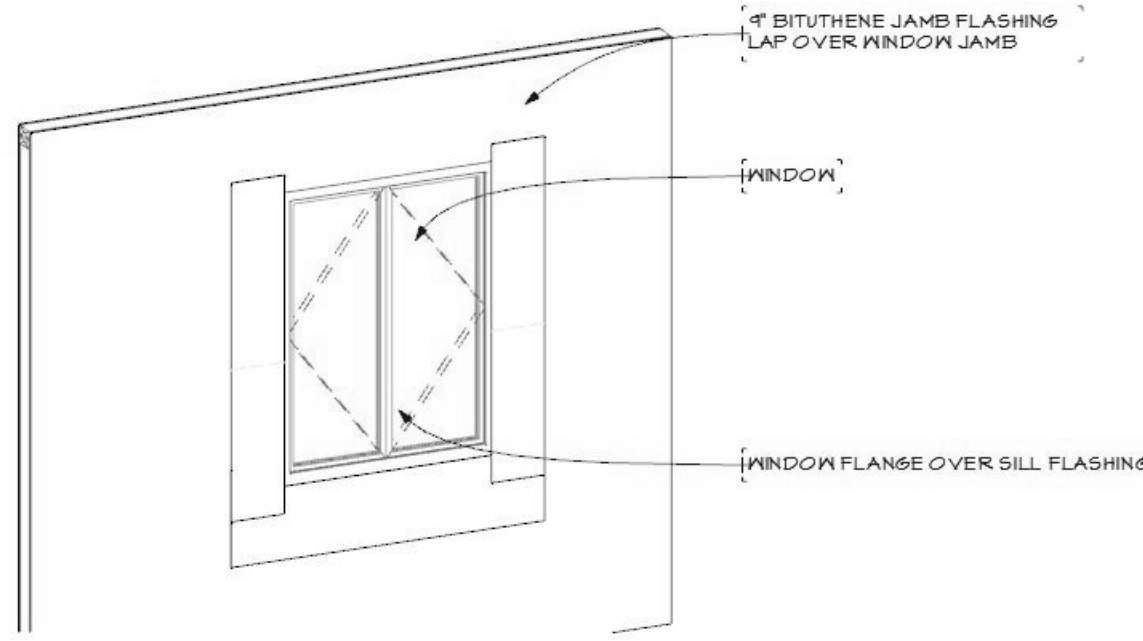
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.
- | TABLE 4.504.5<br>FORMALDEHYDE LIMITS <sup>1</sup><br>Maximum Formaldehyde Emissions in Parts per Million |               |
|--|---------------|
| PRODUCT  | CURRENT LIMIT |
| Hardwood plywood veneer core   | 0.05          |
| Hardwood plywood composite core  | 0.05          |
| Particleboard  | 0.09          |
| Medium density fiberboard  | 0.11          |
| Thin medium density fiberboard <sup>2</sup>  | 0.13          |
1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see *California Code of Regulations*, Title 17, Sections 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of <sup>7</sup>/<sub>16</sub> inch (8 mm).
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APN#: 029-192-200
- CLIENT NAME:
- Benjamin Zhu, Shouzhi  
Wan, Wentao Shi
- REVISIONS:
- | DATE | REV # | DESCRIP. |
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- DATE PRINTED:
- 10/30/24
- SHEET NUMBER:
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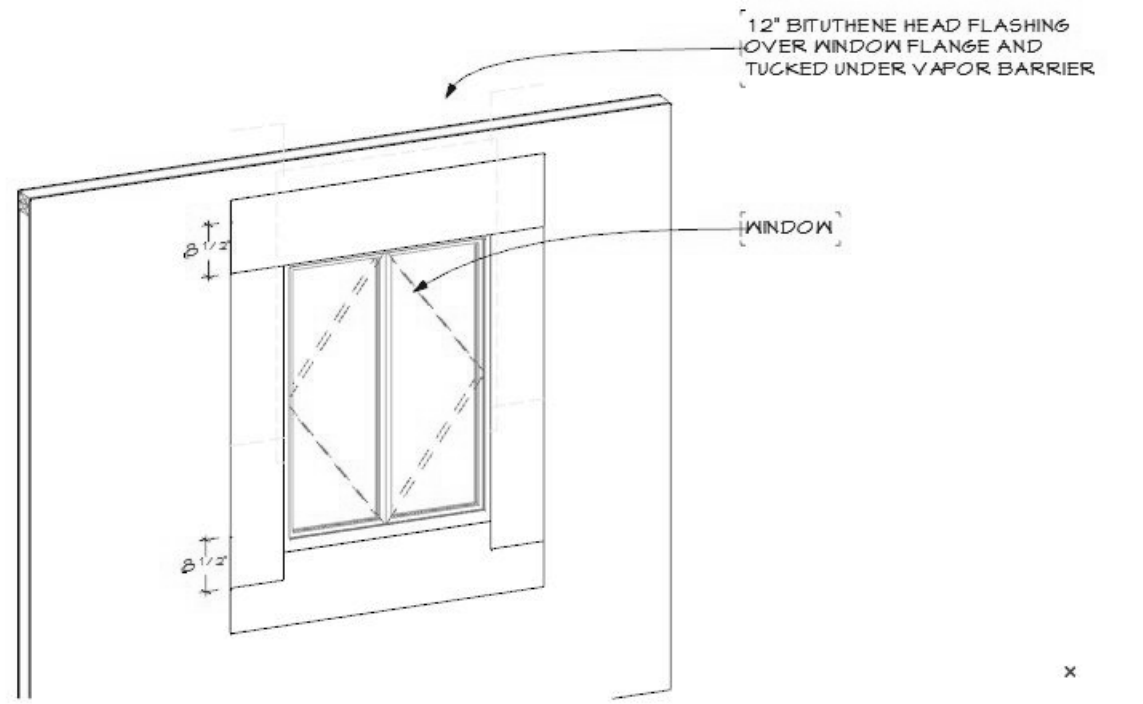




Window flashing detail STEP 1



widow flashing detail STEP 2



window flashing step 3

FLASHING NOTES (R703.4):

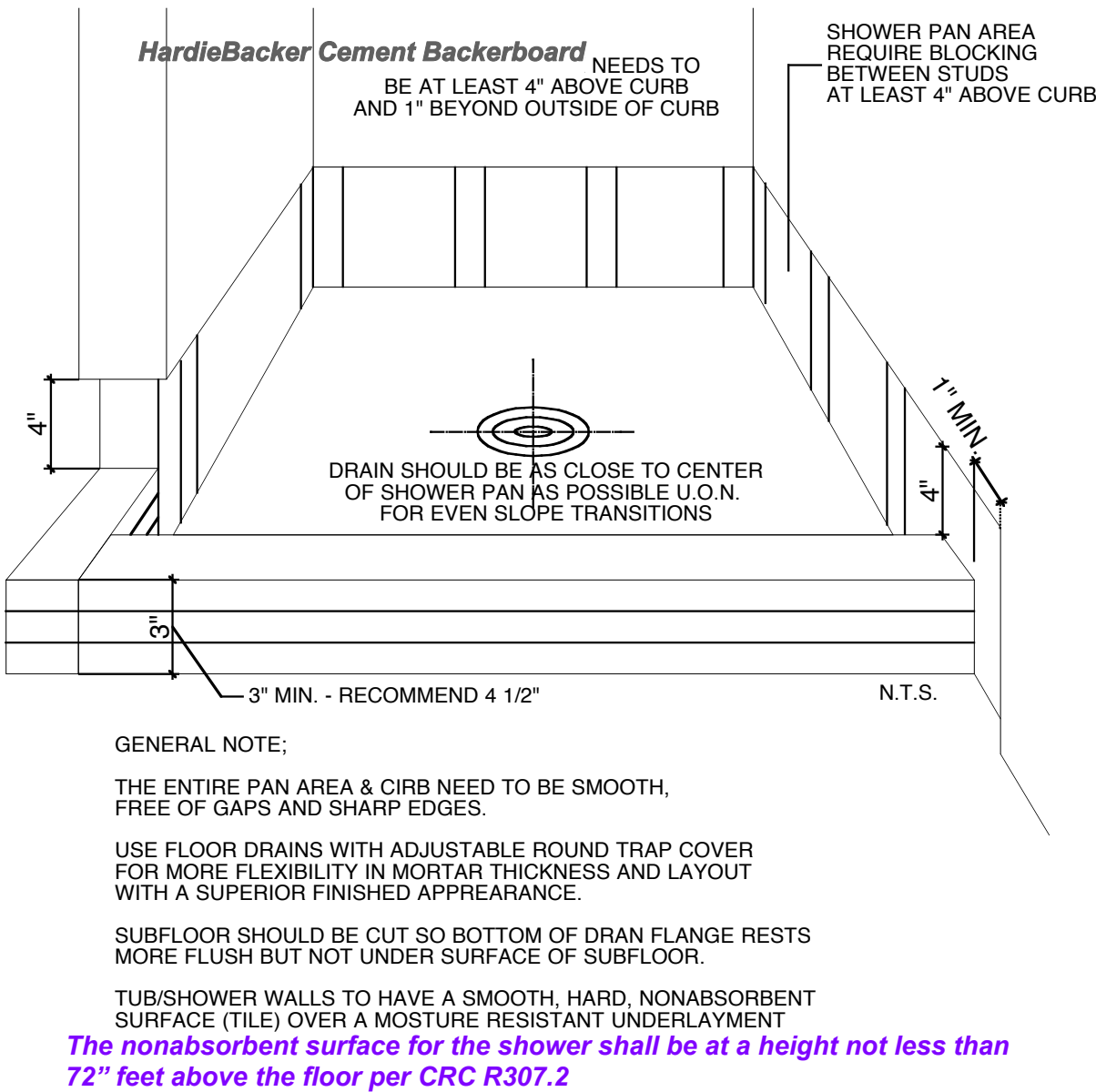
APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH AAMA 714. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

- EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.4.1.
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
- AT WALL AND ROOF INTERSECTIONS.
- AT BUILT-IN GUTTERS.

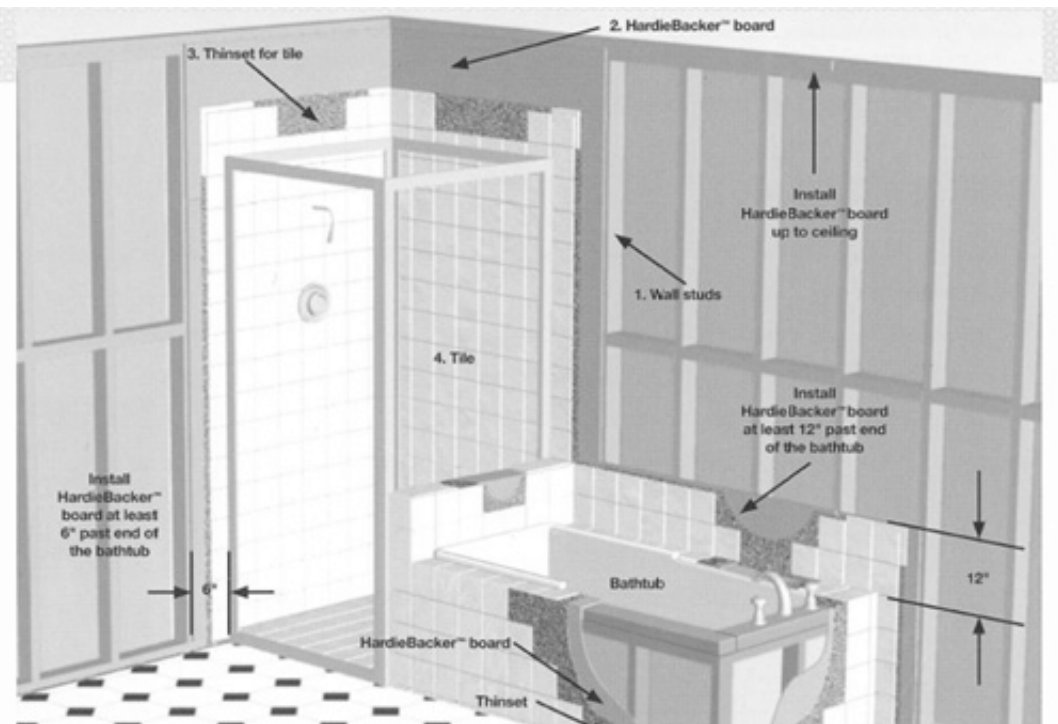
R703.4.1 FLASHING INSTALLATION AT EXTERIOR WINDOW AND DOOR OPENINGS

FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO A WATER-RESISTIVE BARRIER COMPLYING WITH SECTION 703.2 FOR SUBSEQUENT DRAINAGE. AIR SEALING SHALL BE INSTALLED AROUND ALL WINDOW AND DOOR OPENINGS ON THE INTERIOR SIDE OF THE ROUGH OPENING GAP. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES.



SHOWER PAN DETAIL (TYP.)



HARDIEBACKER CEMENT BOARD IN BATH

EXHAUST FAN NOTES:

PROVIDE local exhaust at all rooms with a tub, shower, spa or similar fixture) with a fan capable of exhausting a minimum of 50 C.F.M. CMC and Energy Code. Specify the fan on the plans, duct size and include the fan cut sheet. The fan must be listed at 3 sone or less for noise. The rating must be based on a Water Column of .25 or greater. See Manual Section 4.6.5, 4.6.7

PROVIDE kitchen hood vented directly to the outside exhausting a minimum of 100 C.F.M. CMC and Energy Code. Specify the fan on the plans, duct size and include the fan cut sheet. The fan must be listed at 3 sone or less for noise. The rating must be based on a Water Column of .25 or greater. Exception: If the fan exhausts in excess of 400 C.F.M. the 3 sone rating is not required. See Manual Section 4.6.5, 4.6.7, California Energy Code 150(o), ASHRAE 62.2

BUILDING:

- PROVIDE APPROVED **TILE BACKER MATERIALS AND GYPBOARD IN BATHROOMS:**
  - NON-ABSORBENT FINISH MATERIAL MINIMUM 72" ABOVE THE STANDING SURFACE OF TUBS AND SHOWERS.
  - CEMENT, FIBER-CEMENT OR GLASS-MAT GYP BACKERS FOR ADHESIVE APPLICATION OF FINISH MATERIAL (TILE OF OTHER NONABSORBENT SHEET MATERIALS), OR PAINT (ABOVE 72"), INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITHIN SHOWER STALLS AND BATHTUB SURROUNDS.
  - WATER-RESISTANT GYP BOARD SHALL NOT BE USED WITHIN SHOWER STALLS, BATHTUB COMPARTMENTS OR OTHER WET OR HUMID AREAS, OR ON CEILINGS WITH JOISTS GREATER THAN 12" O.C..
  - WATER-RESISTANT GYP BACKERS FOR TILE OR PAINT PER MANUFACTURER'S INSTRUCTIONS AT WATER CLOSET COMPARTMENTS.
  - REGULAR GYP BOARD FOR TILE OR PAINT ON WALLS AND CEILINGS OTHER ABOVE.
- BEDROOM WINDOW** FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED FLOOR TO WINDOW OPENING HEIGHT OF NOT BE MORE THAN 44". WINDOW SHALL HAVE 20" MIN. WIDTH BY 24" HEIGHT CLEAR OPENING AND OPENING AREA OF 5.7 SF.
- NFRC TEMPORARY LABELING ON **NEW WINDOWS** SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY.
- DECK STAIRS:
  - MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN (R311.7.5)
  - MINIMUM 36 INCH CLEAR WIDTH (R311.7.1)
- LANDINGS/FLOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1-1/2 INCHES LOWER THAN THRESHOLD FOR OUT-SWINGING DOORS. CRC R311.3.
- PROVIDE **ILLUMINATED STREET NUMBERS**. THE NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET, HAVING A CONTRASTING BACKGROUND AND HAVE A MINIMUM 1/2" STROKE BY 4-1/2" MINIMUM HEIGHT.

PLUMBING:

- KITCHEN:
  - DISHWASHERS SHALL BE CONNECTED WITH AN APPROVED DRAINAGE AIR GAP DEVICES LOCATED ABOVE THE FLOOD LEVEL RIM OF THE SINK. CPC 807.3
  - NEWLY INSTALLED KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE (GRN 4.303.1.4.4). ALL EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF NECESSARY TO COMPLY WITH SB407 PLUMBING FIXTURES REPLACEMENT REQUIREMENTS.
  - ALL PIPING 3/4" OR MORE IN DIAMETER AND ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES MUST BE INSULATED WITH MIN. 1-INCH THICK INSULATION [CNC 150.0(J)2]. EXISTING INACCESSIBLE PIPING DOES NOT REQUIRE INSULATION.
- BATHROOM PLUMBING, GENERAL:
  - ALL PIPING 3/4" OR MORE IN DIAMETER AND ALL HOT WATER PIPES ASSOCIATED WITH A RECIRCULATION SYSTEM MUST BE INSULATED WITH MIN. 1-INCH THICK INSULATION. EXISTING INACCESSIBLE PIPING DOES NOT REQUIRE INSULATION. CNC 150.0(J)2
  - NEWLY INSTALLED PLUMBING FIXTURES SHALL BE WATER-CONSERVING IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE AND GREEN BUILDING STANDARDS. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH, SHOWERHEADS SHALL NOT EXCEED 1.8 GPM AND NEW LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. (CPC 407.2, 408.2 & 411.2) ALL EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF NEW WORK SHALL BE REPLACED IF NECESSARY TO COMPLY WITH SB407 PLUMBING FIXTURES REPLACEMENT REQUIREMENTS.
- BATHROOM PLUMBING, TOILETS & BIDETS:
  - TOILETS AND BIDETS REQUIRE A MINIMUM 15" OF CLEARANCE FROM THE CENTER LINE OF THE BOWL TO EACH SIDE, AND 24" OF CLEARANCE FROM THE FRONT EDGE OF THE BOWL (CPC 402.5). THE MAXIMUM FLOW RATE IS 1.28 GPF (CPC 403.2.1).
  - LAVATORY SINKS REQUIRE A MIN. OF 24" FRONT CLEARANCE (CPC 402.5).
  - SHOWERS REQUIRE A MIN. 2" DRAIN AND TRAP (CPC TABLE 702.1).
  - ALL SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQ.IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE (CPC 408.6).THE CURB MAY ENCROACH ON THESE SIZE REQUIREMENTS. ALL SURFACES SHALL BE WATERPROOF UP TO 72" ABOVE THE DRAIN INLET (CRC R307.2). THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MIN. 22" CLEAR EGRESS OPENING FROM THE SHOWER (CPC 408.5).
  - SAFETY GLASS (TEMPERED OR LAMINATED) IS REQUIRED FOR ALL GLASS SHOWER DOORS AND PARTITIONS AND FOR WINDOWS IN WALLS FACING THE TUB OR SHOWER AND LOCATED LESS THAN 60" ABOVE THE STANDING SURFACE OF THE TUB/SHOWER AND WITHIN 60" HORIZONTALLY (CRC R308.4.1&5).
  - THE MAX. WATER TEMPERATURE TO A SHOWER OR TUB/SHOWER COMBINATION IS 120F. THE WATER HEATER THERMOSTAT CANNOT BE USED AS THE CONTROL FOR THIS TEMPERATURE. VALVES SHALL PROVIDE SCALD AND THERMAL SHOCK PROTECTION, AND BE PRESSURE-BALANCED, THERMOSTATIC, OR COMBINATION PRESSURE-BALANCED/THERMOSTATIC MIXING IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1. (CPC 408.3).
- LAUNDRY:
  - CLOTHES WASHER STANDPIPES MUST BE 2" DIAMETER. THE WEIR OF THE TRAP MUST BE ROUGHED IN 6" ~ 18" ABOVE THE FLOOR; THE STANDPIPE MUST BE A MINIMUM OF 18" AND A MAXIMUM OF 30" ABOVE THE TRAP (CPC 804.1).

MECHANICAL:

- KITCHEN:
  - KITCHEN EXHAUST IS REQUIRED TO HAVE A METAL, SMOOTH INTERIOR SURFACE DUCT FOR VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT IS NOT APPROVED. PROVIDE BACK DRAFT DAMPER. CMC 504.3
  - A LOCAL MECHANICAL EXHAUST SYSTEM SHALL BE INSTALLED IN EACH KITCHEN. THE DEMAND-CONTROLLED VENTILATION RATES SHALL BE 100 CUBIC FEET PER MINUTE MINIMUM AND CONTINUOUS VENTILATION RATES SHALL PROVIDE 5 AIR CHANGES PER HOUR AND A MAXIMUM SOUND RATING OF 3 SONES OVER RESIDENTIAL STOVES AND COOKTOPS WITHIN DWELLING UNITS. THE RANGE HOOD MUST VENT TO THE OUTSIDE. (CENC 150.0(O) AND ASHRAE-62.2 5.1)
  - A MECHANICAL PERMIT IS REQUIRED TO REPLACE A KITCHEN EXHAUST HOOD THAT INCLUDES AN OUTSIDE AIR VENT. THE VENT MUST TERMINATE ON THE BUILDING EXTERIOR AT LEAST 3 FT. FROM OTHER OPENINGS INTO THE BUILDING AND 3 FT. FROM THE PROPERTY LINE(CMC502.2.1).
- BATHROOM:
  - MECHANICAL VENTILATION IS REQUIRED IN ALL BATHROOMS WITH TUBS OR SHOWERS. THE FAN MUST MOVE A MINIMUM 50 CFM OF AIR AND BE SEPARATELY SWITCHED FROM THE LIGHTING. FANS THAT OPERATE CONTINUOUSLY CAN BE 20 CFM. THE DUCT MUST TERMINATE ON THE EXTERIOR NOT LESS THAN 3 FEET FROM OPENINGS INTO THE BUILDING (CMC 502.2.1).
  - BATHS WITH NO TUB OR SHOWER (HALF BATHS) DO NOT REQUIRE MECHANICAL VENTILATION IF THEY ARE PROVIDED WITH A WINDOW AT LEAST 3 SQ. FT. HALF OF WHICH IS OPENABLE (CRC R303.3).
- LAUNDRY:
  - CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 SQ. IN. OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR (CMC 504.4.1).
  - DRYER DUCTS MUST BE SMOOTH-WALLED METAL 4" DIAMETER AND NOT MORE THAN 14 FEET IN LENGTH, WITH AN ALLOWANCE OF 2 90° BENDS IN THAT 14 FT. DEDUCT 2 FT. FOR EACH ADDITIONAL 90 BEND IN EXCESS OF 2 (CMC 504.4.2.1).
  - VENT POINT OF DISCHARGE SHALL BE OUTSIDE OF THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING AND 3 FEET FROM THE PROPERTY LINE.
- RAISE **WATER HEATER** TO 18" ABOVE THE GARAGE FLOOR. STRAP WATER HEATER WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. STRAP AT THE LOWER POINT SHALL BE INSTALLED 4 INCHES ABOVE WATER HEATER CONTROLS. WATER HEATER SHALL BE WRAP WITH R-12 INSULATION

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PRIVATE  
BATH  
BATH, window  
flashing step 3  
window flashing  
detail STEP 2,  
Window flashing  
detail STEP 1,  
SHOWER PAN  
DETAIL (TYP.)

PRIVATE  
BATH  
BATH, window  
flashing step 3  
window flashing  
detail STEP 2,  
Window flashing  
detail STEP 1,  
SHOWER PAN  
DETAIL (TYP.)

PRIVATE  
BATH  
BATH, window  
flashing step 3  
window flashing  
detail STEP 2,  
Window flashing  
detail STEP 1,  
SHOWER PAN  
DETAIL (TYP.)

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DATE	REV #	DESCRIP.

DRAWN BY:

MVB

SCALE AS NOTED

DATE PRINTED:

10/30/24

SHEET NUMBER:

GN2



## PLANT SCHEDULE

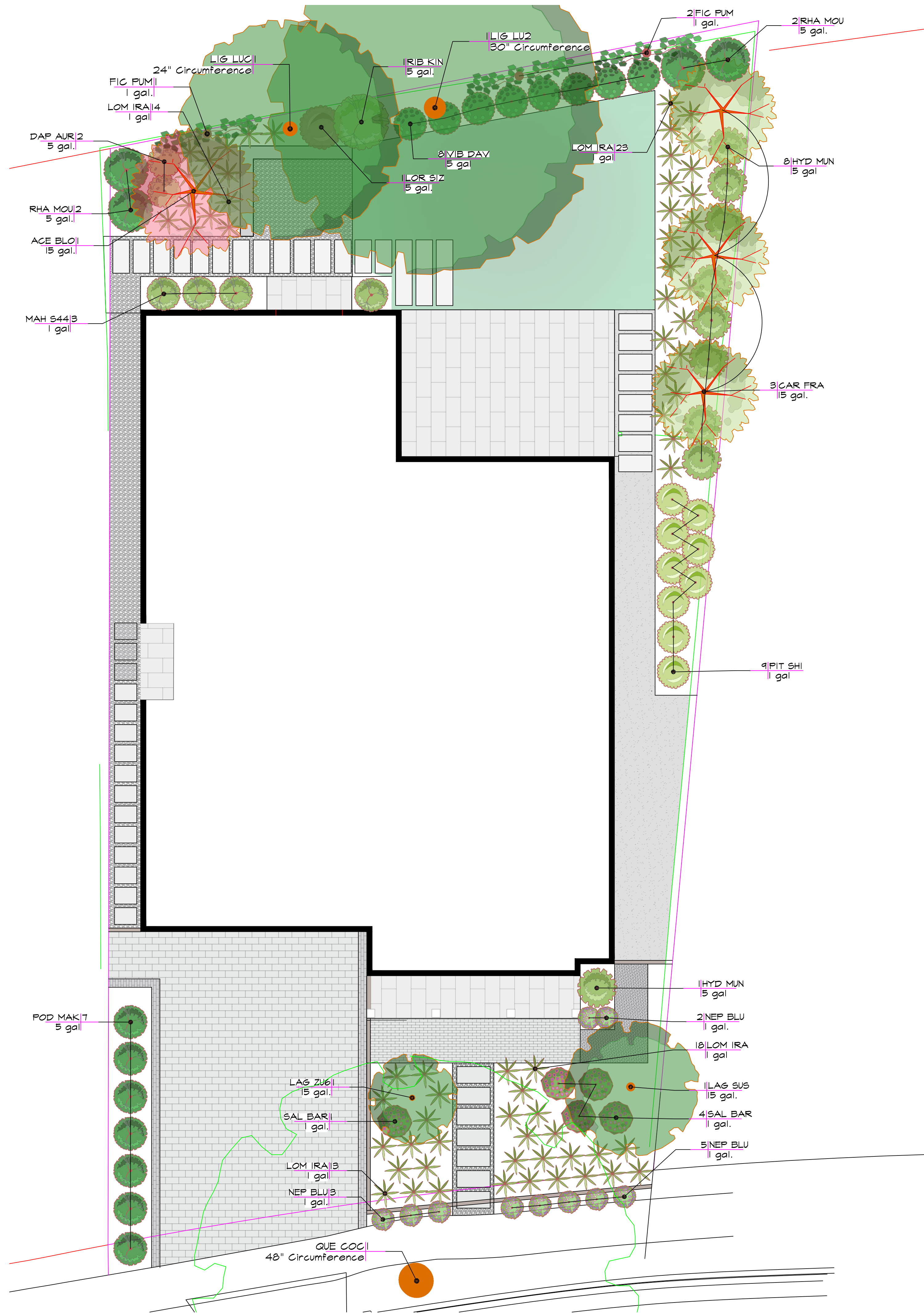
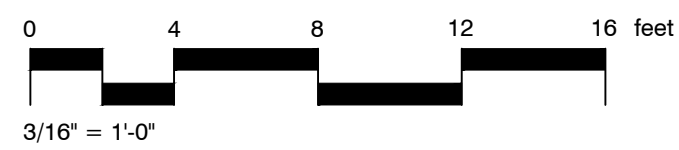
CODE	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	WATER USE	MATURE HEIGHT	MATURE WIDTH
TREES								
ACE BLO	Acer palmatum 'Bloodgood'	15 gal.	Pot	1		Medium	15 - 25ft. ht.	10 - 15ft. w.
CAR FRA	Carpinus betulus 'Frans Fontaine'	15 gal.	Pot	3		Medium	25 - 40ft. ht.	10 - 15ft. w.
LAG SUS	Lagerstroemia indica x fauriei 'Muskogee'	15 gal.	Pot	1		Low	10 - 15ft. ht.	10 - 15ft. w.
LAG ZU6	Lagerstroemia indica x fauriei 'Zuni'	15 gal.	Pot	1		Low	10 - 15ft. ht.	10 - 15ft. w.
LIG LU2	Ligustrum lucidum	30" Circumference	Existing	1		Low	6 - ft. ht.	10 - ft. w.
LIG LUC	Ligustrum lucidum	24" Circumference	Existing	1		Low	6 - ft. ht.	10 - ft. w.
QUE COC	Quercus coccinea	48" Circumference	Existing	1		Medium	> 65ft. ht.	40 - 65ft. w.

SHRUBS								
DAP AUR	Daphne odora 'Aureomarginata'	5 gal.	Pot	2		Low	3 - 6ft. ht.	3 - 6ft. w.
FIC PUM	Ficus pumila	1 gal.	Pot	3		Medium	10 - 15ft. ht.	3 - 6ft. w.
HYD MUN	Hydrangea quercifolia 'Ruby Slippers'	5 gal	Pot	9		Medium	18 - 36in. ht.	3 - 4ft w.
LOM IRA	Lomandra longifolia 'Breeze'	1 gal	Pot	68		Low	18 - 36in. ht.	1 - 3ft. w.
LOR SZ	Loropetalum chinense rubrum 'Sizzling Pink'	5 gal.	Pot	1		Low	3 - 6ft. ht.	3 - 6ft. w.
MAH S44	Manihot eurybracteata 'Soft Caress'	1 gallon	Pot	4		Low	18 - 36in. ht.	1 - 3ft. w.
NEP BLU	Nepeta x faassenii 'Blue Wonder'	1 gal.	Pot	10		Low	6 - ft. ht.	1 - 3ft. w.
PIT SHI	Pittosporum tobira 'Shima'	1 gal.	Pot	9		Low	18 - 36in. ht.	1 - 3ft. w.
POD MAK	Podocarpus macrophyllus 'Maki'	5 gal	Pot	7		Medium	10 - 15ft. ht.	3 - 6ft. w.
RHA MOU	Rhamnus californica 'Mound San Bruno'	5 gal.	Pot	4		Low	18 - 6ft. ht.	6 - 10ft. w.
RIB KIN	Ribes sanguineum 'King Edward VII'	5 gal.	Pot	1		Low	3 - 6ft. ht.	3 - 6ft. w.
SAL BAR	Salvia leucantha 'Santa Barbara'	1 gal.	Pot	5		Low	18 - 36in. ht.	1 - 6ft. w.
VIB DAV	Viburnum davidii	5 gal.	Pot	8		Medium	18 - 36in. ht.	3 - 6ft. w.

## Reference EvapotraNSpiration (ETo) 49.7

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
Hydrozone 1 (MED)	0.5	DRIP	0.81	0.61	456	278	8571
Hydrozone 2 (MED)	0.5	DRIP	0.81	0.61	176	107	2011
Hydrozone 3 (LOW)	0.3	DRIP	0.81	0.37	405	150	4617
Hydrozone 4 (LOW)	0	0	0	0	0	0	0
Hydrozone 5 (LOW)	0	0	0	0	0	0	0
Hydrozone 6	0	0	0	0	0	0	0
Hydrozone 7	0	0	0	0	0	0	0
				Totals	(A)1059	(B) 535	
Special Landscape Area							
				1	0	0	0
				1	0	0	0
				1	0	0	0
				Totals	(C)	(D)	
						ETWU Total	15199
					Maximum Allowable Water Allowance	(MAWA)	17948

1. "Recirculating water systems shall be used for water features"
2. "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."
3. "For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil"
4. "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".









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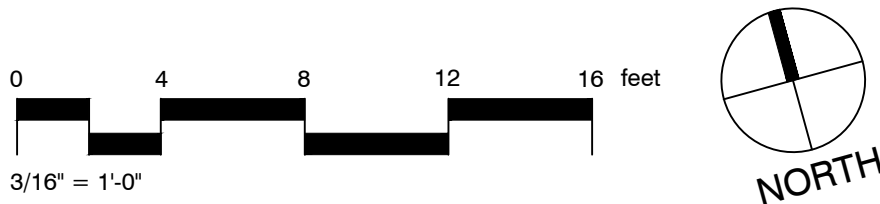
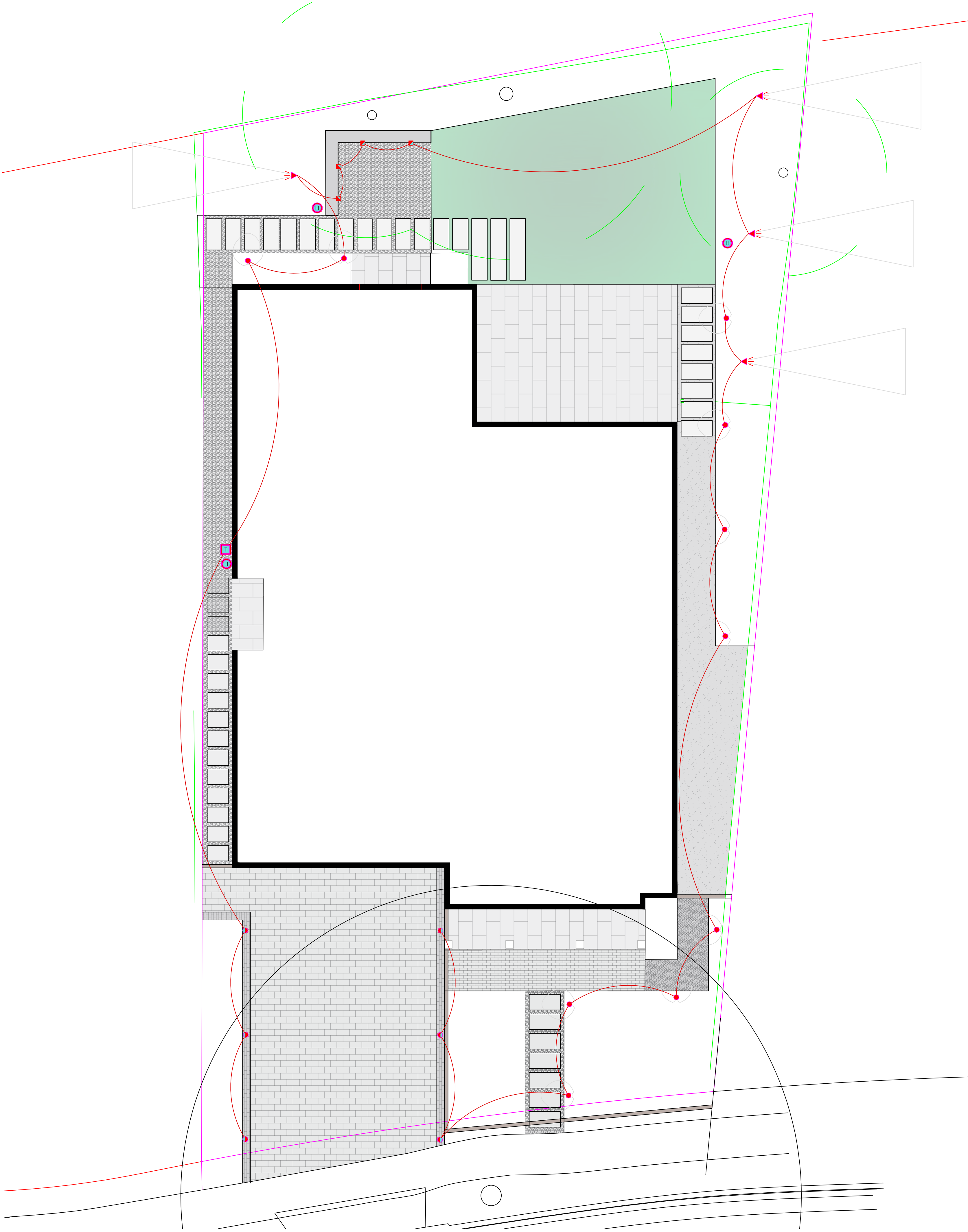
# Zhu Residence

Property Owner:

Revision #1		Date: 11/18/24	
Title: Planting			
<h1 style="text-align: center;">Pritchard Landscape Design LLC</h1> <p style="text-align: center;">Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519</p>			
<h2 style="text-align: center;">340 Dwight Road Burlingame Ca. 94010</h2>			
Scale: 3/16" = 1'-0"	Date: 10/31/24	Drawn by: B.P.	
Project # 24-20	Drawing # L-02	Checked by: B.P.	



LIGHTING SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	OUTDOOR GFCI ELECTRICAL OUTLET	3	
	PX 150 WATT LIGHTING CONTROLLER	1	
	FX Luminaire M-PL Die-cast aluminum path light with powder-coated finish. 2.2in. W x 7.4in. V x 21.3in. H. Order code: M-PL, Aluminum, (FW) Flat White, Ground Mount Lamp: M-PL-1LED, 2W / 2.4VA, 2700K, Beamspread: Flood	10	
	FX Luminaire FC-GW-180 Large scale in grade hardscape well light fixture. 4in. Dia x 5.7in. H. Order code: FC-GW-180, Aluminum Alloy, (FB) Flat Black, Direct Mount Lamp: FC-GW-3LED, 4W / 4.4VA, 2700K	6	
	FX Luminaire NP Large directional up light ideal for large landscape features. 8.38in. H x 2.66in. Dia. Order code: NP, Aluminum Alloy, (FB) Flat Black, 3-Prong Spike Lamp: NP-1LED, 2W / 2.4VA, 2700K, Beamspread: Narrow Flood	4	
	FX Luminaire BP Under cap, railing or existing construction applications. 6.7in. W x 0.9in. H x 0.625in. D. Order code: BP, Aluminum, (SV) Silver, Mounting Plate Lamp: 20W G4 LED, 1.6W / 1.7VA, 2700K	4	





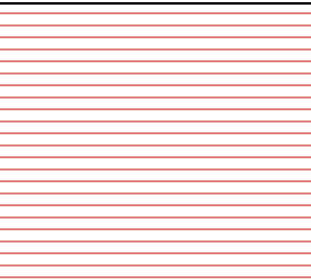






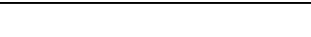
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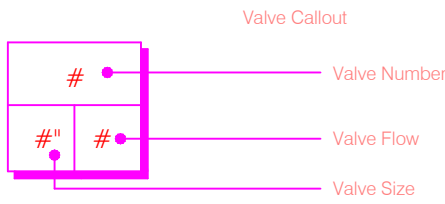
# Zhu Residence

Property Owner:

Revision #		Date:	
Title: Lighting			
Pritchard Landscape Design LLC Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519			
340 Dwight Road Burlingame Ca. 94010			
Scale: 3/16"=1'-0"	Date: 10/31/24	Drawn by: B.P.	
Project # 24-20	Drawing # L-02	Checked by: B.P.	

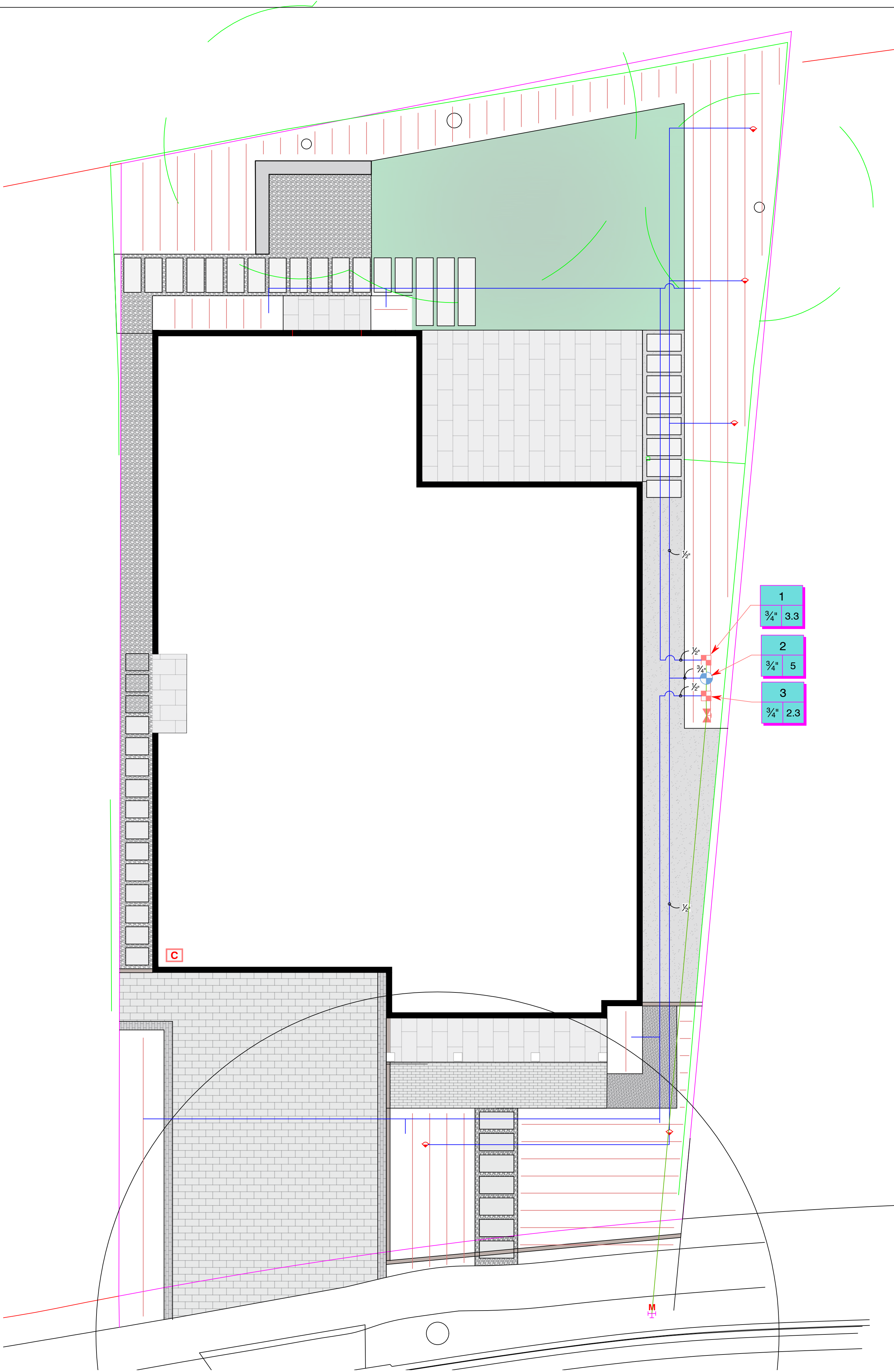
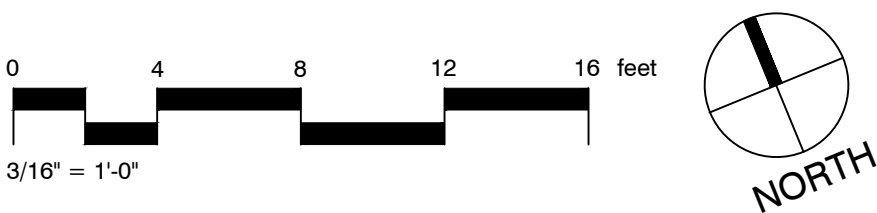


IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter PROS-00-MSBN 10F Multi-Stream Bubbler, fixed riser, 25=.25gpm, 50=0.5gpm, 10=1.0gpm, 20=2.0gpm.	5	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ACZ-075-25 3/4" Drip control kit featuring a 3/4" PGV-ASV valve, with 3/4" HY075 filter system, and 25psi pressure regulated. Flow range: 0.5 GPM to 15 GPM. With 150 mesh stainless steel screen.	2	
	Area to Receive Dripline Hunter HDL-09-18-CV HDL-09-18-CV: Hunter Dripline w/ 0.9 GPH emitters at 18" O.C. Check valve, dark brown tubing w/ black striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	559.2 l.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter PGV-ASV 3/4" 3/4" and 1" Plastic Electric Remote Control Valve, with removable Anti-Siphon Cap, and Flow Control, for Residential Use. Inlet/Outlet: Female NPT Threads.	1	
	Shut Off Valve	1	
	Hunter PHC-600 Wi-Fi enabled, full-functioning controller with touchscreen, 6-Station fixed controller, 120 VAC, Outdoor model.	1	
	Point of Connection 3"	1	
	Irrigation Lateral Line: PVC Schedule 40 1/2"	295.8 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 3/4"	3.2 l.f.	
	Irrigation Mainline: Schedule 40 Std. Steel Pipe	57.2 l.f.	



VALVE SCHEDULE								
NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Hunter ACZ-075-25	3/4"	Area for Dripline	3.3	101.5	35.9		0.64 in/h
2	Hunter PGV-ASV	3/4"	Bubbler	5	100.0	33.3		30.64 in/h
3	Hunter ACZ-075-25	3/4"	Area for Dripline	2.3	98.4	34.3		0.65 in/h
	Common Wire				57.2			

- A DEDICATED WATER SERVICE METER OR PRIVATE SUBMETER SHALL BE INSTALLED FOR ALL (NON-RESIDENTIAL IRRIGATED LANDSCAPES OF AT LEAST 1,000SQFT) (RESIDENTIAL IRRIGATED LANDSCAPE AREAS OF AT LEAST 5,000SQFT).
- "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES."
- "CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."
- "A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES."
- AREAS LESS THAN 10- FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE OR DRIP IRRIGATION.
- OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24-INCHES OF ANY NON-PERMEABLE SURFACE.
- "AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."
- "A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES."
- "A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT".
- "AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."
- "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".
- I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE



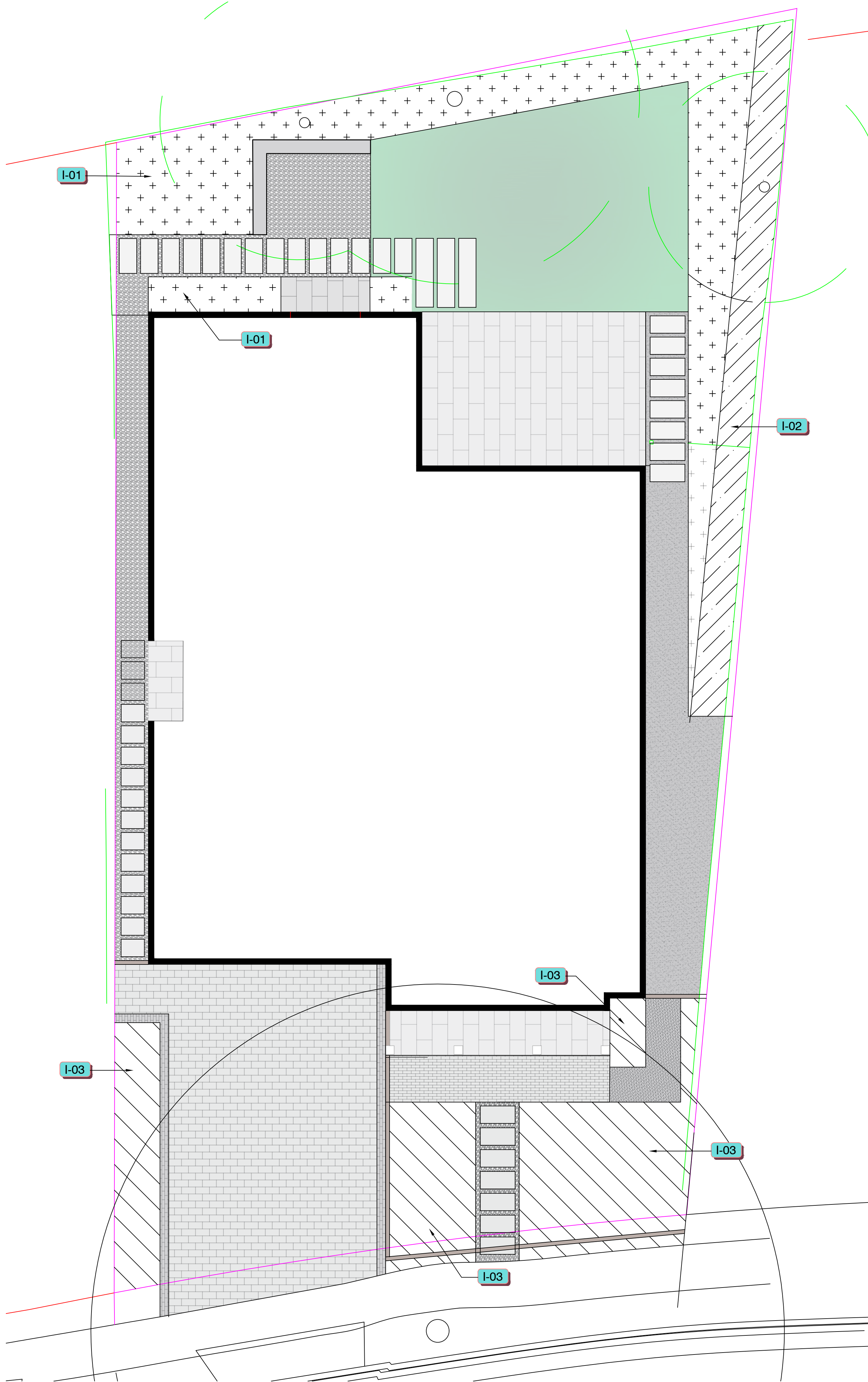
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Property Owner:

Revision #	Date:	
Title: Irrigation		
<div>Pritchard Landscape Design LLC</div> <div>Po Box 2084 Willits Ca. 95490 Phone: 408 888-8519</div>		
<div>340 Dwight Road Burlingame Ca. 94010</div>		
Scale: 3/16"= 1'-0"	Date: 10/31/24	Drawn by: B.P.
Project # 24-20	Drawing # L-04	Checked by: B.P.



IRRIGATION SCHEDULE	
CODE	DESCRIPTION
I-01	HYDROZONE 1 (MED)
I-02	HYDROZONE 2 (MED)
I-03	HYDROZONE 3 (LOW)



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# Zhu Residence

Property Owner:

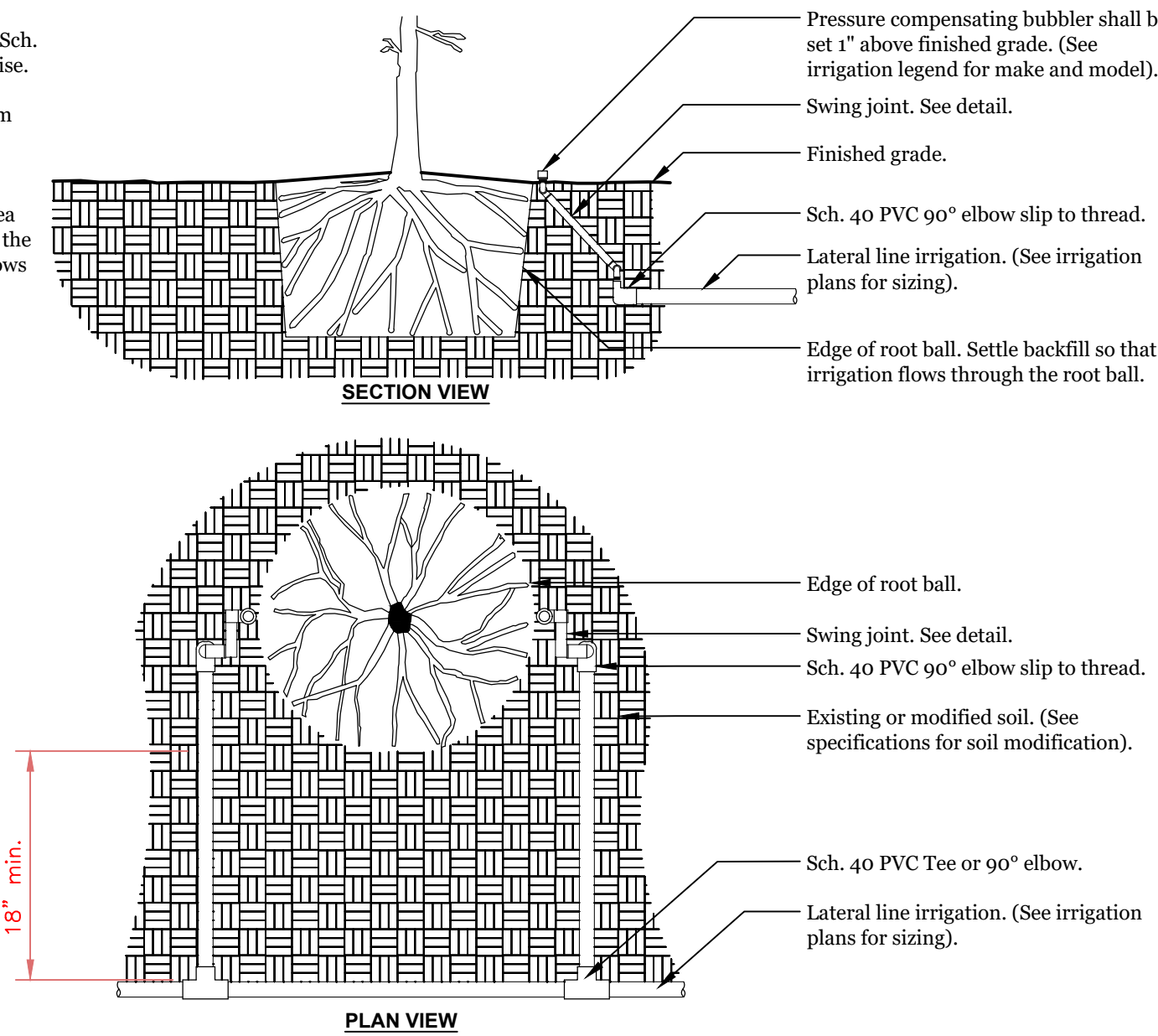
Revision #	Date:		
Title:	Hydrazone		
Pritchard Landscape Design LLC			
Po Box 2084 Willits Ca. 95490			
Phone: 408 888-8519			
340 Dwight Road			
Burlingame Ca. 94010			
Scale:	Date:	Drawn by:	
3/16"= 1'-0"	10/31/24	B.P.	
Project #	Drawing #	Checked by:	
24-20	L-05	B.P.	







Notes:  
1- All irrigation fittings shall be Sch. 40 PVC unless specified otherwise.  
2- All threaded connections from Sch. 40 to Sch. 80 PVC shall be made using teflon tape.  
3- Contractor shall settle the area around the bubbler and edge of the root ball so that all irrigation flows through the root ball.



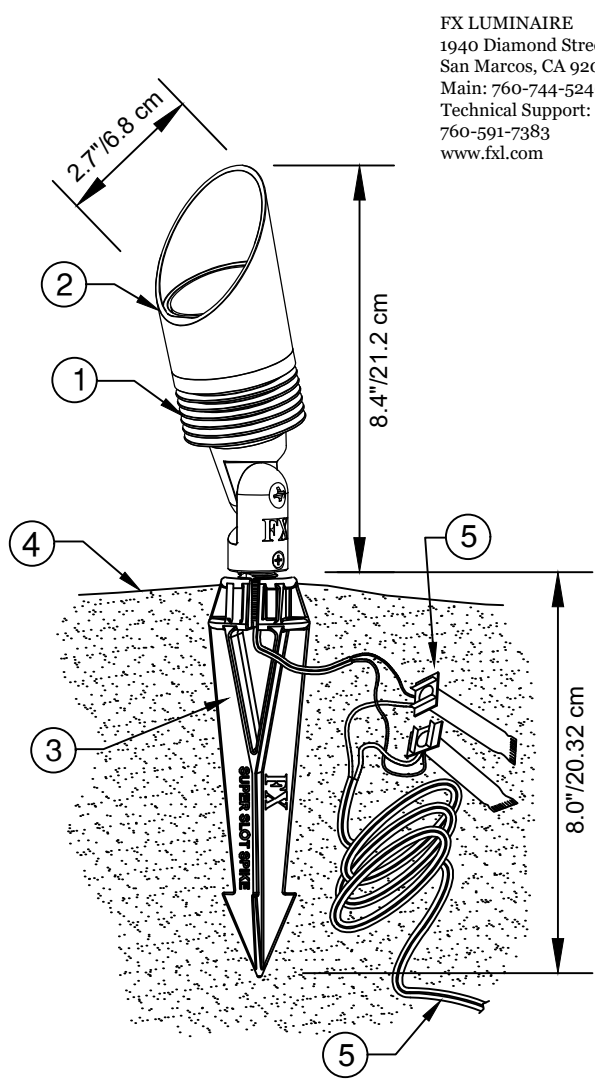
13 IRRIGATION BUBBLER (2) W/ LAYOUT  
3/4" = 1'-0"

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FX-IR-FX-BUBB-01

FXLuminaire.

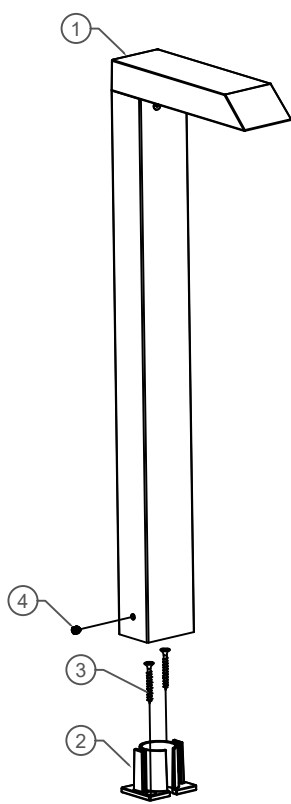
- DETAIL LEGEND
- FX Luminaire NP fixture. See plan legend for wattage, beam spread and accessories.
  - Aim fixture a minimum of 10° off vertical to allow water and dirt to drain off lens cap.
  - FX Luminaire Super Slot Spike mount.
  - Finished grade.
  - Direct bury, UF/UL, copper, low voltage cable with 3M DBR/Y-6 direct bury splice kit. Leave 18" minimum wire loop coiled below fixture for service.

- NOTES
- Installation to be completed in accordance with manufacturer's specifications.
  - Accepts 10-15 volts - AC or DC
  - See plan legend for LED board option, beam spreads, and accessories.
  - Always refer to FX product installation notes prior to installation.



FX LUMINAIRE  
1940 Diamond Street  
San Marcos, CA 92078  
Main: 760-744-5249  
Technical Support:  
760-591-7383  
www.fx.com

FX LUMINAIRE M-PL FIXTURE. SEE PLAN LEGEND FOR COLOR TEMPERATURE, LUXOR OPTION, OR MOUNTING ACCESSORIES.  
M-PL MOUNTING BASE (MPL-DM-XX)  
MOUNTING SCREWS FOR BASE (2)  
ALLEN SCREW FOR SECURING FIXTURE TO MOUNTING BASE. HAND TIGHTEN ONLY.



- NOTES
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - ACCEPTS 10-15 VOLTS - AC OR DC.
  - ALWAYS REFER TO FX PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.

15 FXL M-PL PATH LIGHT  
NOT TO SCALE

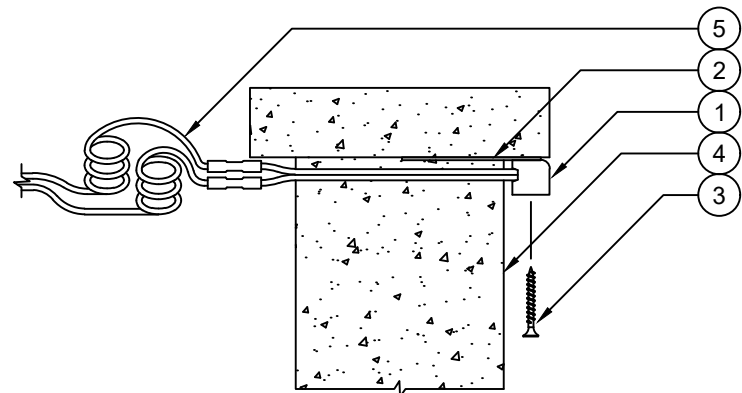
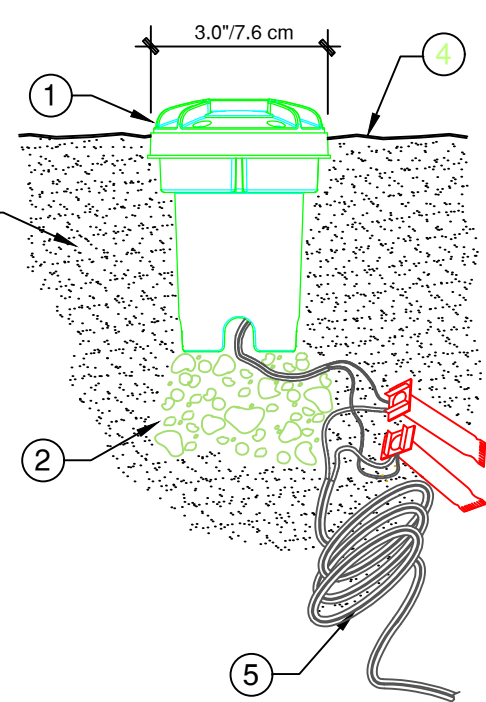
P-RE-LIG-18

16 FXL FC-GW LED IN GRADE LIGHT  
NOT TO SCALE

P-RE-LIG-17

- DETAIL LEGEND
- FX Luminaire FC fixture. See plan legend for wattage, beam spread and accessories.
  - 4" pea gravel for drainage.
  - Existing soil profile.
  - Finished grade.
  - Direct bury, UF/UL, copper, low voltage cable with 3M DBR/Y-6 direct bury splice kit. Leave 18" minimum wire loop coiled below fixture for service.

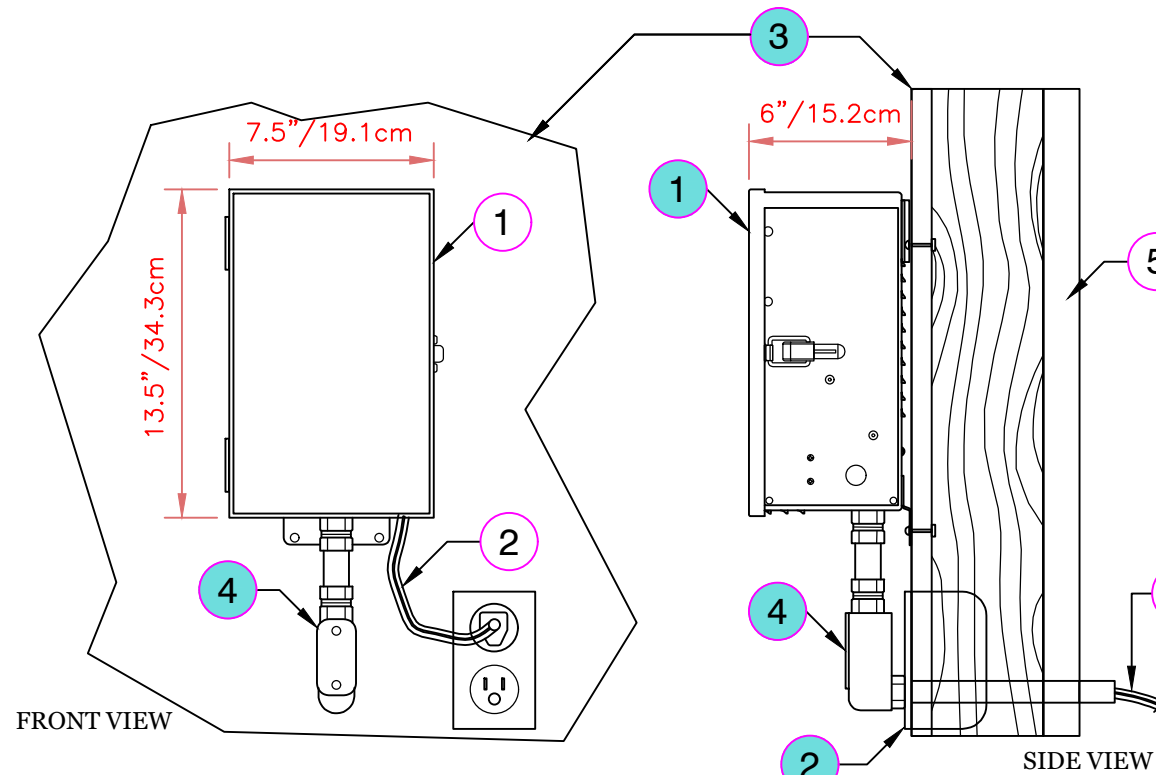
- NOTES
- Installation to be completed in accordance with manufacturer's specifications.
  - Accepts 10-15 volts - AC or DC
  - See plan legend for LED board and accessories.
  - Always refer to FX product installation notes prior to installation.



- DETAIL LEGEND:
- FX LUMINAIRE "C-LL" LEDGE LIGHT FIXTURE PER PLAN.
  - INSTALL MOUNTING PLATE TO WALL OR SURFACE PRIOR TO LAYING CAPSTONE (OPTIONAL)
  - FASTEN HOUSING ONTO MOUNTING PLATE OR DIRECTLY TO DESIRED SURFACE (OPTIONAL)
  - ADJACENT WALL OR SURFACE
  - DIRECT BURY, UF/UL, COPPER, LOW VOLTAGE CABLE WITH UL 460D (IEC/EN 60959) RATED WATERPROOF CONNECTION. LEAVE MINIMUM WIRE LOOP COILED BEHIND FIXTURE FOR FUTURE SERVICE.
- NOTES
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - ACCEPTS 10-15 VOLTS - AC/DC.
  - SEE PLAN LEGEND FOR LED BOARD OPTION, BEAM SPREADS, AND ACCESSORIES.
  - ALWAYS REFER TO FX PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.

17 FXL BP LEDGE LIGHT  
NOT TO SCALE

P-RE-LIG-19

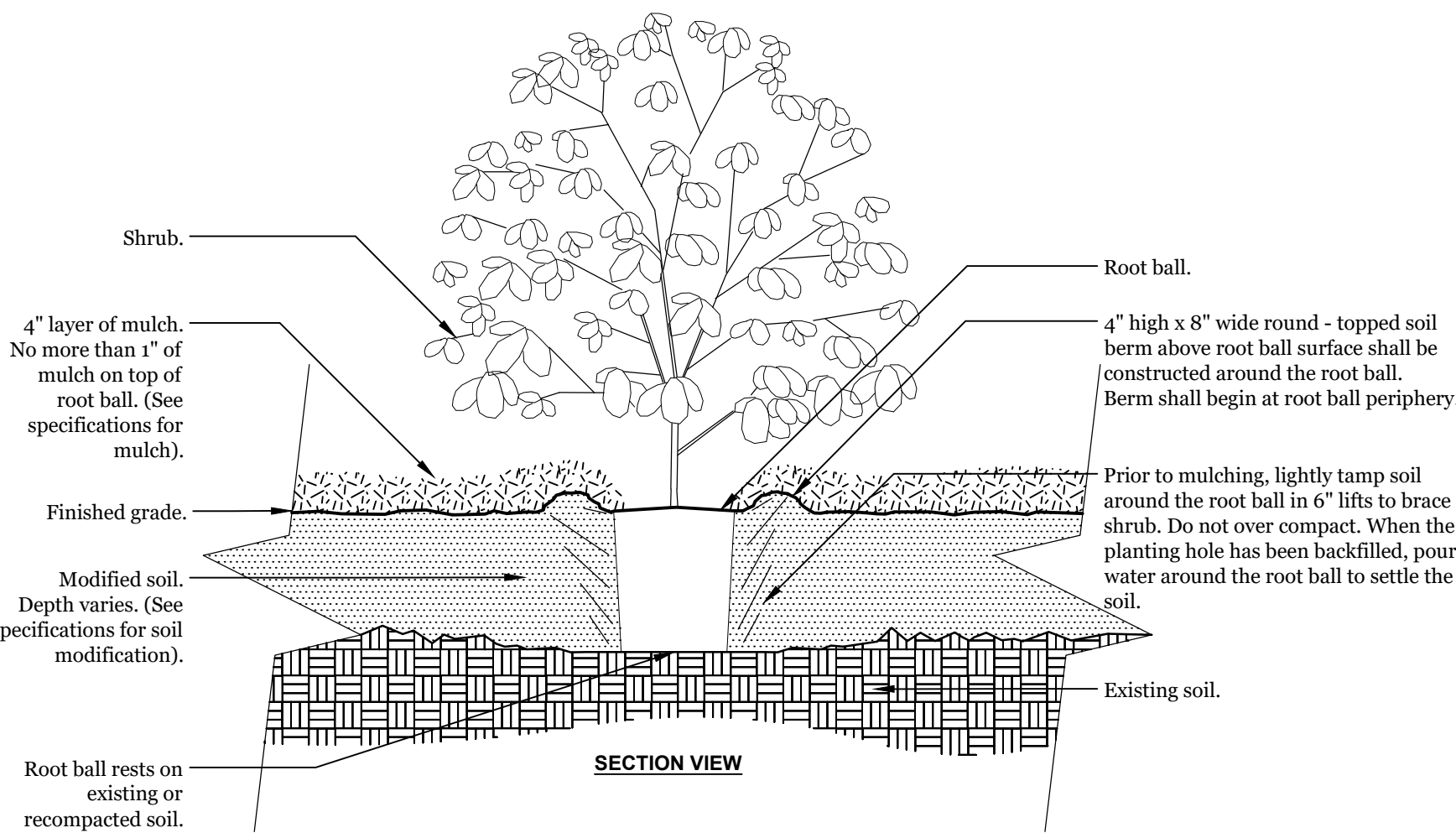


- FX LUMINAIRE FX TRANSFORMER. SEE PLAN LEGEND FOR MOUNTING INSTRUCTIONS.
- FX AVAILABLE ELECTRIC PIGTAIL AND 120 VOLT POWER SOURCE.
- INDOOR DRYWALL MOUNTING SURFACE.
- LENGTH OF WIRE AND JUNCTION BOX TO BE DETERMINED. USE DIRECT BURY, UF/UL, COPPER, LOW VOLTAGE CABLE WITH 3M DBR/Y-6 DIRECT BURY SPLICE KIT.
- SEE PLAN LEGEND FOR TYPE OF MATERIAL FOR OUTSIDE WALL SURFACE.

- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - ALWAYS REFER TO FX PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION

18 FXL PX-TRANSFORMER INDOOR DRYWALL  
NTS

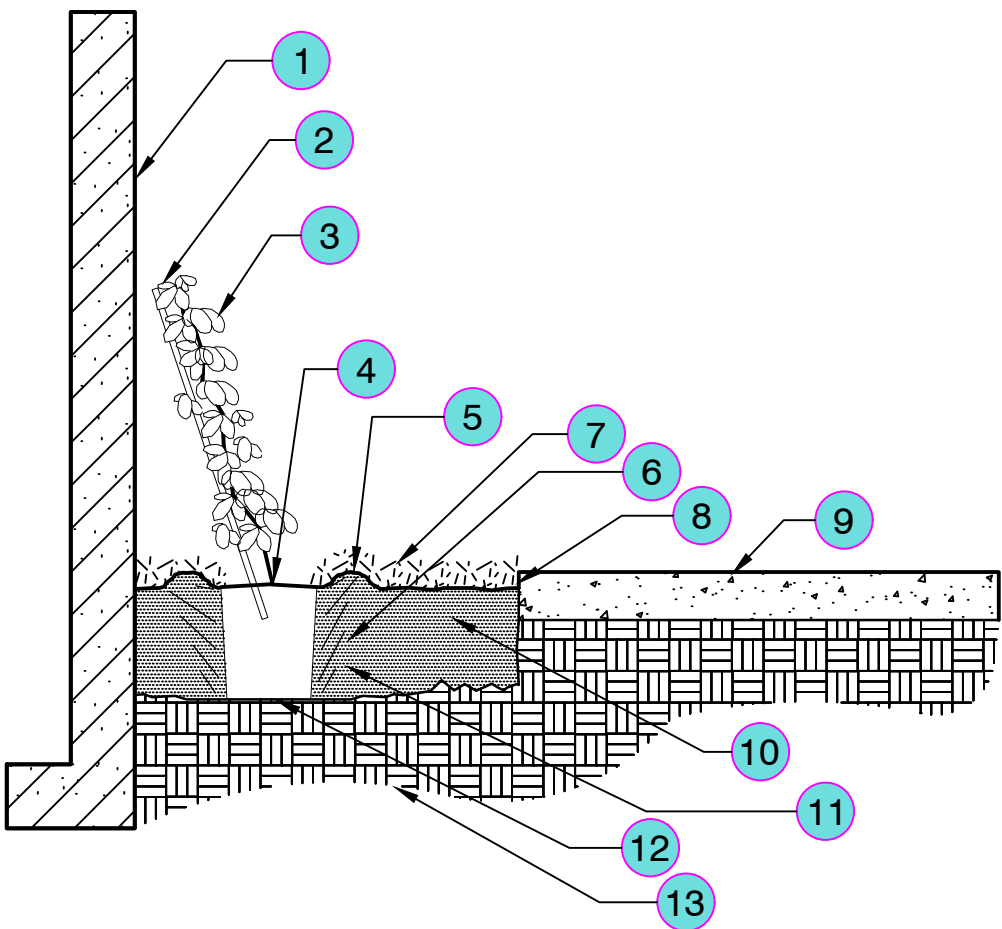
FX-LT-FXL-TRAN-32



- Notes:
- Shrubs shall be of quality prescribed in the root observations detail and specifications.
  - See specifications for further requirements related to this detail.

19 SHRUB - MODIFIED SOIL  
3/4" = 1'-0"

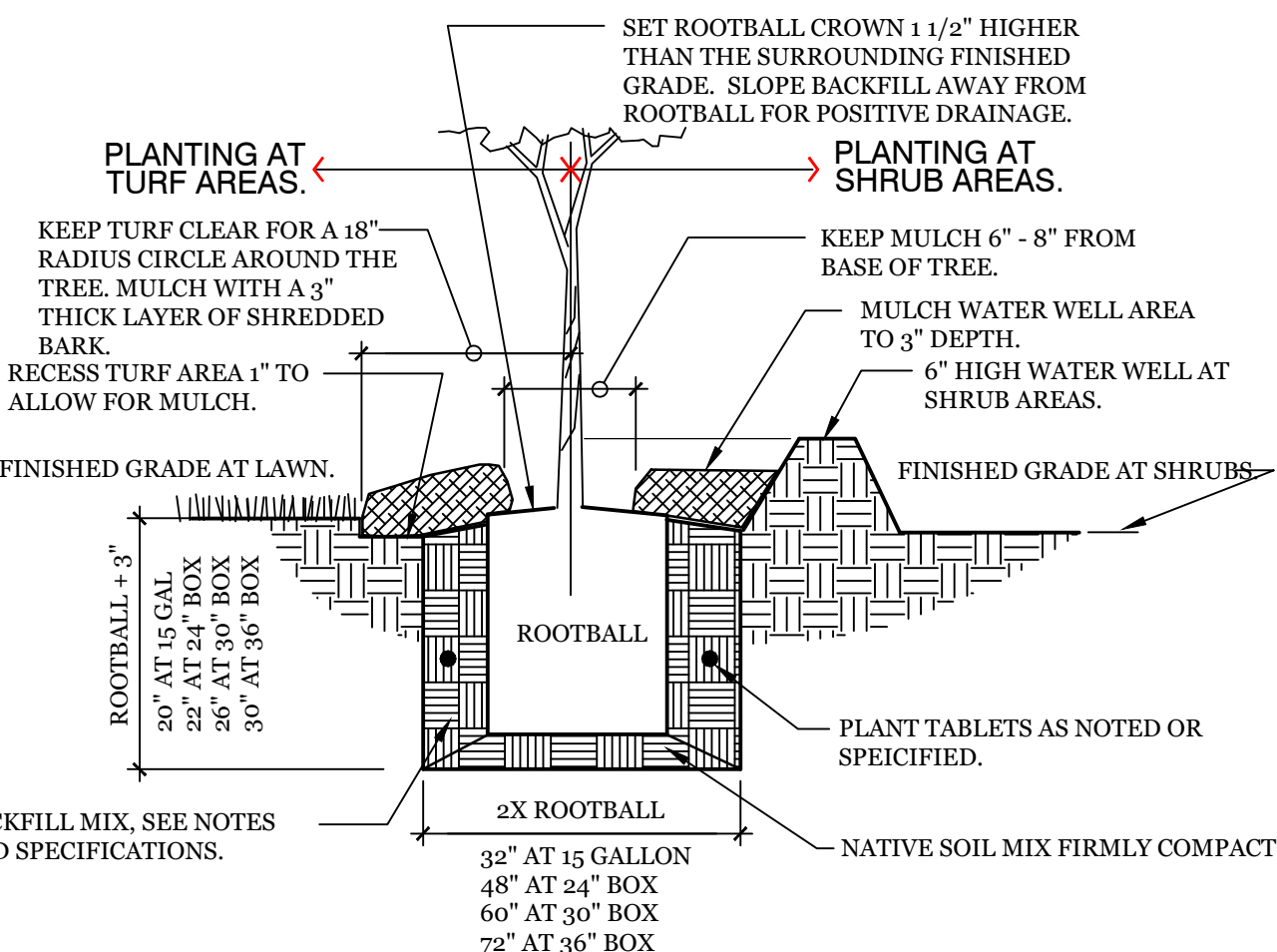
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FX-PL-FX-SHRB-03



- NOTES:
- VINES SHALL BE OF QUALITY AS PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
  - SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

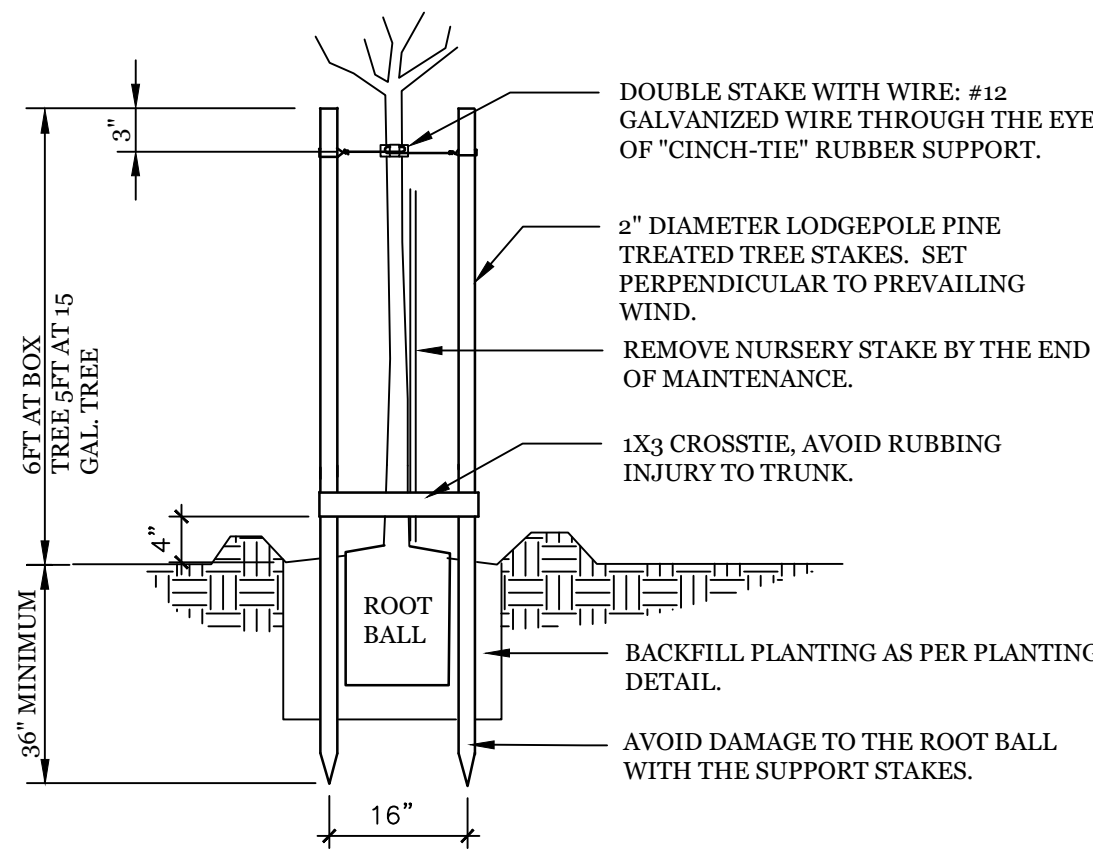
20 VINE - MODIFIED SOIL  
1/2" = 1'-0"

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PLANT PIT DETAIL

21 TREE PLANTING DOUBLE STAKE  
1" = 1'-0"



STAKING DETAIL

FX-PL-FX-TREE-11

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Zhu Residence

Property Owner:

Revision #

Date:

Title:  
DETAILS

Pritchard  
Landscape  
Design LLC

Po Box 2084 Willits Ca. 95490  
Phone: 408 888-8519

340 Dwight Road  
Burlingame Ca. 94010

Scale:

Date:

10/31/24

Drawn by:

B.P.

Project #

24-20

Drawing #

L-07

Checked by:

B.P.



