

As requested we have completed our elevation survey of 1317 Laguna Ave. Reference elevation is City of Burlingame Benchmark #152, top of southwesterly curb at the intersection of Lincoln Ave. and California Dr. (Elev. = 9.121', NGVD 29)

The results of our survey follow below:

Property Corners:	Elevations (ft)
Front Left	13.55
Front Right	14.20
Rear Left	17.26
Rear Right	17.49

15' Setbacks:	Elevations (ft)
Front Left	15.13
Front Right	15.02
Rear Left	16.86
Rear Right	17.04

Top-of-Curb Prolongation from Front Property Corners:

Front Left	13.21
Front Right	13.25

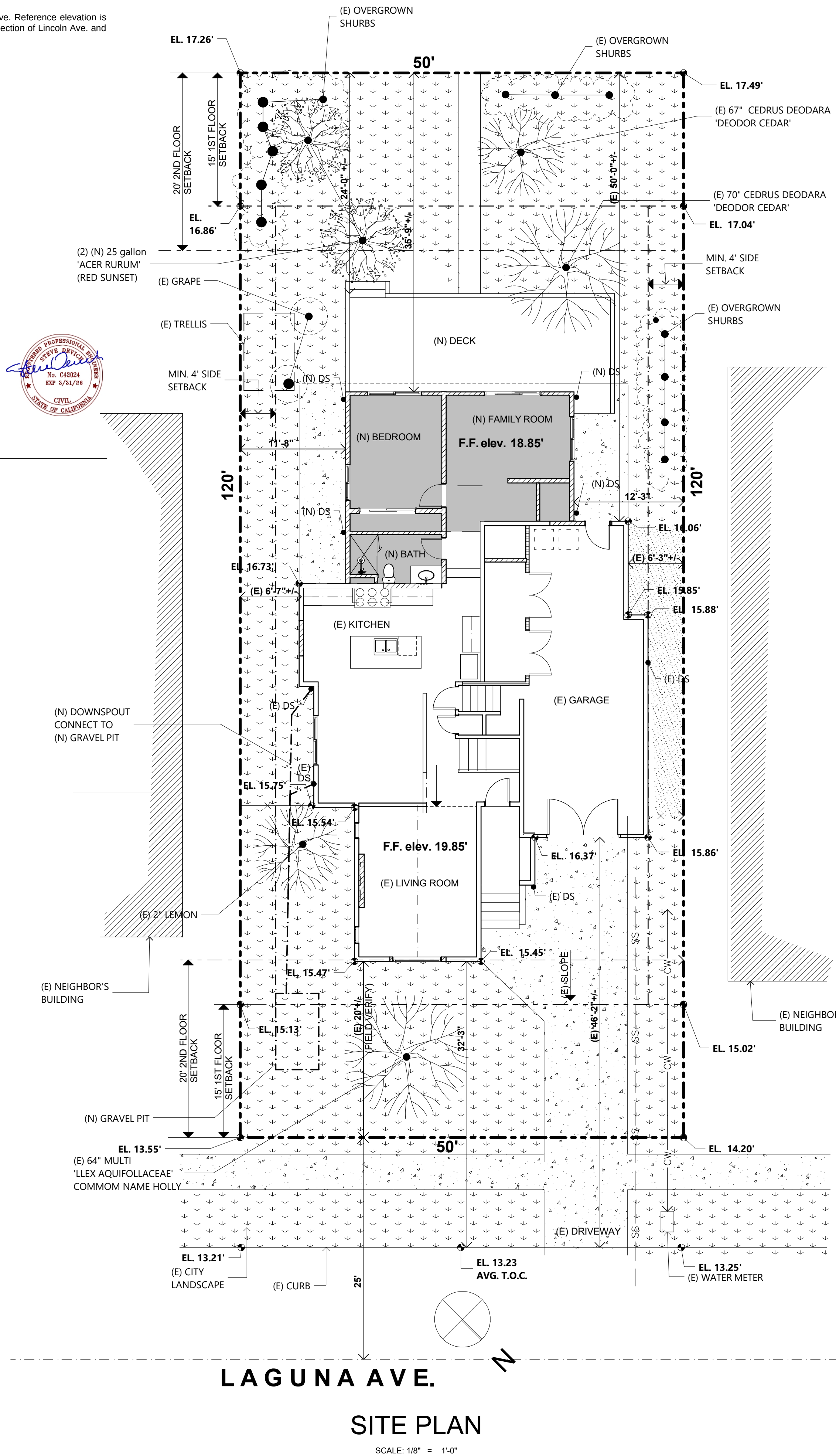
House Corners: (numbered from right-rear corner, c/w)

Cor. #1	16.06
Cor. #2	16.14
Cor. #3	16.37
Cor. #4	15.54
Cor. #5	15.75
Cor. #6	15.54
Cor. #7	15.47
Cor. #8	15.45
Cor. #9	15.37
Cor. #10	15.86
Cor. #11	15.88
Cor. #12	15.85

House Finish Floor:
Building Finish Floor (FF) Front

25263 La Loma Dr., Los Altos, CA 94022

NOTE:
NO TREES ARE TO BE REMOVED



PROJECT DATA

APN: 026084100
ZONING: R1
TYPE OF CONSTRUCTION: VB
OCCUPANCY: R3/U
LOT SIZE: 6,000 SQ. FT.

SQUARE FOOTAGE:	LIVING SPACE:	ADDITION:	TOTAL:
FIRST FLOOR:	798.88 SQ. FT.	466.72 SQ. FT.	1,265.60 SQ. FT.
SECOND FLOOR:	607.55 SQ. FT.	497.24 SQ. FT.	1,104.79 SQ. FT.
TOTAL	2,370.39 SQ. FT.	590.96 SQ. FT. (GARAGE)	

MAX LOT COVERAGE
LOT SIZE(SF) 6,000 X 40% SF ALLOWED 2,400
PROPOSED LOT COVERAGE
TOTAL SF 1905.89 / LOT SIZE (SF) 6,000 = LOT COVERAGE 32%

FIRST FLOOR + GARAGE 1,905.89 SF
TOTAL 1,905.89 SF
REAR DECK LESS THAN 30' - EXEMPT FROM LOT COVERAGE
FROCH PORCH IS NOT EXEMPT FROM LOT COVERAGE
CALCULATIONS DO NOT INCLUDE FRONT PORCH STAIRS

MAX FAR INTERIOR LOT WITH ATTACHED GARAGE
LOT SIZE (SF) Interior lot sf allowed far 32% x 6,000 + 1,100 = 3020 = 0.50
PROPOSED FAR
TOTAL SF 2961.66 / LOT SIZE (SF) 6,000 = FAR 0.494

FIRST LOOT 1,858.60 SF
SECOND FLOOR 1,103.06
FRONT PORCH UNDER 200 SF EXEMPT FROM FAR

SITE:
STRUCTURE: 32%
LANDSCAPE: (2,931 SF) 48%
WOOD DECK (347 SF) 0.57%
CONCRETE (616,11) 19.43%

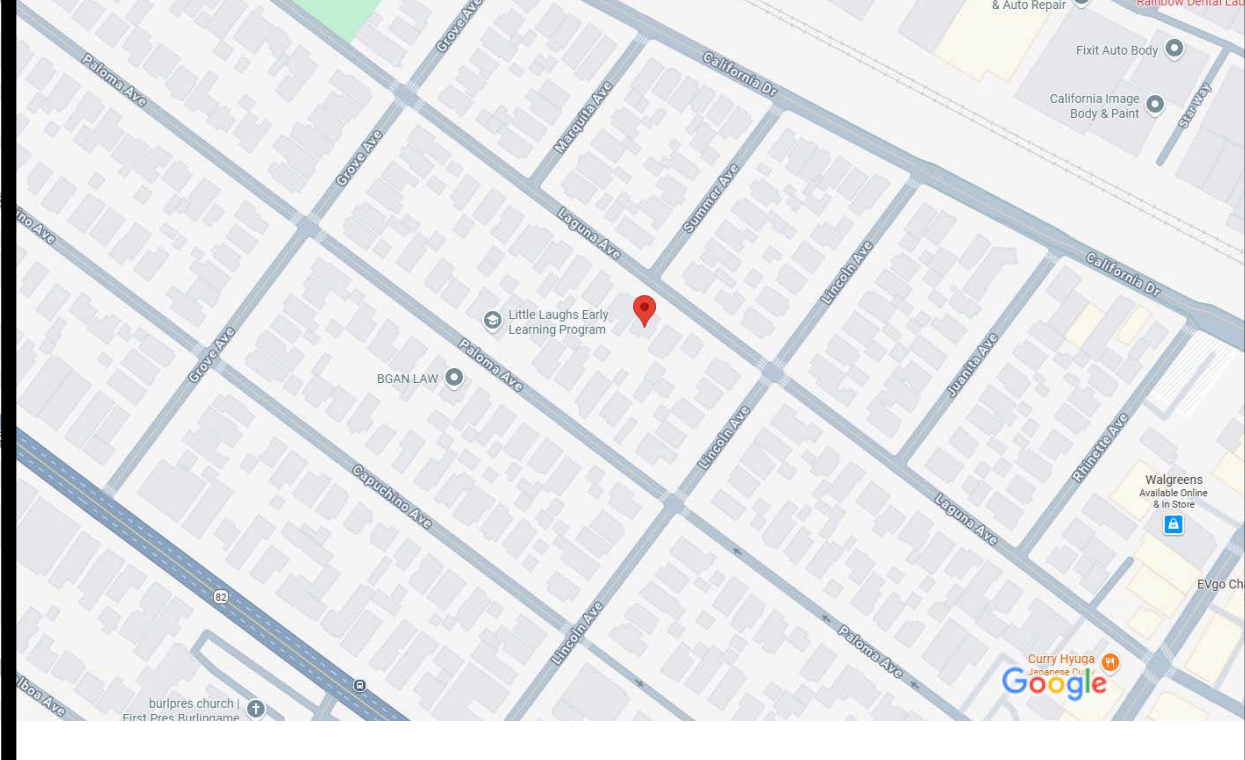
SHEET INDEX

- 0 COVER SHEET / SITE PLAN
- A EXISTING FLOOR PLAN
- B PROPOSED FLOOR PLAN
- C EXTERIOR ELEVATION
- D EXTERIOR ELEVATION
- E EXTERIOR ELEVATION
- F EXTERIOR ELEVATION
- G ROOF PLAN
- H SECTIONS
- 0.1 ARBORIST'S PLAN

SCOPE OF WORK

- NEW REAR ADDITION
- NEW FIRST FLOOR REAR DECK
- BATHROOM
- NEW MASTER BATHROOM
- NEW INTERIOR STAIR
- NEW ROOFING TO MATCH EXISTING
- REMOVE AND REPLACE EXISTING WINDOWS

VICINITY MAP



GENERAL NOTES

All work shall comply with applicable codes and trade standards which govern each phase of work, including, but not limited to:
2022 California Residential Code (CRC),
2022 California Building Code
2022 California Plumbing Code (CPC),
2022 California Mechanical Code (CMC),
2022 California Electrical Code (CEC),
2022 California Energy Code,
2022 California Green Building Standards
2022 California Fire Code (CFC) and all other applicable Municiple and Town ordinances and regulations.

The contractor shall carefully inspect all excavation work for compliance to requirements of the prevailing building code. Should any conditions appear questionable due to excessive dampness, granular composition, sluffing, softness or other defect, the contractor shall contact the engineer or designer.

All information pertaining to the site shall be, and shall remain, the owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, position of existing improvements, soils report and all related data. These documents have been prepared on the information available to the designer.

It is the responsibility of the contractor and all subcontractors to check and verify all dimensions and conditions indicated on these drawings and make known any discrepancies prior to commencing their work.

These drawings are intended for use in a negotiated construction contract and, therefore, may not specifically detail or specify materials and/or manufacturers. The contractor shall provide all samples and/or cuts as required to assist owner or his agent in making material selections.

No guarantee for quality of construction is implied or intended by the designer documents and the contractor shall assume full responsibility for any or all construction deficiencies.

The developer and/or general contractor shall hold harmless, indemnify and defend the Designer from any action initiated by the initial owner or any subsequent owners for construction deficiencies, modifications or such conditions which may be beyond the control of the Designer.

All dimensions shown take precedence over scaled dimensions.

Contractor shall coordinate with owner prior to ordering any fixtures, equipment, cabinetry, etc. for owner's approval.

Sheet metal contractor shall provide owner with heating duct & register location prior to installation for owner's approval.

All dimensions to face of stud unless otherwise noted.

Electrical contractor to verify with owner type and locations of all electrical fixtures, outlets, switches and subpanels prior to installation.

Plumbing contractor to verify with owner type and locations of all plumbing fixtures, faucets, etc. prior to installation.

General contractor shall contact the City of Burlingame regarding the requirements for the construction waste management plan.

WH DRAFTING AND DESIGN

924 Judah Street
San Francisco, Ca. 94122
warren9250@yahoo.com
(415) 531-1878

CONSULTANTS

ADDITION / ALTERATION FOR:
1317 LAGUNA AVE
BURLINGAME, CA.

DATE:	REVISION
8-22-2025	DESIGN REVIEW
12-5-2025	DESIGN COMMENTS
2-23-2026	DESIGN COMMENTS
4-28-2026	DESIGN COMMENTS
5-26-2026	DESIGN REVIEW

PROJECT NO: Project No. LAGUNA
DRAWN BY: W
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SHEET TITLE
COVER SHEET

0



CONSULTANTS

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ALTERATION
FOR:
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AVE**
BURLINGAME, CA.

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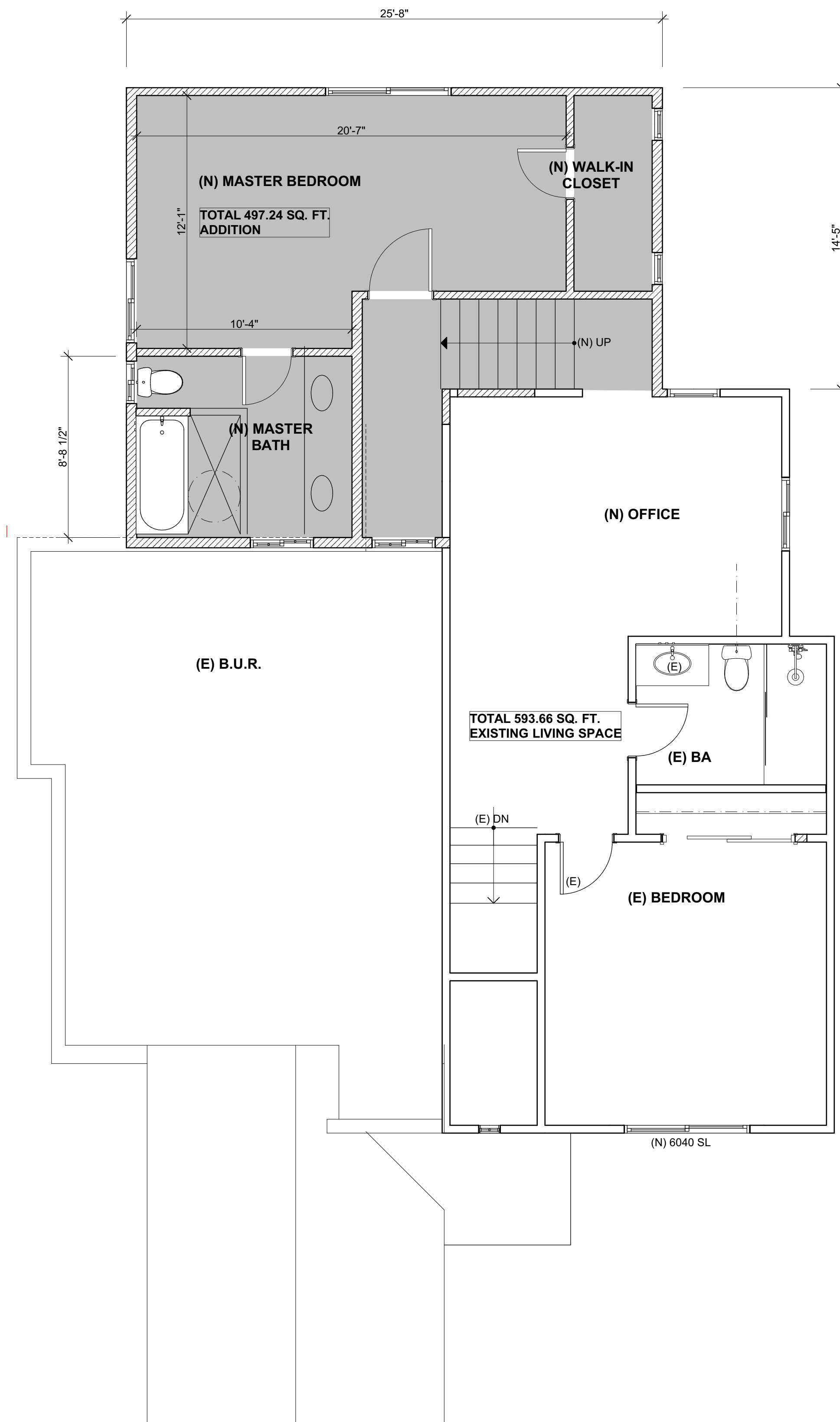
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SHEET TITLE

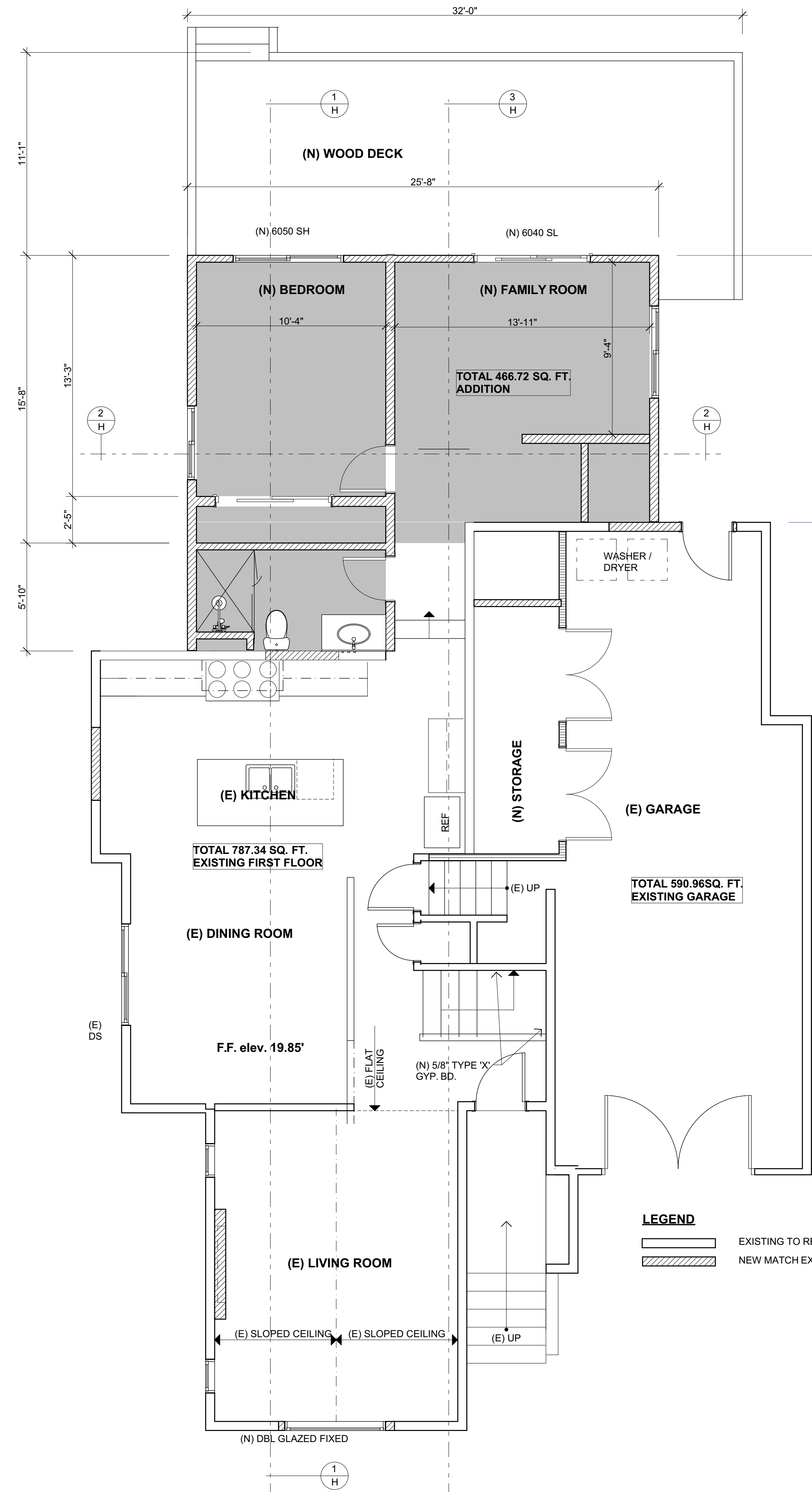
**PROPOSED FLOOR
PLAN**

B



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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ALTERATION
FOR:

**1317 LAGUNA
AVE**

BURLINGAME, CA.

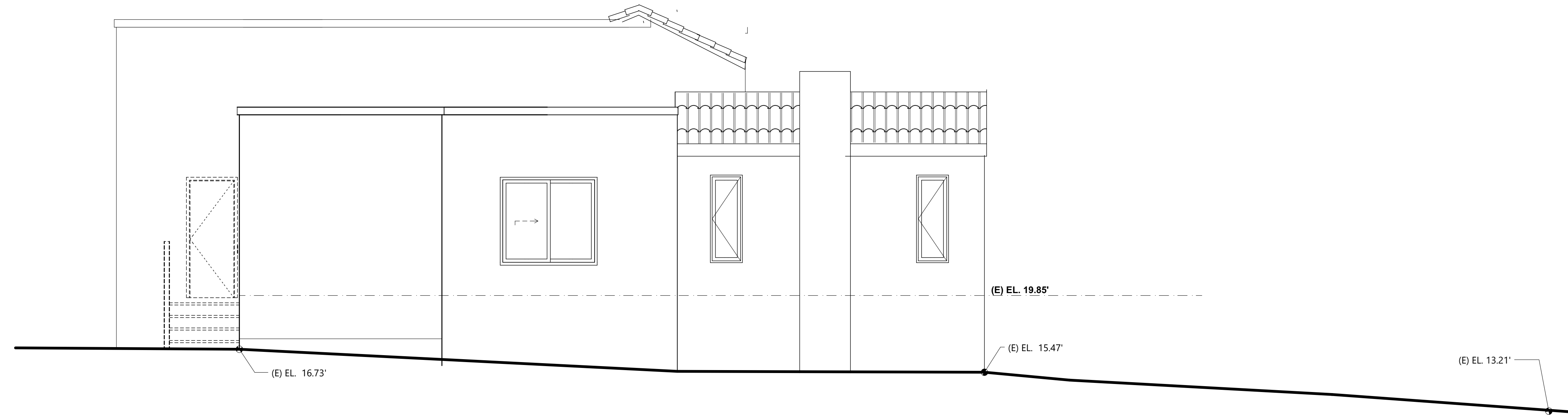
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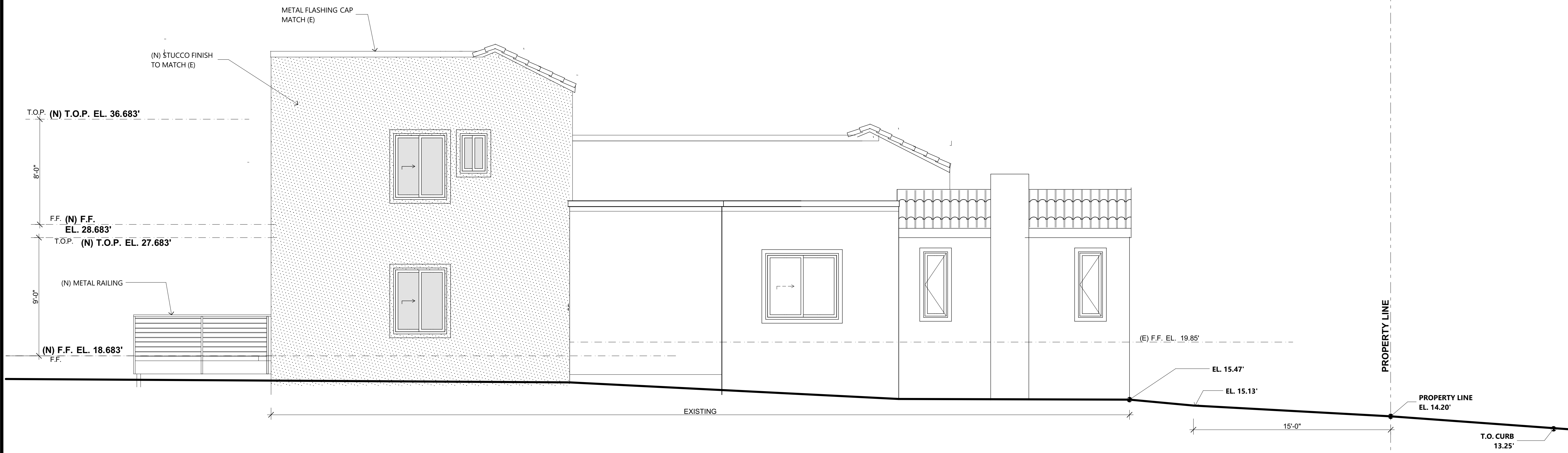
SHEET TITLE
ELEVATIONS

D



EXISTING LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

CONSULTANTS

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**1317 LAGUNA
AVE**

BURLINGAME, CA.

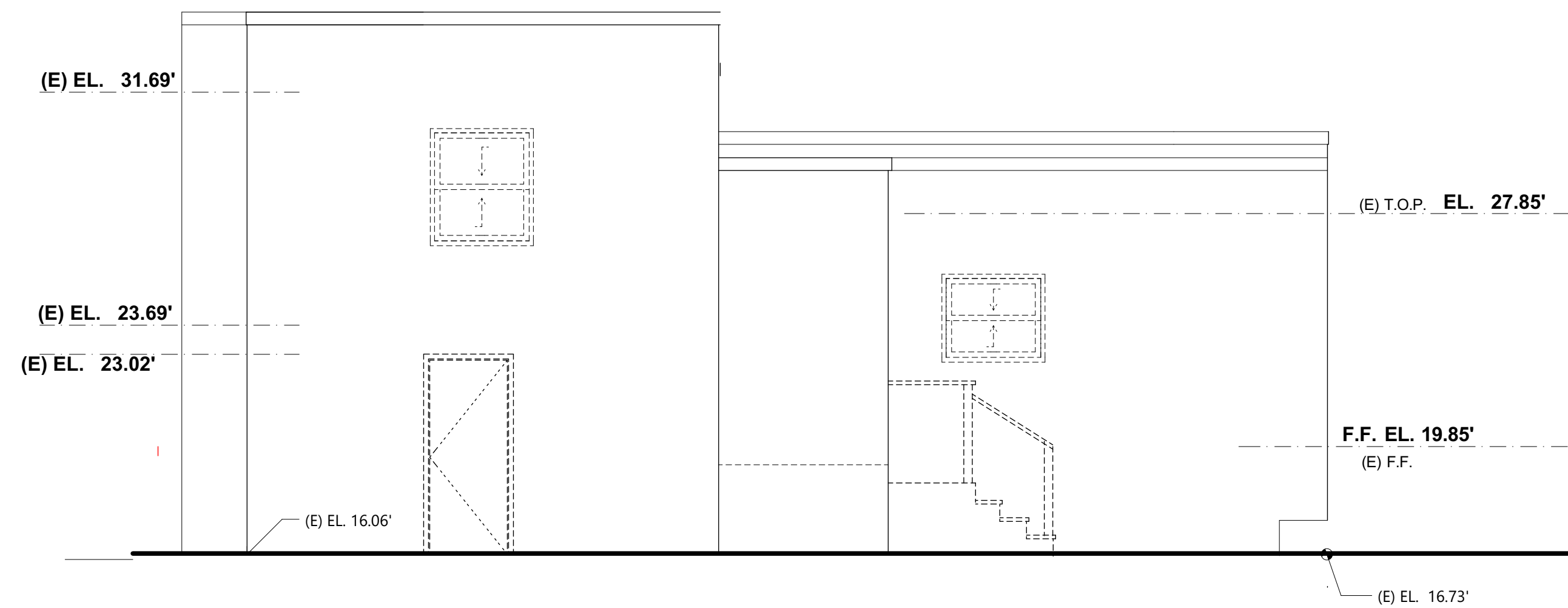
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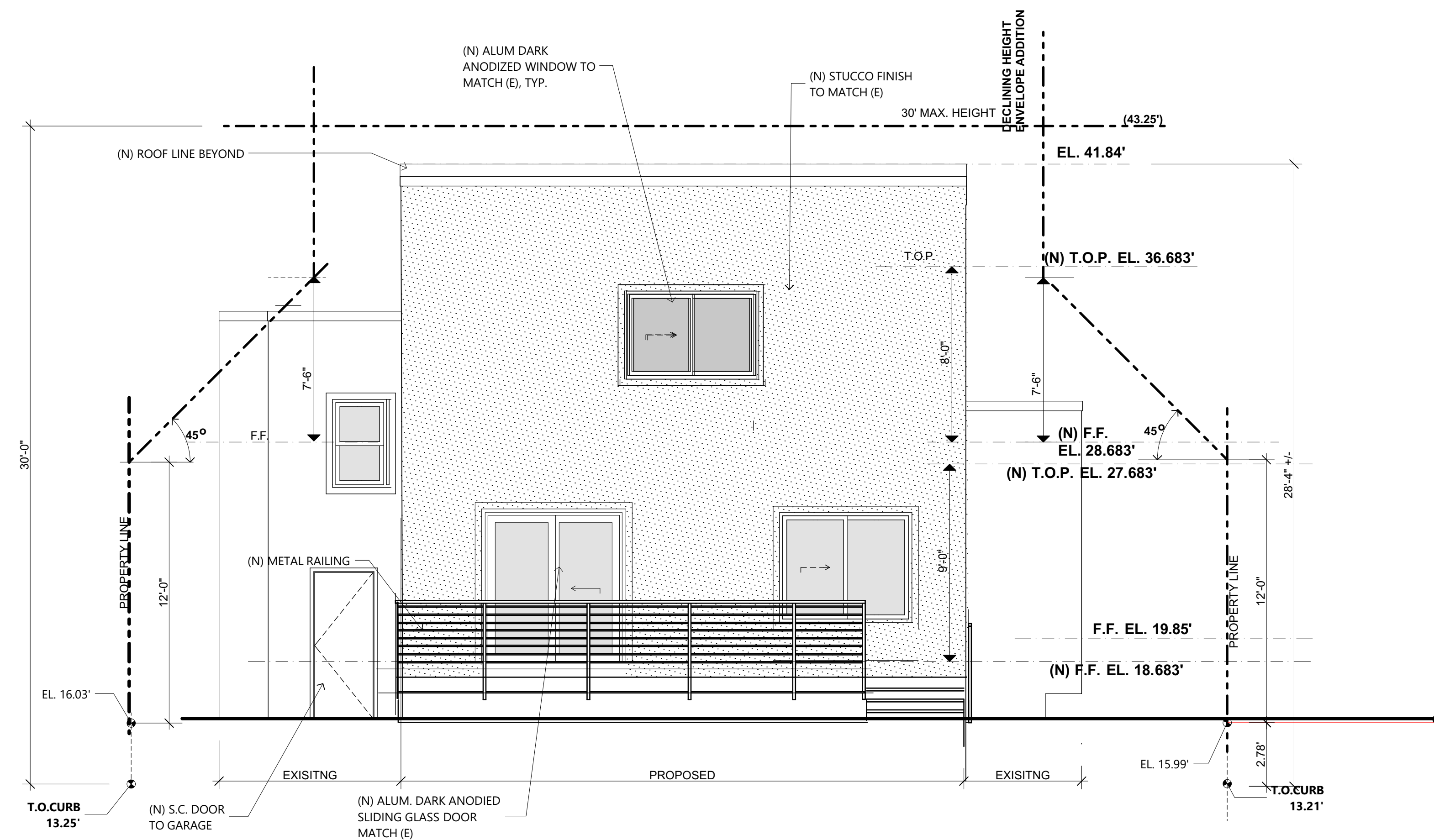
SHEET TITLE
ELEVATIONS

E



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

CONSULTANTS

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FOR:

**1317 LAGUNA
AVE**

BURLINGAME, CA.

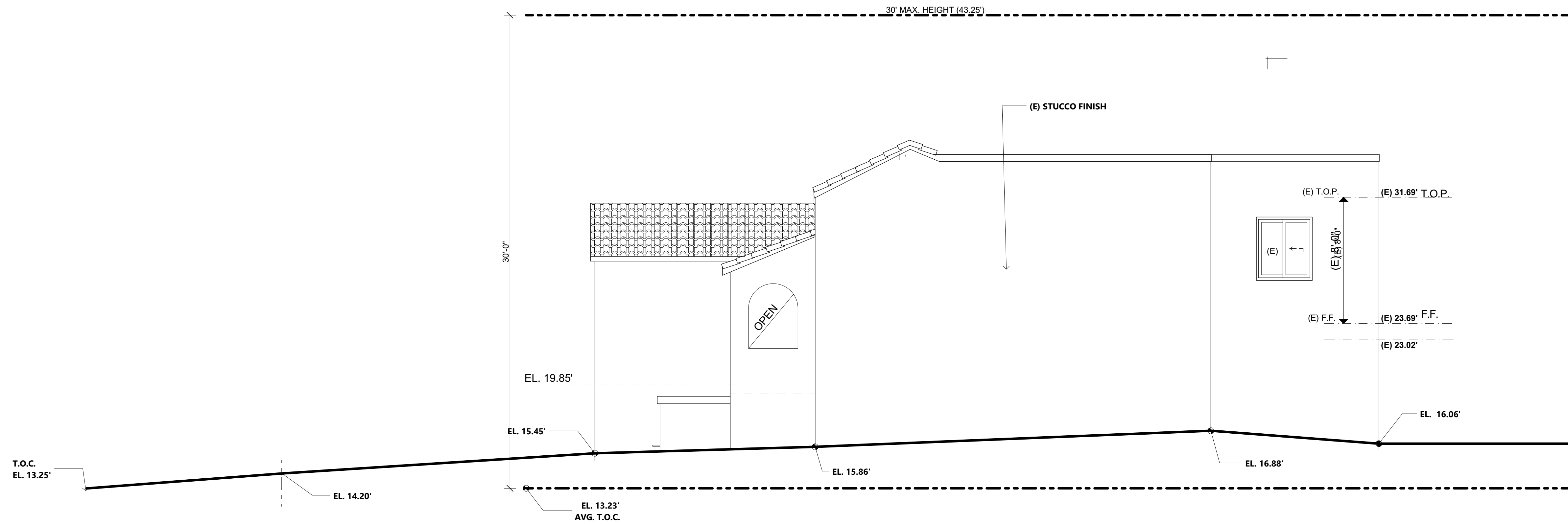
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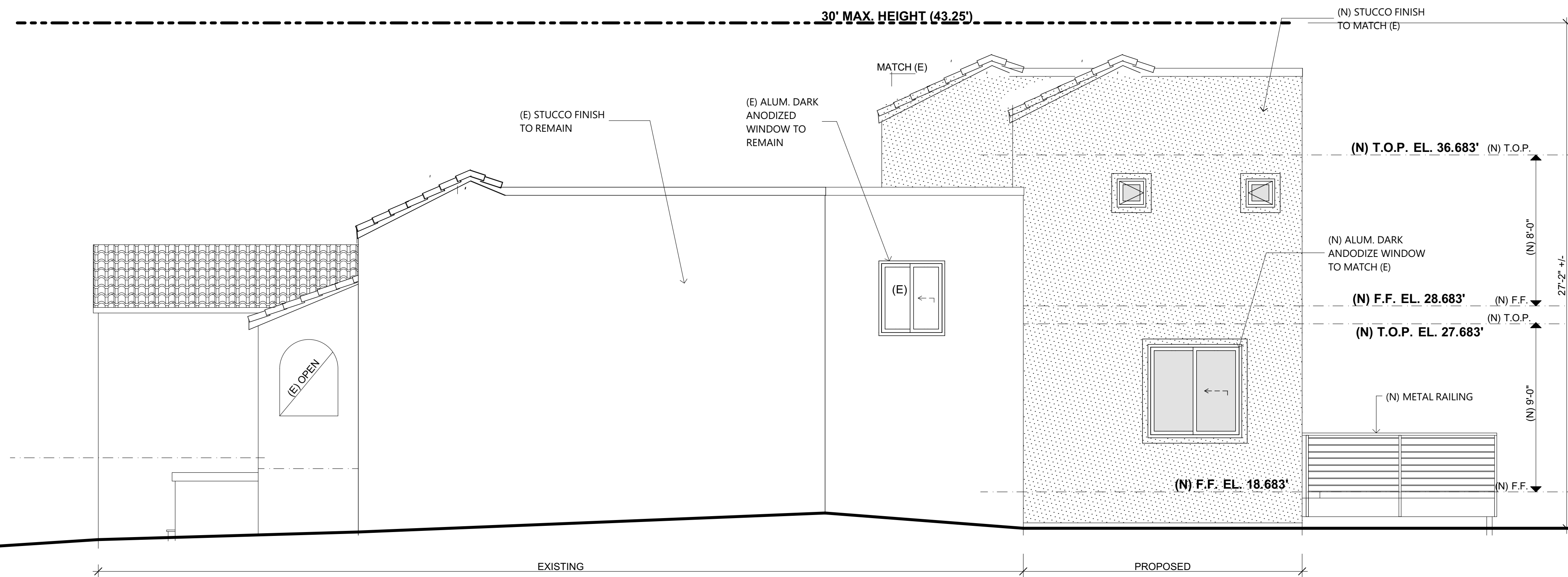
SHEET TITLE
ELEVATIONS

F



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

CONSULTANTS

ADDITION /
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FOR:

**1317 LAGUNA
AVE**

BURLINGAME, CA.

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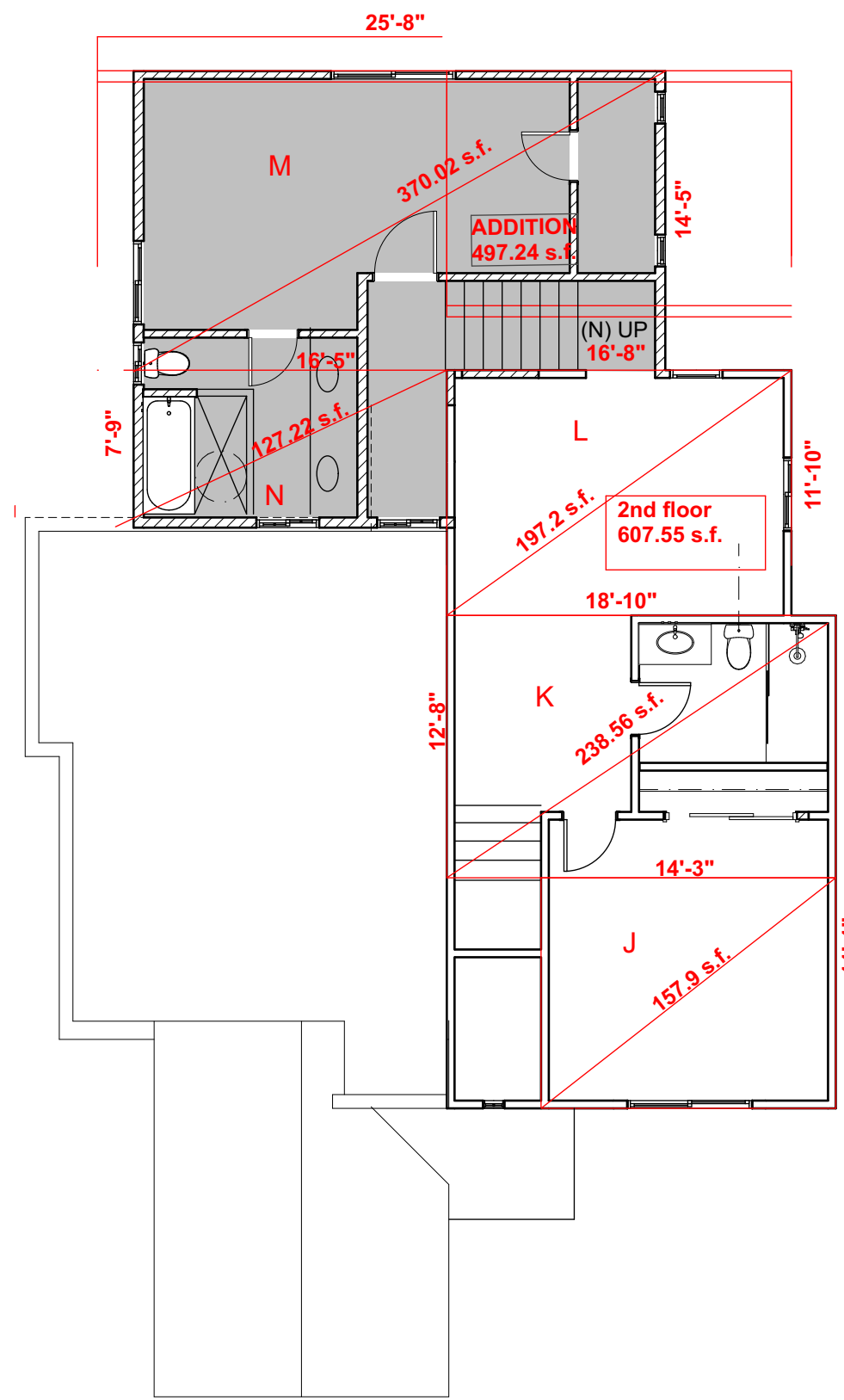
SHEET TITLE

ROOF PLAN

G

SECOND FLOOR

- J 14'-3" x 11'-1" = 157.9 SQ. FT.
- K 18'-10" x 12'-8" = 238.56
- T. L. 16'-8" x 11'-10" = 197.2 SQ. FT.
- TOTAL.....607.55 SQ. FT.
- ADDITION
- M 25'-8" x 14'-5" = 370.02 SQ. FT.
- N. 7'-9" x 16'-5" = 127.22 SQ. FT.
- TOTAL.....497.24 SQ. FT.



Second Floor S.F.

SCALE: 1/8" = 1'-0"

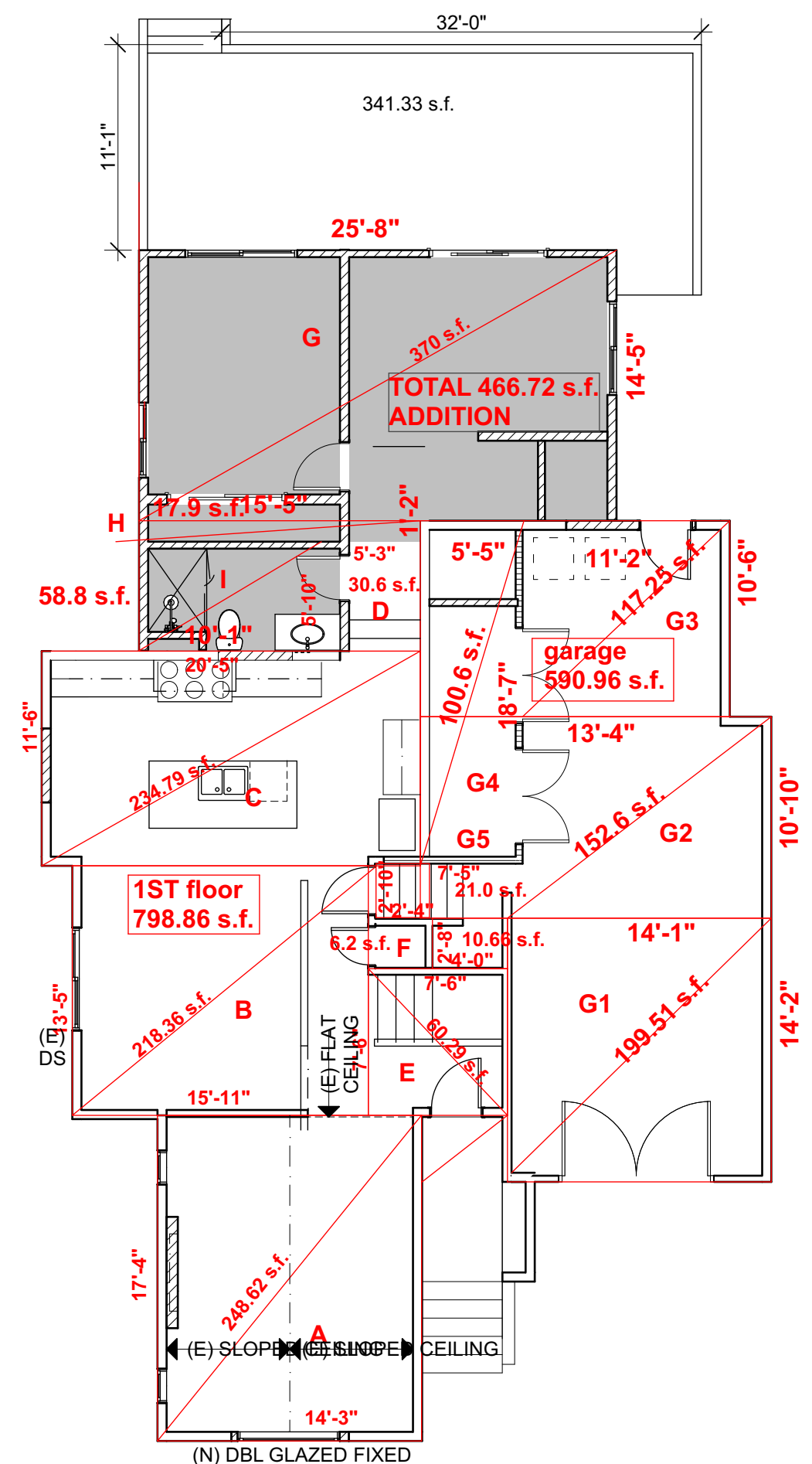
FIRST FLOOR

- A. 14'-3" x 17'-4" = 248.63 sq. ft.
- B. 15'-11" x 13'-5" = 218.36
- C. 20'-5" x 11'-6" = 234.79
- D. 5'-3" x 5'-10" = 30.6
- E. 7'-6" x 7'-6" = 60.29
- F. 2'-4" x 2'-8" = 6.2 SQ. FT.
- TOTAL.....798.86 SQ. FT.
- ADDITIONS
- G 25'-8" x 14'-6" = 370.02 SQ. FT.
- H 15'-5" x 1'-2" = 17.9
- I. 10'-1" x 5'-10" = 58.8 SQ. FT.
- TOTAL.....466.72 SQ. FT..

GARAGE

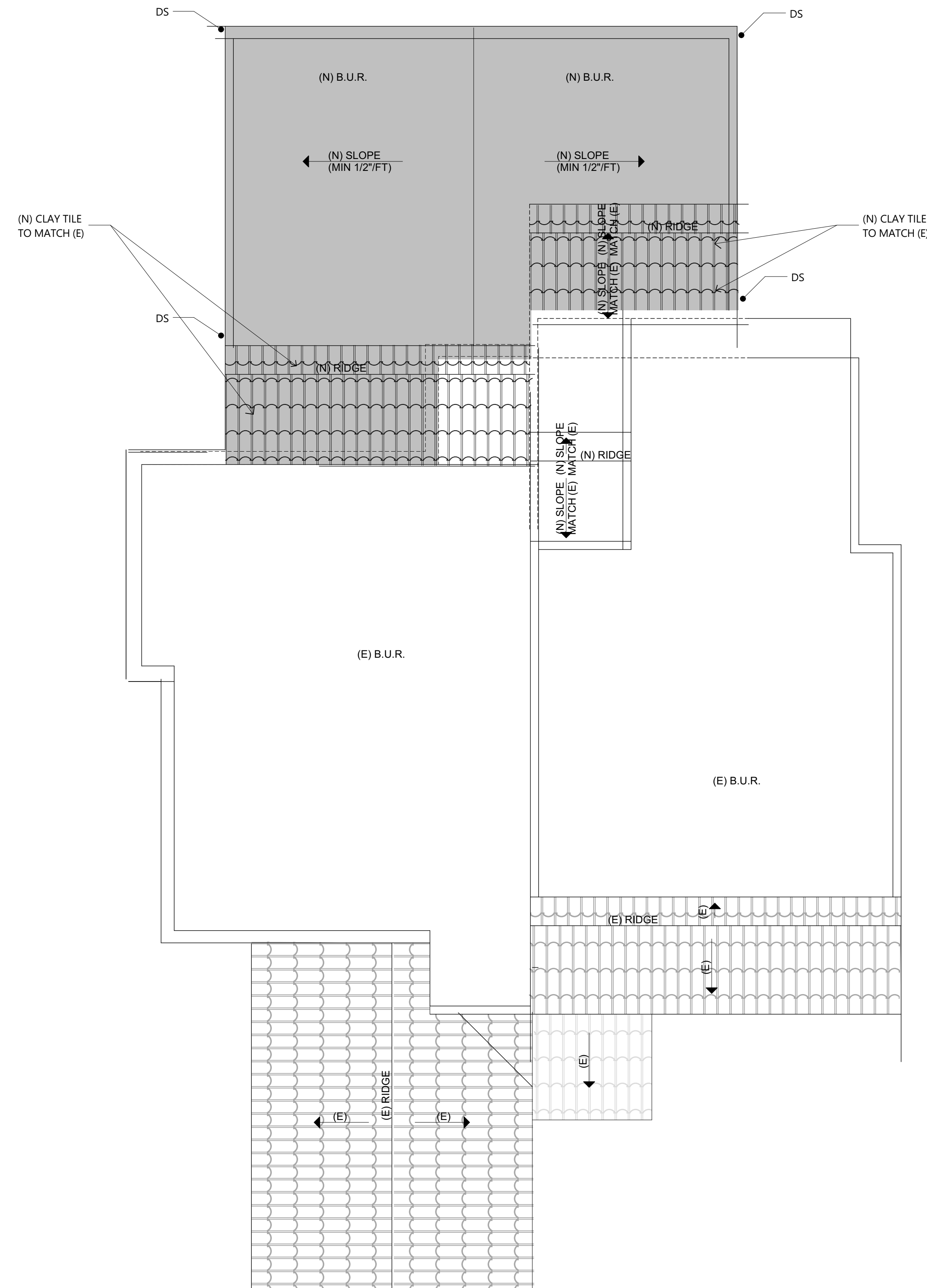
- G1 14'-1" x 14'-2" = 199.51 SQ. FT.
- G2 14'-1" x 10'-10" = 152.6
- G3 11'-2" x 10'-6" = 117.25
- G4 5'-5" x 18'-7" = 100.6
- G5 7'-5" x 2'-10" = 21.0 SQ. FT.
- TOTAL.....590.96 SQ. FT.

TOTAL SQ. FT.
798.86 SQ. FT.
466.72
590.96
607.55
497.24 SQ. FT.
2,961 SQ. FT.



First Floor S.F.

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

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BURLINGAME, CA.

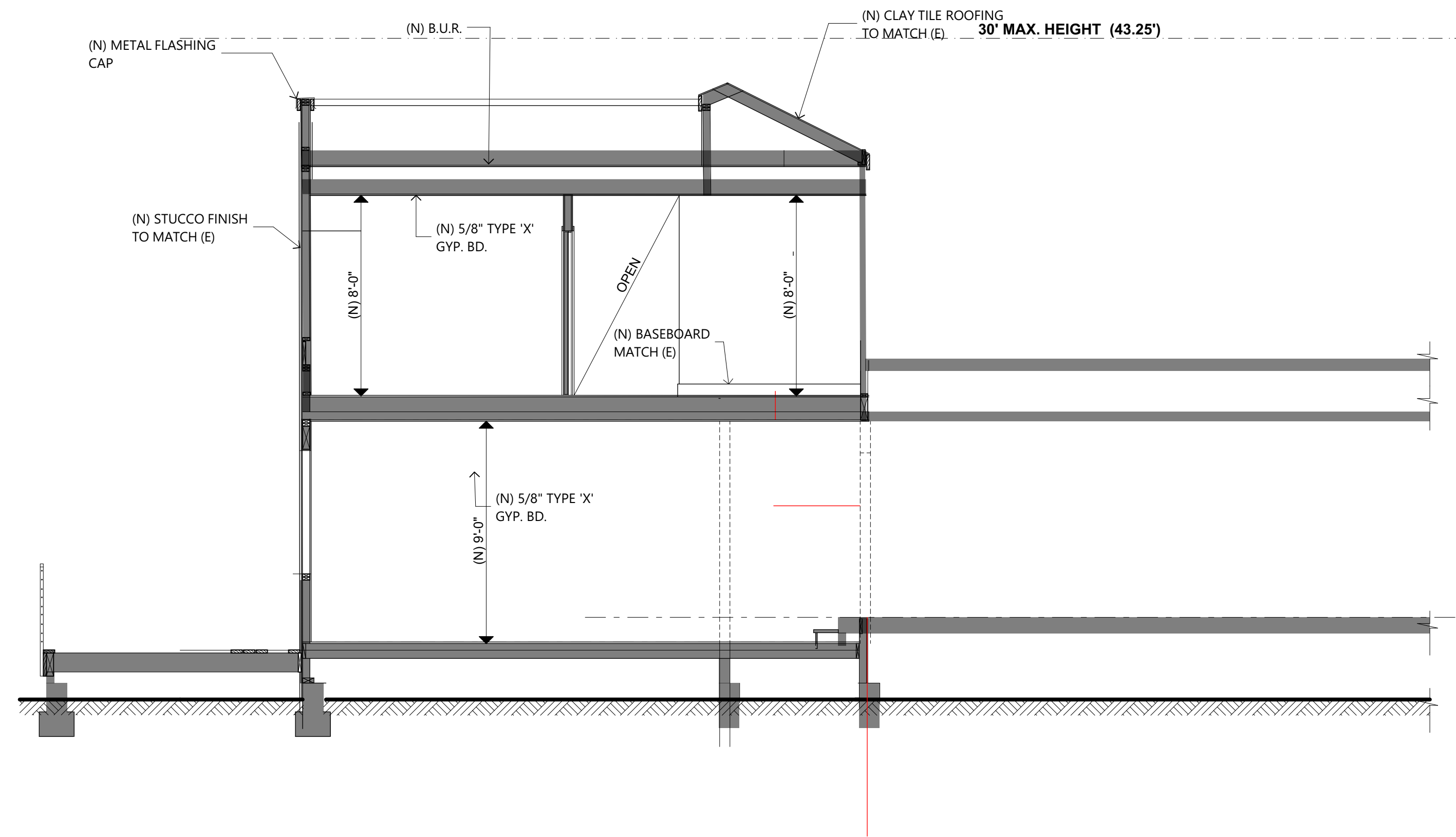
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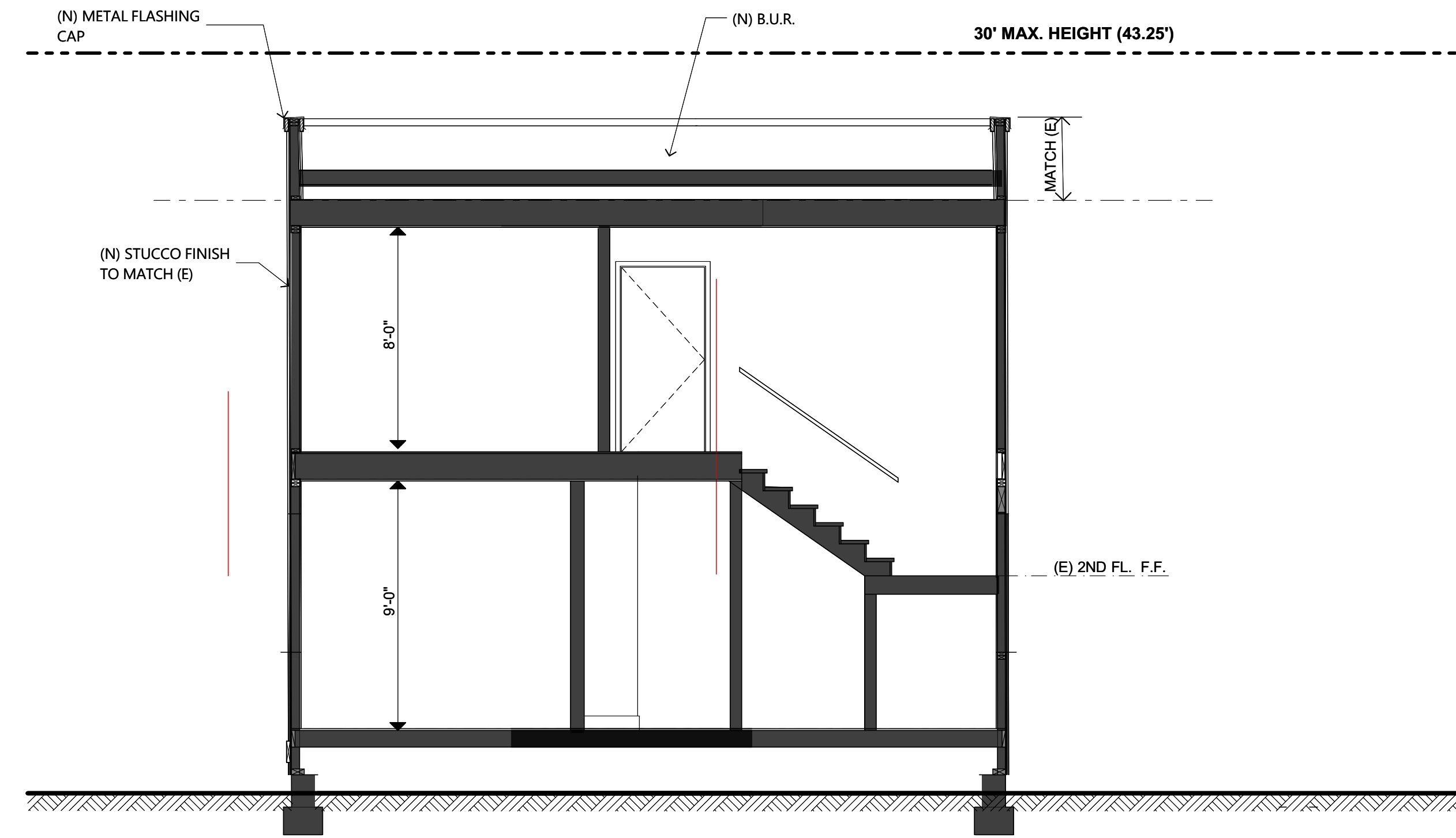
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SHEET TITLE
SECTION

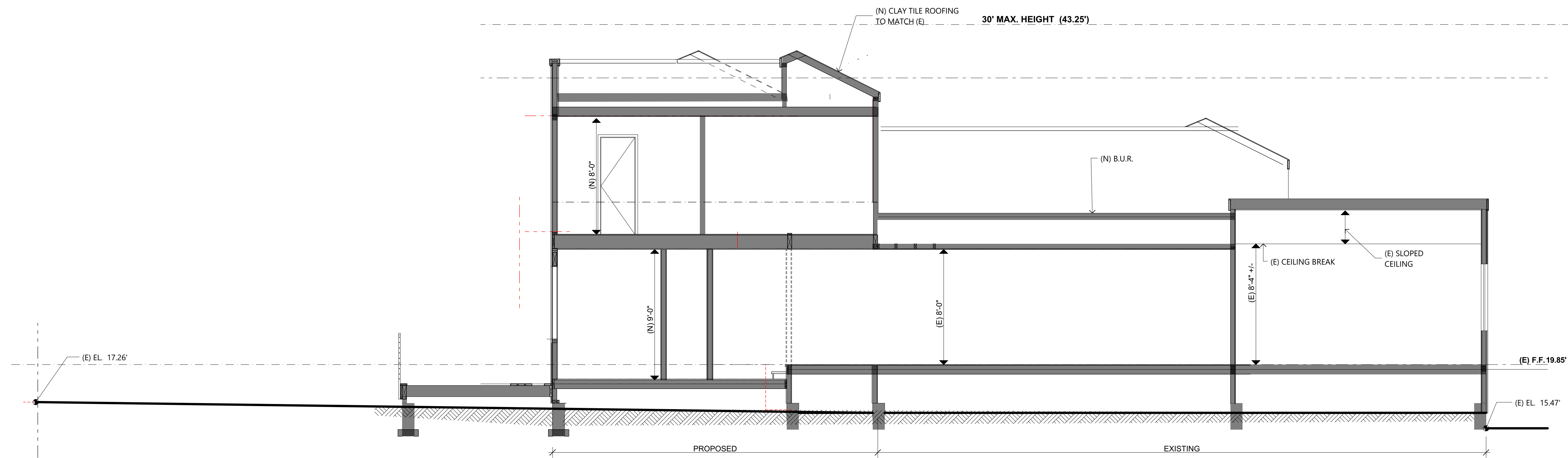
H



3 Building Section C
SCALE: 1/4" = 1'-0"



2 Building Section A
SCALE: 1/4" = 1'-0"



1 Building Section B
SCALE: 1/4" = 1'-0"

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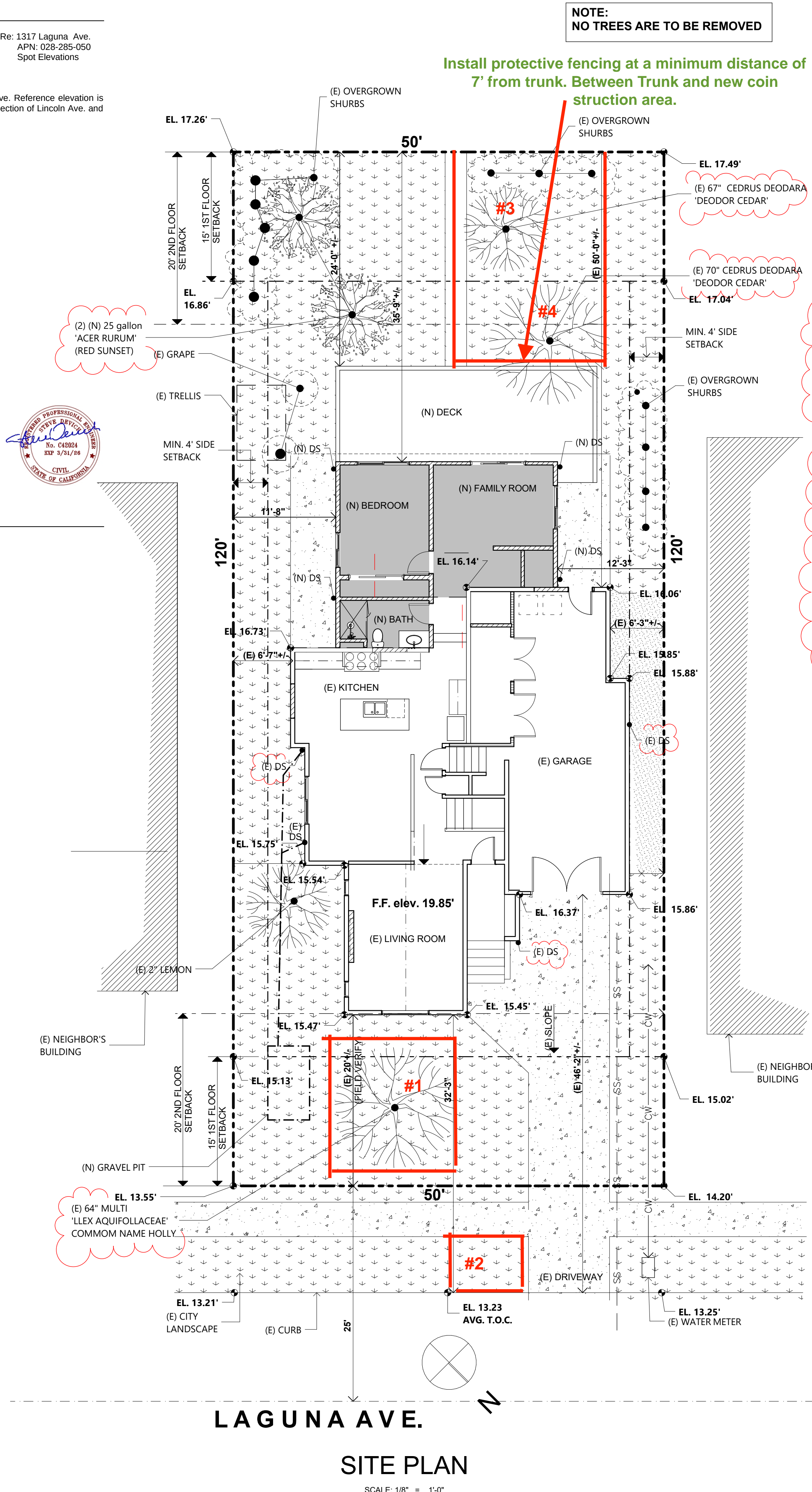
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Cor. #11	15.88
Cor. #12	15.85

House Finish Floor:

Building Finish Floor (FF) Front	19.85
----------------------------------	-------

25263 La Loma Dr., Los Altos, CA 94022



LAGUNA AVE.
SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT DATA

APN: 026084100
ZONING: R1
TYPE OF CONSTRUCTION: VB
OCCUPANCY: R3/U
LOT SIZE: 6,000 SQ. FT.
SQUARE FOOTAGE:
FIRST FLOOR: LIVING SPACE: 787.34 SQ. FT.
ADDITION: 446.72 SQ. FT.
GARAGE: 590.96 SQ. FT.
TOTAL: 1,234.06 SQ. FT.
SECOND FLOOR: LIVING SPACE: 593.66 SQ. FT.
ADDITION: 497.24 SQ. FT.
TOTAL: 1,290.9 SQ. FT.
TOTAL: 2,324.96 SQ. FT.
590.96 SQ. FT. (GARAGE)

MAX LOT COVERAGE

LOT SIZE (SF)	SF ALLOWED
6,000 X 40%	2,400

PROPOSED LOT COVERAGE

TOTAL SF	LOT SIZE (SF)	LOT COVERAGE
1905.89 /	6,000 =	32%

FIRST FLOOR + GARAGE: 1,905.89 SF
TOTAL: 1,905.89 SF

REAR DECK LESS THAN 30' - EXEMPT FROM LOT COVRTAGE
FROCH FORCH IS MOT EXEMPT FROM LOT COVERAGE
CALCULATIONS DO NOT INCLUDE FRONT PORCH STAIRS

MAX FAR INTERIOR LOT WITH ATTACHED GARAGE

LOT SIZE (SF) Interior lot	SF allowed	FAR
32% x 6,000 + 1,100 =	3020	= 0.50

PROPOSED FAR

TOTAL SF	LOT SIZE (SF)	FAR
2961.66 /	6,000 =	0.494

FIRST LOOT: 1,858.60 SF
SECOND FLOOR: 1,103.06

FRONT PORCH UNDER 200 SF EXEMPT FROM FAR

SITE:
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FIRE SPRINKLER: IF NEEDED

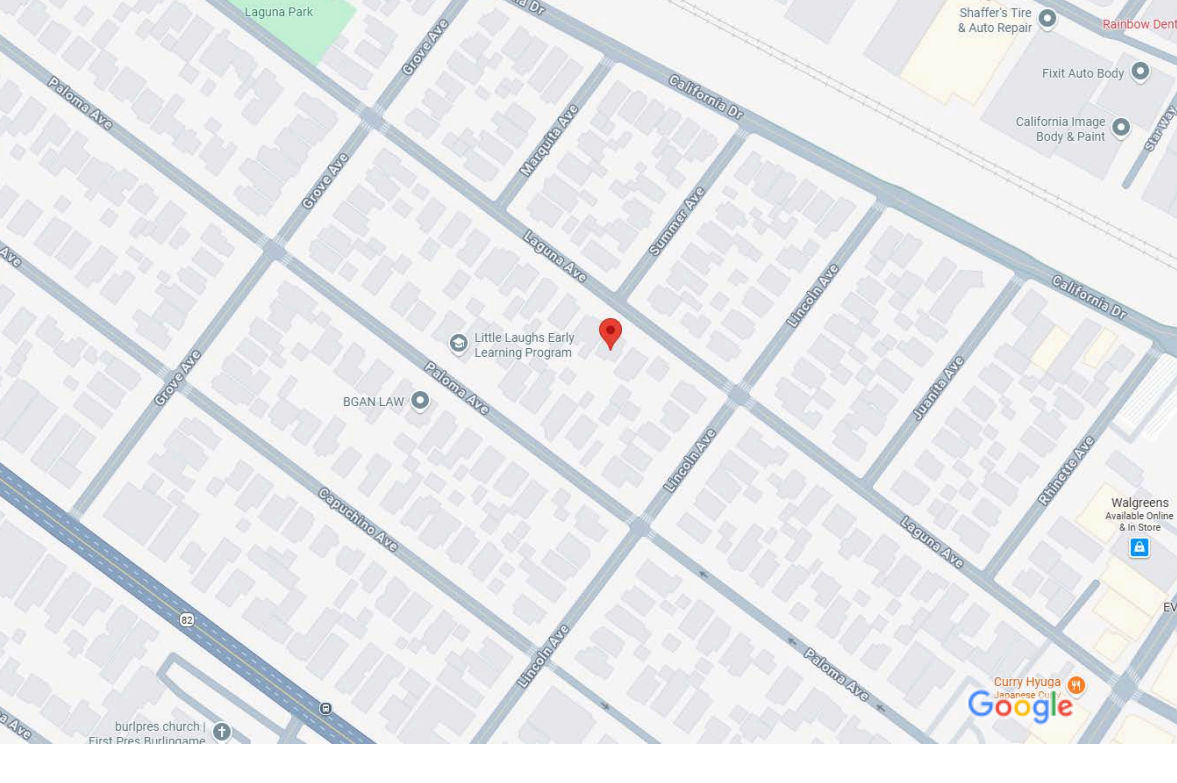
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- H SECTIONS

SCOPE OF WORK

- NEW REAR ADDITION
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- BATHROOM
- NEW MASTER BATHROOM
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- NEW ROOFING TO MATCH EXISTING

VICINITY MAP



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SHEET TITLE
COVER SHEET

0