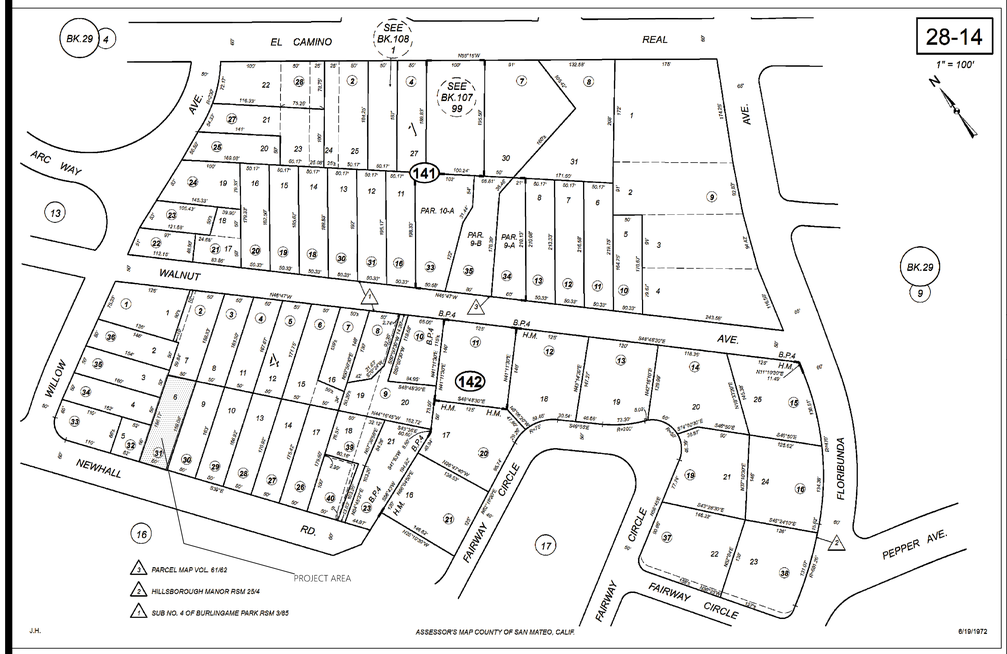
ASSESSOR'S MAP



PROPOSED FRONT VIEW

SCOPE OF WORK

New 2 story single family house with attached ADU and detached 2 car Garage. .

NOTES:

1- PV SYSTEM:
A SEPARATE PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALC. COMPLIANCE MODELING . THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
2- ADDRESS IDENTIFICATION:
NEW BUILDING NUMBER SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST W/ THEIR BACK-GROUND . ADDRESS NUMBER SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL BE MIN. OF 4" H W/ A MINIMUM STROKE WIDTH OF 0.5". (CEC SEC. 505.1).

PROJECT TEAM

SURVEYOR
SMP ENGINEERS
CIVIL ENGINEERS - LAND SURVEYORS
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LOS ALTOS, CA 94024
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SOIL ENGINEERING
AMERICAN SOIL TESTING ENGINEERING INC.
735 E. BROKAW ROAD
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OWNER
MEHDI IZADDOOST , AMIR DELPAZIRIAN
270 3RD STREET , LOS ALTOS, CA, 94022
A: CONTACT: AMIR DELPAZIRIAN
B: 650-630 9810 408-655 9990
C: SRAZAVI@SMPENGINEERS.COM
D: EMAIL: amir.delpazirian@compass.

AENERGY CONSULTANT
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SAN JOSE CA 95124
CONTACT: IRAJ RAHNAMA
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E: iradj@t-aeng.com

STRUCTUCTURE CONSULTANT
KH Associates LLC
6455 Almaden Expressway, Suite 207
San Jose, CA 95120
(408) 712-4868
kh_engineers@yahoo.com

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REVISED

RECEIVED
8.5.25
CITY OF BURLINGAME
CDD-PLANNING DIVISION

VICINITY MAP

PROJECT AREA

GOOGLE MAP

CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
2019 CALIFORNIA BUILDING CODE
2019 CALGREEN
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA RESIDENTIAL CODE

* ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS & REGULATIONS AS AMENDED BY THE CITY OF PALO ALTO.

DEFERRED SUBMITTAL

1- SOLAR PANEL SYSTEM

2- FIRE SPRINKLER IS REQUIRED FOR BOTH MAIN HOUSE AND ADU

HERS INSPECTIONS

REQUIRED HERS INSPECTIONS BY A CERTIFIED HERS RATER (SEE T24 SHEETS):
1. BUILDING LEVEL VERIFICATION:
- INDOOR AIR QUALITY VENTILATION.
- HIGH R-VALUE SPRAY FOAM INSULATION

2. COOLING SYSTEM VERIFICATION:
- MIN. AIRFLOW
- VRIFIED EER
- VERIFIED SEER
- FAN EFFICACY WATTS / CFM

3. HVAC DISTRIBUTION SYSTEM VERIFICATION:
- DUCT LEAKAGE TESTING

PROJECT DATA

A: ZONING R-1
B: CONSTRUCTION TYPE V
C: APN : 028142310
D: LOT AREA: 7865.00 SF.
E: MAXIMUM HEIGHT 30 FT.
F: FRONT SET BACK IMPERVIOUS SURFACES %40
G: LOT COVERAGE %40
H: 1ST FLOOR FRONT SETBACK 15 FT. OR BLOCK AVERAGE WHICHEVER GREATER
1ST FLOOR REAR SETBACK 15 FT.
2ND FLOOR FRONT& REAR SETBACK 20 FT.
SIDE SETBACK 4 FT.

FAR CALCULATION

A: BASED ON THE TABLE 25.10.4 R-1 ZONING DISTRICT , THE INTERIOR LOTS WITH DETACHED GARAGE 32 PERCENT PLUS 1,100 SF, PLUS UP TO AN ADDITIONAL 400 SF. FOR DETACHED GARAGE :

MAXIMUM FLOOR AREA : 7865 X %32 = 2516.8+ 1,100 = 3616.8+400= 4,017 SF.
PROPOSED FLOOR AREA: (1ST FLOOR-2096.84 SF.+ 2ND FLOOR-1516.59 SF.) 3613.43 SF. + GARAGE 400 SF. = 4,013.43 SF.
+ ADU 756.173 SF.

TOTAL OF SQUARE FOOTAGE WITH THE ADU & GARAGE = 4,769.173 SF.

		PROPOSED	ALLOWED
PLATE HEIGHT :	1ST FLOOR	10'-0"	9'-0" MAX
	2ND FLOOR	8'-0"	8'-0" MAX
	GARAGE	9'-0"	9'-0" MAX FROM GRADE

B: SETBACKS (NEW SITE PLAN PROVIDED FOR JUST THE SETBACK CLEARANCE)

		PROPOSED	ALLOWED
	FRONT (1ST FLOOR)	23'-7" & 19'-11"	19'-8" (BLOCK AVERAGE)
	(2ND FLOOR)	20'-0" & 35'-4"	20'-0"
	REAR (1ST FLOOR)	**32'-4"**	15'-0"
	(2ND FLOOR)	**73'-7"**	20'-0"
	SIDES (LEFT)	12'-2",10'-0",11'-2", 25'-1"	4'-0"
	(RIGHT)	4'-3" , 4'-0"	4'-0"

AREA	ALLOWED	PROPOSED	ADU
LIVABLE AREA	3616.8 SQ.FT	3613.43 SQ.FT	756.173 SQ.FT
GARAGE AREA	400 SQ.FT	400 SQ.FT	

FRONT COVERED PORCHES : 127.26 SQ.FT
REAR TERRACE / PATIO : 298 SQ.FT

LOT COVERAGE PROPOSED ALLOWED
22096.84+(756.173 ADU not calculated)+400 (2 CAR GARAGE) +294.5 (rear patio)+96 (front entry porch)+ ADU REAR DECK 65 SQ.FT=2952.34/7865.0=%37.5 < %40 = 3146 SQ.FT

PLANING APPROVAL

NEW TWO STORY SINGLE FAMILY HOUSE WITH ATTACHED ADU AND DETACHED 2 CAR GARAGE

BNDS
21060 HOMESTEAD RD, CUPERTINO , CA 95014
T: 650.665.0439

DATE
02/20/2025

CONSULTANT BEHROOZ NEMATI

728 NEWHALL RD.
BURLINGAME CA 94010
(2) Story New Single Family House
728 NEWHALL RD, BULINGAME, CA 94010

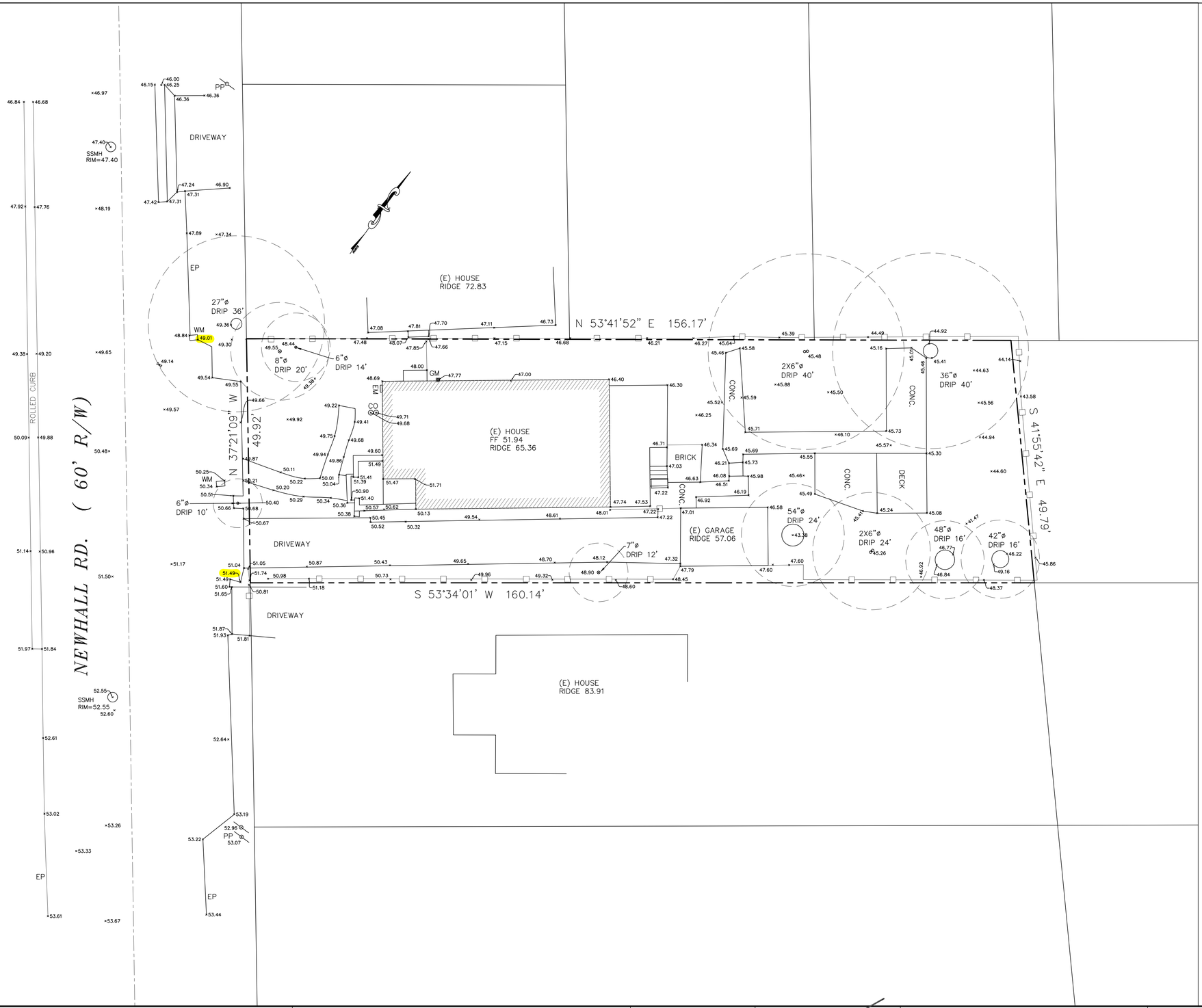
APPROVED ARCHITECTURAL & SITE APPLICATION: S-19-033

REV	DATE	DESCRIPTION
	1.12.2022	BUILDING PERMIT
2	07/31/2025	PLANNING

DATE 6.1.2021
PROJECT NO. F21.1
SHEET TITLE

COVER SHEET

SHEET NO.
A0.0



LEGEND

———	STREET CENTERLINE
—·—·—	PROPERTY LINE
—□—□—	WOOD FENCE
WM	WATER METER
GM	GAS METER
EM	ELECTRIC METER
PP	POWER POLE
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAINAGE MANHOLE
EP	EDGE OF PAVEMENT
⋈ WV	WATER VALVE

DISCLAIMER:

SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:

THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:

THE BEARING N 37°21'09" W OF NORTHERLY LINE OF NEWHALL RD., AS SHOWN ON CERTAIN RECORD OF SURVEY MAP, FILED FOR RECORD IN BOOK 19 OF L.L.S. MAPS AT PAGE 35, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

SITE BENCHMARK:

REFERENCED TOWN OF HILLSBOROUGH BM:
BM# 126. EL: 54.721' (NAVD88)

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 7,865 SQ. FT. ±.
3. THE MAP WAS BASED ON A GRANT DEED DOC.# 82955. DATED 08-06-15, RECORDED IN SAN MATEO COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
6. THIS IS A TOPOGRAPHIC MAP, NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATION.

SCALE 1"= 10'

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

728 NEWHALL RD.
BURLINGAME, CA 94010
APN: 028-142-310

SMP ENGINEERS
CIVIL ENGINEERS-LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'
Prepared by: S.P.
Checked by: S.P.
Date: 11/21/2024
Project No: 224135

BEHROOZ NEMATI

PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF BURLINGAME

GENERAL NOTES

THESE GENERAL NOTES SHALL APPLY TO ALL WORK & ALL ARCH. DWGS. IN THIS SET. THEY SHALL EXTEND TO INCLUDE ANY CHANGES TO, & ADDITIONS OR DELETION OF SCOPE WORK AGREED TO DURING THE COURSE OF THE WORK WHERE APPLICABLE.

BIDDING - NOT USED.

OWNERSHIP OF CONTRACT DOCUMENTS

1. Q ARCHITECTS IS THE AUTHOR & OWNER OF ITS INSTRUMENT OF SERVICE INCLUDING THIS SET OF DWGS & SPECIFICATIONS. Q ARCHITECTS RETAINS ALL COMMON LAW, STATUTORY & OTHER RESERVED RIGHTS, INCLUDING COPY RIGHTS TO THIS INSTRUMENT OF SERVICE. THEREFORE, THIS DWG. SET SHALL NOT BE REPRODUCED, DISCLOSED OR USED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF Q ARCHITECTS.

2. CONTRACTOR, SUB-CONTRACTORS & SUPPLIERS ARE AUTHORIZED TO USE & REPRODUCE THIS INSTRUMENT OF SERVICE SOLELY & EXCLUSIVELY FOR THE EXECUTION OF THE WORK. ALL COPIES MADE UNDER THIS AUTHORIZATION SHALL BEAR THE COPYRIGHT NOTICE, IF ANY, SHOWN ON THE INSTRUMENT OF SERVICE. THE CONTRACTORS, SUB-CONTRACTORS &, SUPPLIERS MAY NOT USE THE INSTRUMENT OF SERVICE ON OTHER PROJECTS OR FOR ANY ADDITIONS TO THE PROJECT OUTSIDE OF THE SCOPE OF WORK WITHOUT THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECTS.

CONTRACT DOCUMENTS, FIELD CONDITIONS & WORK

1. ALL CONTRACT DOCUMENTS INCLUDING DWGS. & SPECIFICATIONS SHALL BE USED IN CONCERT W/ EACH OTHER. THE CONTRACTOR, SUBCONTRACTORS & MATERIAL SUPPLIERS SHALL REFER TO THE DWGS. & SPECIFICATIONS AS A WHOLE WHEN DETERMINING THE CONSTRUCTION REQUIREMENTS FOR THE WORK.

2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE & SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THESE DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING FOR ANY CLARIFICATIONS, CORRECTIONS OR ADJUSTMENTS. NO ALLOWANCE SHALL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.

3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR & MATERIALS NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THE DWGS. W/ THE EXCEPTION OF THOSE ITEMS AS NOTED AS SEPARATE CONTRACT (N.I.C.). HE SHALL BE RESPONSIBLE FOR COORDINATING THIS WORK W/ THAT OF ALL TRADES, INCLUDING TRADES OPERATING UNDER SEPARATE CONTRACT W/ THE OWNER.

4. THE CONTRACTOR IS RESPONSIBLE FOR THE DISTRIBUTION OF DWGS. & WHERE APPLICABLE - SPECIFICATIONS, TO ALL TRADES UNDER HIS SUPERVISION. AFTER THE EXECUTION OF THE CONSTRUCTION CONTRACT W/ THE OWNER, THE AWARDED CONTRACTOR SHALL RECEIVE THE COMPLETE SET OF DOCUMENTS AS "ISSUED FOR CONSTRUCTION".

5. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL (E) CONDITIONS & DIMENSIONS IN THE FIELD, INCLUDING ALL GOVERNING DIMENSIONS AT THE BUILDING. THE CONTRACTOR SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDANT.

6. THE CONTRACTOR SHALL PROMPTLY & BEFORE THE COMMENCEMENT OF THE AFFECTED WORK, NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS, ANY DIFFERENCES BETWEEN FIELD MEASUREMENTS OR CONDITIONS & THE CONTRACT DOCUMENTS, OR FOR NON-CONFORMITIES OF THE CONTRACT DOCUMENTS TO APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, & LAWFUL ORDERS OF PUBLIC OFFICIALS.

7. THE CONTRACTOR SHALL REQUEST FOR ANY REQUIRED INFORMATION THAT IS NOT SHOWN ON THE DRAWINGS OR OTHER CONTRACT DOCUMENTS FROM THE ARCHITECT PRIOR TO BID OR COMMENCEMENT OF ANY WORK.

8. THE CONTRACTOR SHALL PROVIDE COMPLETE WORK. ANY OMISSION IN CONTRACT DOCUMENT INCLUDING NOTES & ILLUSTRATION ON THE DWGS. SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES AS ARE IMPLIED BY THE SCOPE OF THEIR WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED IN THE CONTRACT DOCUMENTS.

9. ANY WORK PERFORMED IN CONFLICT W/ ANY PART OF THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.

PERMIT FEES, NOTICES, & COMPLIANCE W/ THE LAWS & INDUSTRY STANDARDS

1. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE W/ THE CALIFORNIA CODE OF REGULATIONS (TITLE DOCUMENTS), & ALL OTHER LOCAL CODES & ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION & AS IDENTIFIED UNDER APPLICABLE CODES ON SHEET A0.0 COVER SHEET. ALL WORK SHALL ALSO CONFORM TO ALL APPLICABLE CITY, COUNTY, STATE, FEDERAL CONSTRUCTION SAFETY & SANITARY LAWS, CODES, STATUES & ORDINANCES. THE CONTRACTOR SHALL REPORT PROMPTLY ANY DISCREPANCIES, VARIATIONS OR OMISSIONS IN THE CONTACT DOCUMENTS TO THE ARCHITECT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING FEES & SECURING ALL REQUIRED PERMITS, LICENSES, NOTICES & INSPECTIONS AS REQUIRED BY GOVERNMENT AGENCIES FOR THE PROPER EXECUTION& COMPLETION OF THE WORK AFTER THE EXECUTION OF THE CONTRACT & LEGALLY REQUIRED AT THE TIME BIDS ARE RECEIVED OR NEGOTIATIONS CONCLUDED.

3. THE CONTRACTOR SHALL COMPLY W/ & GIVE NOTICES REQUIRED BY APPLICABLE LAWS, STATUES, ORDINANCES, CODES, RULES & REGULATIONS, OR LAWFUL ORDERS OF PUBLIC AUTHORITIES APPLICABLE TO PERFORMANCE OF THE WORK.

4. IF THE CONTRACTOR PERFORMS WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES & REGULATIONS, OR LAWFUL ORDERS OF PUBLIC AUTHORITIES, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH WORK & SHALL BEAR THE COSTS ATTRIBUTABLE TO CORRECTION.

5. THE CONTRACTOR SHALL COMPLY W/ THE RULES & REGULATIONS OF THE CITY GOVERNING THE WORK TO AVOID CONFLICT & INTERFERENCE WITH NORMAL OPERATIONS, IN TERMS OF PERMITTED HOURS FOR DEMOLITION & CONSTRUCTION IN ADDITION TO THE MANNER OF HANDLING CONSTRUCTION MATERIALS, EQUIPMENT & DEBRIS.

6. ALL WORK SHALL BE PERFORMED BY SKILLED & QUALIFIED CONTRACTORS & IN ACCORDANCE W/ THE HIGHEST STANDARDS OF QUALITY & BEST PRACTICES OF EACH TRADES & FOR THE RELEVANT WORK IN GENERAL.

SUPERVISION & CONSTRUCTION PROCEDURES

1. THE CONTRACTOR SHALL BE SOLELY & COMPLETELY RESPONSIBLE FOR, & HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES & PROCEDURES, & FOR COORDINATING ALL PORTIONS OF THE WORKS UNDER THE CONTRACT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION OF PORTIONS OF COMPLETED WORK TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.

3. THE CONTRACTOR MUST FIELD VERIFY ALL MEASUREMENTS PRIOR TO ORDERING, FABRICATION OR INSTALLATION OF ANY PORTIONS OF THE WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF THE WORK.

4. THE CONTRACTOR SHALL ESTABLISH THE LOCATIONS OF (N) WALL LAYOUTS IN THE FIELD IN CHALK LINE OR TAPE AS APPROPRIATE. THE CONTRACTOR SHALL WALK THE ENTIRE PROJECT AREA W/ THE TENANT (IF ANY) OR OWNER & /OR THE ARCHITECT TO CONFIRM THE SIZE, SHAPE, & PLACEMENT OF ALL NEW ROOMS & AREAS WHERE OCCUR; FOR THE TENANT'S (IF ANY) & THE OWNER'S APPROVAL PRIOR TO FRAMING ANY NEW WALL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THE TENANT REQUESTS FOR ANY CHANGES TO THE APPROVED NEW WALL LAYOUT.

WARRANTY - NOT USED.
CONTRACTOR'S CONSTRUCTION & SUBMITTAL SCHEDULES -NOT USED.
SHOP DRAWINGS, PRODUCT DATA & SAMPLES -NOT USED
CUTTING / FITTING / PATCHING / CHASING / DRILLING / DEMOLISHING -NOT USED.
CLEAN-UP - NOT USED.

PREMISES AND PROTECTION OF PERSONS AND PROPERTY

1. THE CONTRACTOR SHALL BE SOLELY & COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF PREMISE ON WHICH THE WORK IS PERFORMED & FOR THE SAFETY OF ALL PERSONS & PROPERTY ON THE PREMISE DURING THE PERFORMANCE OF THE CONTRACT. THIS REQUIREMENT SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, BUT SHALL APPLY CONTINUOUSLY.

2. THE CONTRACTOR SHALL EXERCISE UTMOST CARE TO ENSURE THAT THE PREMISE SHALL BE PROTECTED FROM DAMAGE THAT MAY OCCUR DUE TO THIS WORK. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL (E) WORK, ALL MATERIALS (E) ON THE PREMISE & (N) WORK AREAS. ANY DAMAGE DUE TO THIS WORK SHALL BE REPAIRED, REPLACED OR PATCHED AT THE DISCRETION OF THE OWNER. THE CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE & ANY SUCH WORK UNDERTAKEN TO RECTIFY IT.

3. THE CONTRACTOR SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF THE PREMISE TO BE USED DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL RECTIFY ANY DAMAGE CAUSED BY HIS OPERATIONS.

HAZARDOUS MATERIALS & SUBSTANCE

1. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE W/ ANY REQUIREMENTS INCLUDED IN THE CONTRACT DOCUMENTS REGARDING HAZARDOUS MATERIALS OR SUBSTANCE.

2. THE CONTRACTOR SHALL REPORT TO THE OWNER & ARCHITECT IN WRITING OF ANY MATERIALS SUSPECTED OF CONTAINING HAZARDOUS THAT ARE DISCOVERED DURING THE PROGRESS OF THE WORK. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED IMMEDIATELY UNTIL THE OWNER TESTS THE SUSPECT MATERIAL & IT IS FOUND TO BE SAFE, OR THE MATERIAL HAS BEEN PROPERLY ABATED.

TIME & LABOR - NOT USED.
SUBSTITUTION - NOT USED.
COMPLETED WORK, WORKMANSHIP & INSTALLATION- NOT USED.
SUBSTANTIAL & FINAL COMPLETIONS -NOT USED.

DEMOLITION NOTES

1. VERIFY & COORDINATE DEMOLITION WORK W/ OTHER WORK CONTAINED IN THE CONTRACT DOCUMENTS (I.E. OTHER ARCH., STRUCT., MECH., ELECT. & PLUMB. DWGS. & SPECIFICATIONS INCLUDED IN THIS PROJECT). REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

2. NOT USED.
3. REMOVE WALLS, DOORS, FRAMES, FINISHES & ACCESSORIES AS NOTED OR SHOWN. REFER TO OTHER DISCIPLINES' DWGS. & SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION.

4. (E) UTILITY & SUPPORT SERVICES SHALL REMAIN AT ADJACENT AREAS UNLESS & COORDINATED & APPROVED BY THE OWNER. REROUTE & RELOCATE AS NECESSARY TO MAINTAIN SERVICES.

5. NOT USED.
6. NOT USED.
7. ACCESS TO REQUIRED (E) EXIT WAYS & EXITS SHALL REMAIN CLEAR & UNOBSTRUCTED AT ALL TIMES.
8. CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES OR PARTITIONS AS REQUIRED TO PERFORM SCHEDULE WORK.
9. CONTRACTOR SHALL VERIFY (E) SERVICES TO REMAIN OR TO BE RELOCATED PRIOR TO ANY REMOVAL.
10. (E) ITEMS TO REMAIN, TO INCLUDE BUT NOT LIMITED TO FINISHES, ACCESSORIES, FIXTURES, ETC., SHALL BE PROTECTED AS NECESSARY DURING CONSTRUCTION. ANY AREA DAMAGED DURING THE DEMOLITION WORK BY THE CONTRACTOR SHALL BE RESTORED TO ACHIEVE (E) PREVIOUS CONDITION WITHOUT ANY NOTICEABLE DIFFERENCES TO (E) ADJACENT MATERIALS AT NO ADDITIONAL EXPENSE TO THE OWNER.

CONSTRUCTION NOTES

1. ALL DIMENSIONS SHOWN ARE TAKEN TO THE FACE OF STUDS, U.O.N.
2. ± DIMENSIONS INDICATES LEAST CRITICAL DIMENSIONS. DETERMINE ACTUAL VALUE IN FIELD & NOTIFY ARCHITECT.
3. DIMENSIONS AT STRUCT.L GRID COLUMNS ARE TAKEN TO THE CENTERLINE OF THE COLUMN, U.O.N.
4. DO NOT SCALE ANY DIMENSIONS. DIMENSIONS AS SHOWN SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS & ELEVATIONS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.

9. REFER TO THE ARCH. & ENGINEERING DWGS. FOR PLACEMENT, ORIENTATION & COORDINATION OF WORK.
10. WHERE 'ALIGN' IS NOTED, ALIGN FINISH SURFACES.
11. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR ITEMS NOTED. VERIFY DIMENSIONS & ORIENTATION ON PLAN.

12. NOTATION MARKED 'TYP' SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS & DWGS. INDICATIONS OF LIKE OR SIMILAR KIND.

13. ALL DIMENSIONS ARE TO BE EXACT WITHIN 1/4" ALONG FULL HEIGHT & FULL WIDTH OF WALLS. CONTRACTOR SHALL NOT ADJUST ANY DIMENSIONS MARKED "CLEAR" OR "CLR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.

14. ALL DOORS ADJACENT TO WALLS ARE GIVEN AS 5" FROM THE FACE OF JAMB TO THE FACE OF FINISH OF ADJACENT WALL, TYP., U.O.N.

15. ALL FIRE-RATED EQUIPMENT & ASSEMBLIES WHERE REQUIRED, SHALL BEAR THE "UL" LABEL.
16. CONTRACTOR SHALL COORDINATE INSTALLATION OF N.I.C. ITEMS W/ OTHER TRADES.
17. (E) WORK SHOWN IS FOR REFERENCE ONLY. THE OWNER / ARCHITECT DO NOT GUARANTEE (E) CONDITIONS AS SHOWN ON THESE DWGS.

18. KEYNOTES USED ON THIS SET OF ARCH. DWGS. ARE FOR ASSEMBLIES, MATERIALS REFERENCES & NOTES. REFER TO THE KEYNOTE LISTS ON THE RESPECTIVE DWGS. FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE.

19. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED EQUIPMENT & OR ACCESSORIES WHERE REQUIRED. EXACT LOCATION TO BE DETERMINED PER EQUIPMENT / ACCESSORIES. CONTRACTOR TO FIELD VERIFY, COORDINATE & OBTAIN APPROVAL FROM ARCHITECT & TENANT / OWNER PRIOR TO CONSTRUCTION. SEE STRUCT. DWGS. FOR ALL SEISMIC ANCHORAGE & ASSOCIATED STRUCT. WORK WHERE OCCURS.

20. PENETRATION:
   A. THRU PENETRATION IN 1 HR. FIRE-RATED PARTITION / WALL ASSEMBLY SHALL BE INSTALLED PER 2019 C.B.C. 714.3.1.1. & PROTECTED BY AN APPROVED PENETRATION FIRE STOP SYSTEM W/ F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE PARTITION PENETRATED (2019 C.B.C. 714.3.1.2.) MEMBRANE PENETRATION AT PARTITION SHALL COMPLY W/ 2019 C.B.C. 714.3.2. SEE ELECT. & PLUMB. DWG. FOR PIPE, CONDUITS, CABLES, ETC. PENETRATIONS.

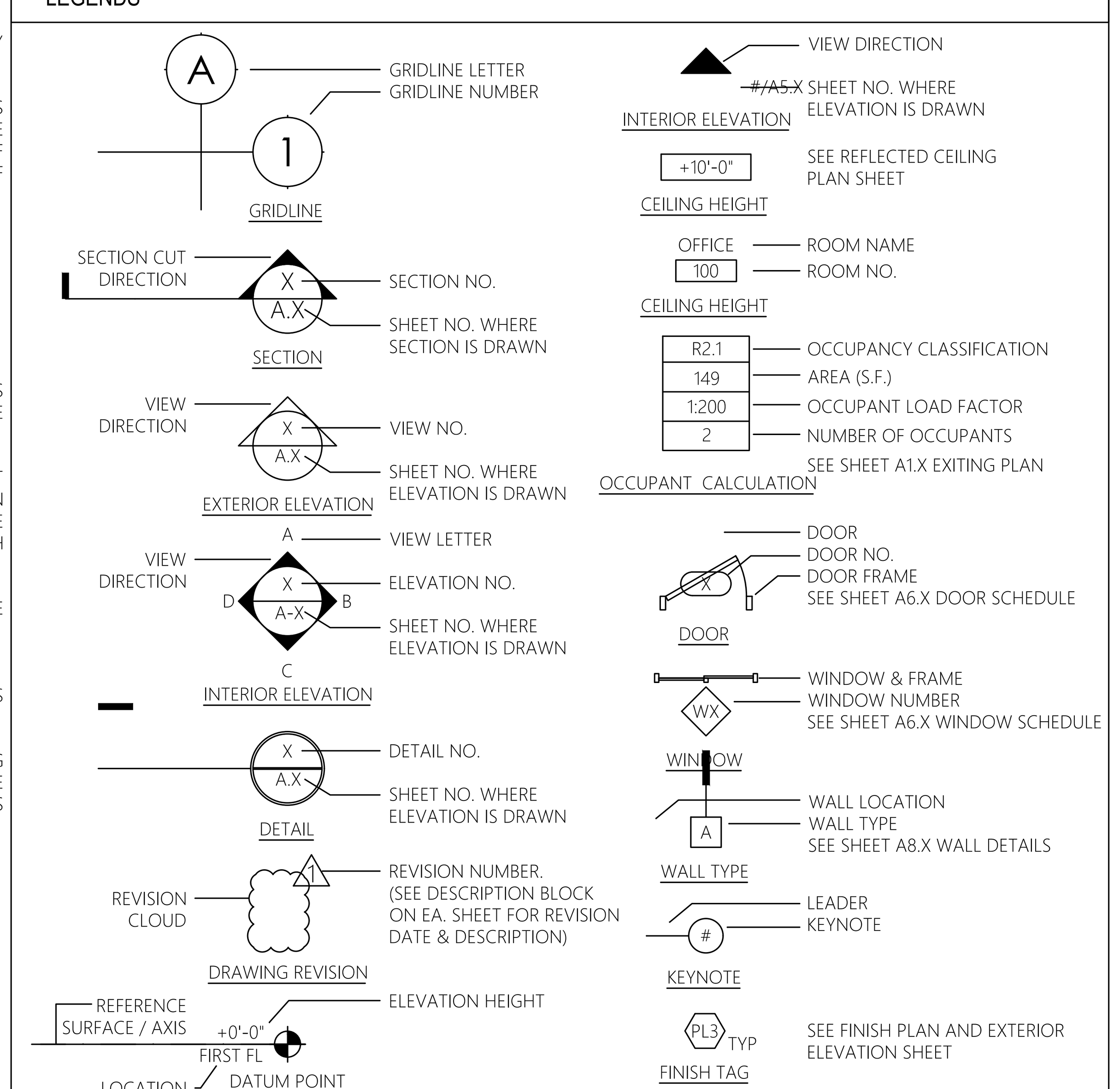
   B. NOT USED.

   C. DUCT PENETRATION THRU (1) HR. FIRE-RATED PARTITION / WALL SHALL BE PROTECTED W/ 1-1/2" HR. FIRE-RATED (UL-555) FIRE DAMPER (2019 C.B.C. 717.5.4). SEE MECH. DWG.

   D. NOT USED.

   E. FIRE CAULK ALL JOINTS AT THRU & MEMBRANE PENETRATIONS AT ALL FIRE-RATED WALL, ROOF - CEILING & FLOOR ASSEMBLIES.

LEGENDS



REFLECTED CEILING PLAN NOTES

1. CONTRACTOR SHALL COORDINATE W/ ALL TRADES INVOLVED & OR PREPARE COMPOSITE SHOP DWGS. TO ENSURE CLEARANCES FOR FIXTURE, DUCTS, CEILINGS, ETC. NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR SLAB AS NOTED ON THE DWGS. CLARIFY CONFLICTS W/ ARCHITECT, & MECH. & ELECT. ENGINEERS. CEILING GRID FRAMING CHANGES DUE TO CEILING CONFLICTS WILL NOT BE ACCEPTED.

2. NOT USED.
3. NOT USED.

4. ALL EQUIP. INCLUDING LIGHT FIXTURES, LENSES, ETC., SHALL BE (N) & FREE OF DEFECTS. ANY & ALL DAMAGED, DENTED OR DEFECTIVE EQUIP., WHETHER IT BE BUILDING STANDARD OR SPECIAL ORDER, WILL BE REJECTED & REPLACED AT NO ADDITIONAL COST TO THE OWNER.

5. ALL SWITCHES SHALL BE 48" ABOVE FINISHED FLOOR U.O.N. ON THE PLANS. ALL HEIGHTS ARE GIVEN FROM TOP OR ROUGH FLOOR TO CENTERLINE OF COVER PLATE, MOUNTED VERTICALLY. WHEN MORE THAN ONE SWITCH IS SHOWN AT THE SAME LOCATION, THEY SHALL BE GANGED, & FINISHED W/ A ONE PIECE COVER PLATE.

6. NOT USED.
7. NOT USED.

8. ALL LIGHT SWITCHING SHALL CONFORM TO TITLE 24 REQUIREMENTS. SEE ELECT. DWGS.
9. CONTRACTOR TO PROVIDE APPROPRIATE SUSPENSION SYSTEM FOR INTEGRATION OF FIXTURE & SUPPORT MEMBER.
10. ELECT., MECH. & PLUMB. SYSTEM (LIGHTING, SWITCHING, ETC.) SHALL CONFORM TO APPLICABLE CODES.
11. ELECT. CONTRACTOR SHALL FURNISH & INSTALL ALL FIXTURES, ASSOCIATED TRIMS & LIGHT FIXTURE.
12. DESIGN-BUILD SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PREPARING DWGS., CALCULATIONS & /OR DOCUMENTATION AS REQUIRED.

ABBREVIATIONS

A.B.	ANCHOR BOLT
A.C.	ASPHALT CONCRETE
A/C	AIR CONDITIONING
A.F.F.	ABOVE FINISH FLOOR
A.T.	ACOUSTIC TILE
ADJ.	ADJUSTABLE
A.F.S.	AUTOMATIC FIRE SPRINKLER
ALUM.	ALUMINUM
&	AND
∠	ANGLE
ANOD.	ANODIZED
APPROX.	APPROXIMATELY
ARCH.	ARCHITECTURAL
ASPH.	ASPHALT
@	AT
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
B.O.	BOTTOM OF
B.O.J.	BOTTOM OF JOISTS
BOTT.	BOTTOM
B.U.	BUILT-UP
CAB.	CABINET
CAD. PL.	CADMIUM PLATED
C.A.	CATCH BASIN
C.B.	CHALKBOARD
C.D.	CUP DISPENSER
CEM.	CEMENT
CER.	CERAMIC
C.F.C.I	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.G.	CORNER GUARD
	CHANNEL
C.I.	CAST IRON
C.J.	CONSTRUCTION JOINT
℄ OR C.L.	CENTERLINE
CL.	CLEAR
CLG.	CEILING
C.M.U.	CONCRETE MASONRY UNIT
C.O.	CLEAN OUT
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
C..T.G.	CLEAN OUT TO GRADE
CSK.	COUNTERSUNK
C.W.	COLD WATER
DET.	DETAIL
D.F.	DOUGLAS FIR
D.F.	DRINKING FOUNTAIN
DIA. OR ∅	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
D.S.	DOWNSPOUT
DWGS.	DRAWINGS
EA.	EACH
E.J.	EXPANSION JOINT
ELECT.	ELECTRICAL
ELEV.	ELEVATION
ENAM.	ENAMEL
ENCL.	ENCLOSURE
E.P.B.	ELECTRIC PANEL BOARD
EQ.	EQUAL
EQUIP.	EQUIPMENT
ETC	ETCETRA.
E.W.A.	ELECTRIC WATER COOLER
E.W.H.	ELECTRIC WATER HEATER
EXH.	EXHAUST
EXIST. or (E)	EXISTING
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.R.	FIRE RETARDANT
F.B.	FLAT BAR
FBRGL.	FIBERGLASS
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.A.	FIRE EXTINGUISHER
F.A.C.	FIRE EXTINGUISHER CABINET
F.H.	FIRE HYDRANT
F.H.	FLAT HEAD
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FL.	FLOOR
F.O.	FINISHED OPENING
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.S.	FLOOR SINK
FTG.	FOOTING
FRP	FIBERGLASS REINFORCED PLASTIC
GA.	GAUGE
GALV.	GALVANIZED
G.I.	GALVANIZED IRON
GRD.	GROUND OR GRADE
G.S.F.	GROSS SQUARE FEET
G.V.	GATE VALVE
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE
G.F.C.B.	GATE VALVE IN CONCRETE BOX
GYP.	GYPSUM
HDR.	HEADER HARDWOOD
HDWD.	HARDWOOD
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
H.P.	HIGH POINT
HR.	HOUR
H.R.C.	HOSE REEL CABINET
H.S.B.	HIGH STRENGTH BOLT
HT.	HEIGHT
H.T.D.	HANDICAP TOWEL DISPENSER
HTG.	HEATING
H.W.	HOT WATER
H.W.D.	HOT WATER DISPENSER
I.D.	INSIDE DIAMETER
INC.	INCLUDING
INV.	INVERT
INSUL.	INSULATION
I.S.	INSIDE
INT.	INTERIOR
JAN.	JANITOR
J.B.	JUNCTION BOX.
JT.	JOINT
KIT.	KITCHEN
K.O.	KNOCK-OUT
K.P.	KICK PLATE
LAM.	LAMINATE
LAV.	LAVATORY
LKR.	LOCKER
L.P.	LOW POINT
L.S.D.	LIQUID SOAP DISPENSER
LT.	LIGHT
MACH.	MACHINE
MAT.	MATERIAL
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MEMB.	MEMBRANE
MET.	METAL
MFR.	MANUFACTURER
M.H.	MANHOLE
M.S.	MACHINE SCREW
MULL.	MULLION
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.I.F.	NET SQUARE FEET
N.T.S.	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.D.	OVERFLOW DRAIN
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
OFF.	OFFICE
O.H.	OVERHEAD
OPNG.	OPENING
OPP.	OPPOSITE
P.A.	PUBLIC ADDRESS
P.B.	PANIC BAR
P.D.F.	POWDER DRIVE FASTENER
P.H.	PHILLIPS HEAD
PL	PLATE
PL.	PROPERTY LINE
PLAS.	PLASTER
P.LAM.	PLASTIC LAMINATE
PLYWD.	PLYWOOD
PNL.	PANEL
POL.	POLISHED
PORC.	PORCELAIN
PR.	PAIR
P.S.D.	POWDER SOAP DISPENSER
PT.	POINT
P.T.D.	PAPER TOWEL DISPENSER
PTN.	PARTITION
P.V.C.	POLYVINYL CHLORIDE
Q.T.	QUARRY TILE
(R)	RELOCATED
R.	RISERS
R.A.	RETURN AIR
RAD.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
RD.	ROUND
R.D.	ROOF DRAIN
REC.	RECESSED
REF.	REFERENCE
REINF.	REINFORCED
REQ.	REQUIRED
RESIL.	RESILIENT
R.H.	ROUND HEAD
R.H.	ROBE HOOK
RM.	ROOM
RO.	ROUGH
R.O.	ROUGH OPENING
R/W	RIGHT OF WAY
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.C.D.	SEAT COVER DISPENSER
S.D.	STORM DRAIN
SECT.	SECTION
S.F.	SQUARE FOOT / FEET
SHT.	SHEET
SHTHG.	SHEATHING
SHLV.	SHELVE(S)
SIM.	SIMILAR
SK.	SINK OR SKETCH
S.M.	SHEET METAL
S.M.D.	SEE MECHANICAL DRAWINGS
S.M.S.	SHEET METAL SCREW
S.N.D.	SANITARY NAPKIN DISPOSAL
S.N.V.	SANITARY NAPKIN VENDOR
S.O.V.	SHUT OFF VALVE
S.P.D.	SEE PLUMBING DRAWINGS
SPECS.	SPECIFICATIONS
SQ.	SQUARE
S.S.	SERVICE SINK
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STD.	STANDARD
STL.	STEEL
STN.	STAIN
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
T & B	TOP AND BOTTOM
T.B.	TOWEL BAR
T.D.	TOWEL DISPENSER
T.D.D.	TOWEL DISPENSER & DISPOSAL
TEL.	TELEPHONE
T & G	TONGUE AND GROOVE
T.O.	TOP OF
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
T.P.	TOILET PAPER
TRD.	TREAD
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORY
UNF.	UNFINISHED
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
V.C.P.	VITREOUS CLAY PIPE
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.B.	WASTE BASKET
W/	WITH
WAINS.	WAINSCOT
WD.	WOOD
W.P.	WORK POINT
W.P.	WATERPROOF
W.R.	WATER RESISTANT
W.R.	WASTE RECEPTACLE
W.S.	WEATHER STRIPPING
W.S.	WOOD SCREW
W.W.	WINDOW WALL
W.W.F.	WELDED WIRE FABRIC

FINISH NOTES

FLAME SPREAD

1. MAX. FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH MATERIALS MUST COMPLY W/ 2019 C.B.C. CHAPTER 8.

2. MAX. FLAME SPREAD CLASSIFICATION OF EXTERIOR FINISH MATERIALS MUST COMPLY W/ 2019 C.B.C. CHAPTER 14.

FLOORING, WOOD, COATINGS & THERMAL INSULATION:

1. CARPET HAS A FIRM CUSHION AND A MAX. PILE HEIGHT OF 1/2". CARPET IS TO BE SECURELY ATTACHED PER 2019 C.B.C. 1119A.2.
   CARPET, & CARPET SYSTEMS WHERE OCCURS SHALL COMPLY W/ VOC & OTHER TOXIC COMPOUND LIMITS (CEnC 4.504.3).

2. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING WHERE OCCURS, SHALL COMPLY W/ THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (FRCI) FLOOR SCORE PROGRAM, OR MEET CALIFORNIA DEPT. OF HEALTH PUBLIC SPEC. 01350. (CEnC 4.504.4).

3. FINSH MATERIALS, I.E. ADHESIVE, SEALANTS, CAULKS, PAINTS & COATINGS WHERE OCCURS, SHALL BE COMPLIANT W/ VOC LIMITS (CEnC 4.504.2).

4. AEROSAL PAINTS & COATINGS WHERE OCCURS, SHALL BE COMPLIANT W/ PRODUCT WEIGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS (CEnC 4.504.2.3)

5. USE LOW VOC, WATER BASED WOOD FINISHES (CEnC 4.504.2.2).
6. USE SOLVENT FREE ADHESIVES. (CEnC 4.504.2.1)
7. USE LOW VOC, FORMALDEHYDE-FREE COMPOSITE WOOD MATERIALS, PARTICLE BOARD & MDF (CEnC 4.504.5).

8. CHECK MOISTURE CONTENT MATERIALS FOR WALLS & FLOORS BEFORE ENCLOSURE (CEnC 4.505.3).

9. THERMAL INSULATION SHALL COMPLIES W/ VOC LIMITS. SEE https://www.arb.ca.gov/drdb/ba/cur.html.

SHOWER / SHOWER TUB / TUB WALLS

1. SHOWER &/ OR SHOWER/ TUB WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, E.G. CERAMIC TILE, FIBERGLASS, ETC. O/ A MOISTURE RESISTANT UNDERLAYMENT, EG. WATER RESISTANT GYP. BD., GREEN BD., ETC. TO A HEIGHT OF 72" ABOVE THE FLOOR / DRAIN INLET (2019 C.R.C. R207.2 & R302.6)

CAL GREEN NOTES

STRUCTURAL FRAMES:

1. PROTECT ANNULAR SPACES AROUND OPENINGS IN PLATES AT EXTERIOR WALL (CALGREEN 4.406.1). USE CONT. SEALANT.

INSULATION:

1. PRACTICE PROPER INSULATION INSTALLATION (FORM CF2R-ENV-23H).

HEATING, VENTILATION & AIR-CONDITIONING:

1. COVER DUCT OPENINGS / AIR DISTRIBUTION OPENINGS DURING CONSTRUCTION (CEnC 4.504.1).
2. HVAC SHALL COMPLY W/ HEATING & AIR CONDITIONING SYSTEM DESIGN PER CEnC 4.507.2.
3. USE DUCT MASTIC ON ALL DUCT JOINTS: CMC 603.10.

4. HVAC DUCT LEAKAGE: MAX. 10% FOR SYSTEM EXTENSIONS OR MAX. 5% FOR REPLACEMENTS (CEnC 150.2(b)1D)

5. VENT BATHROOM EXHAUST TO OUTSIDE W/ HUMIDISTAT CONTROL UNLESS WHOLE HOUSE VENTILATION (CEnC 4.506.1).

6 CLEAN ALL DUCTS BEFORE OCCUPANCY.

OTHER:

1. CONTRACTOR TO PROVIDE (N) HOMEOWNER MANUAL INCLUDING GREEN MEASURES & BENEFITS PER CEnC 4.410.1.

2. CONTRACTOR TO SEPARATE HAZARDOUS WASTE & ORGANIC WASTE FROM OTHER WASTE DURING DEMOLITION & CONSTRUCTION.

BNDS

21060 HOMESTEAD RD, CUPERTINO , CA 9501
T: 650.665.043

DATE
02/20/2025

CONSULTANT BEHROOZ NEMATI

PROJECT

728 NEWHALL RD.
BURLINGAME CA 94010
(2) Story New Single Family House
728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

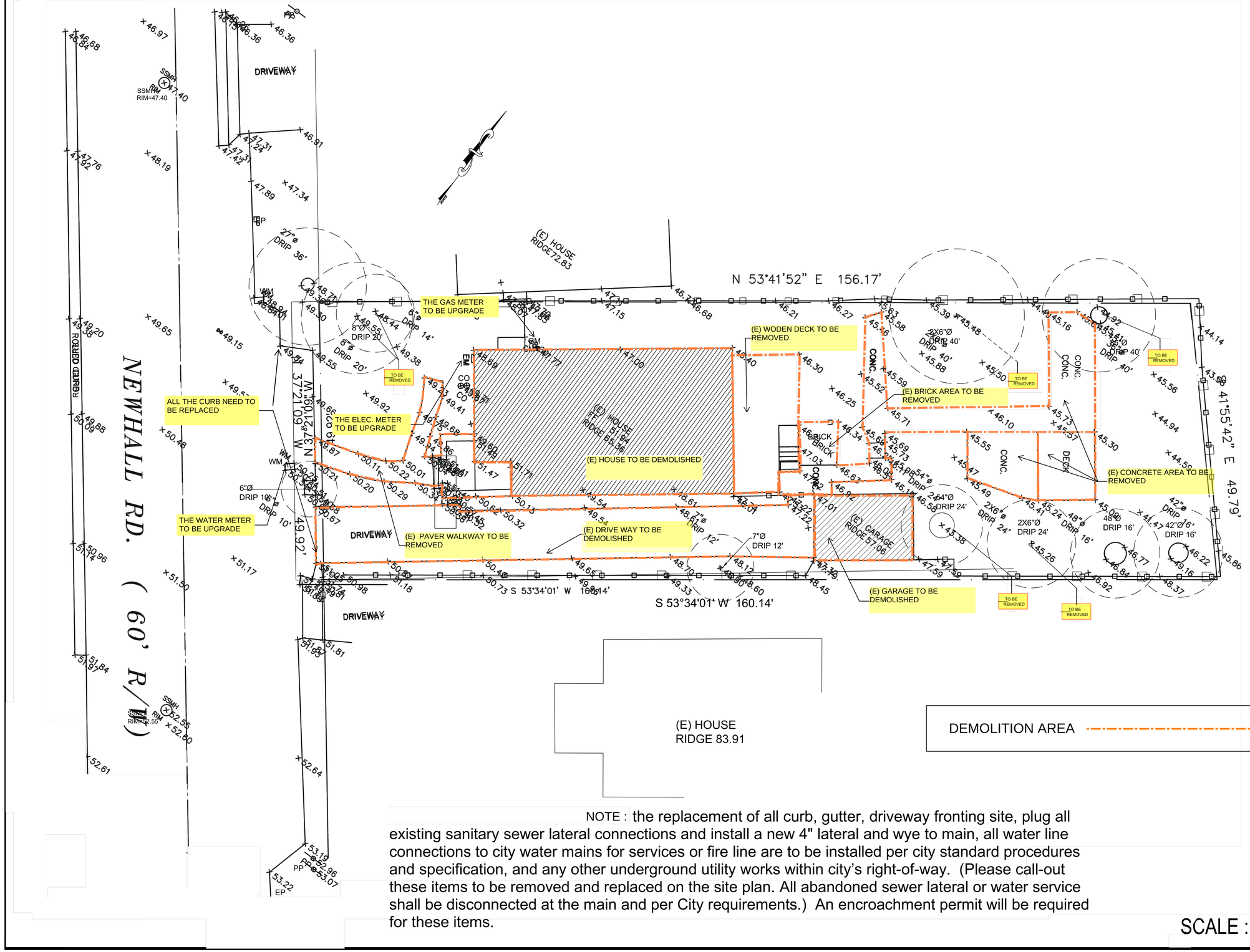
REV	DATE	DESCRIPTIO
	2.25.2025	PLANNING

6.1.202

PROJECT NO. F21

SHEET TITLE
GENERAL NOTES

SHEET NO.
A0.1



NOTE : the replacement of all curb, gutter, driveway fronting site, plug all existing sanitary sewer lateral connections and install a new 4" lateral and wye to main, all water line connections to city water mains for services or fire line are to be installed per city standard procedures and specification, and any other underground utility works within city's right-of-way. (Please call-out these items to be removed and replaced on the site plan. All abandoned sewer lateral or water service shall be disconnected at the main and per City requirements.) An encroachment permit will be required for these items.

SCALE : 1/8" = 1'-0"

BNDS

21060 HOMESTEAD RD, CUPERTINO , CA 95014
T: 650.665.0439

DATE

02/20/2025

CONSULTANT BEHROOZ NEMATI

PROJECT

728 NEWHALL RD. BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

REV	DATE	DESCRIPTIO
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.20

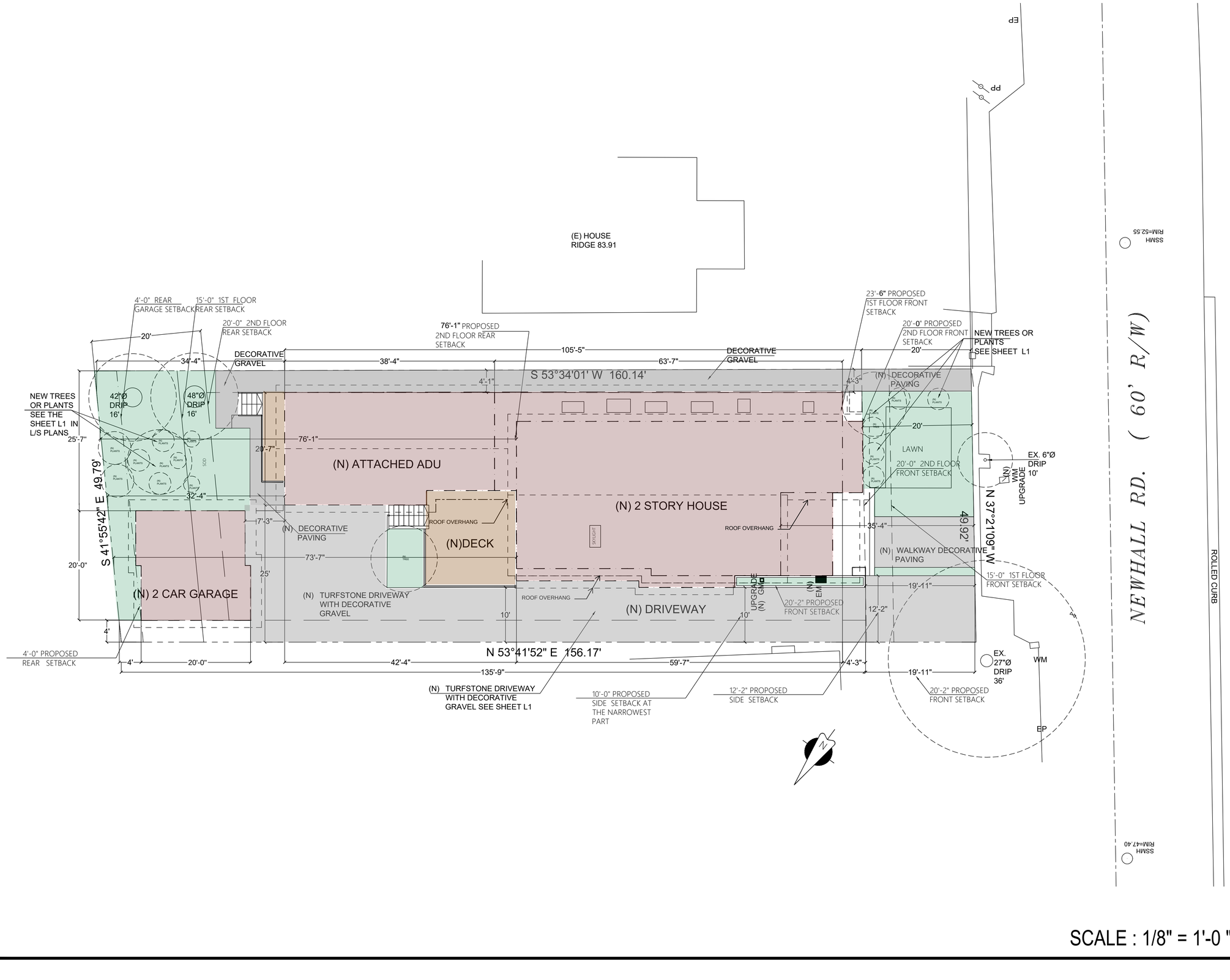
PROJECT NO. F21

SHEET TITLE

EX. SITE PLAN A1.0
& DEMOLITION AREA

SHEET NO.

A1.0A



SCALE : 1/8" = 1'-0 "

BNDS

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T: 650.665.0439

DATE

02/20/2025

CONSULTANT

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BURLINGAME CA 94010

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REV	DATE	DESCRIPTIO
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.20

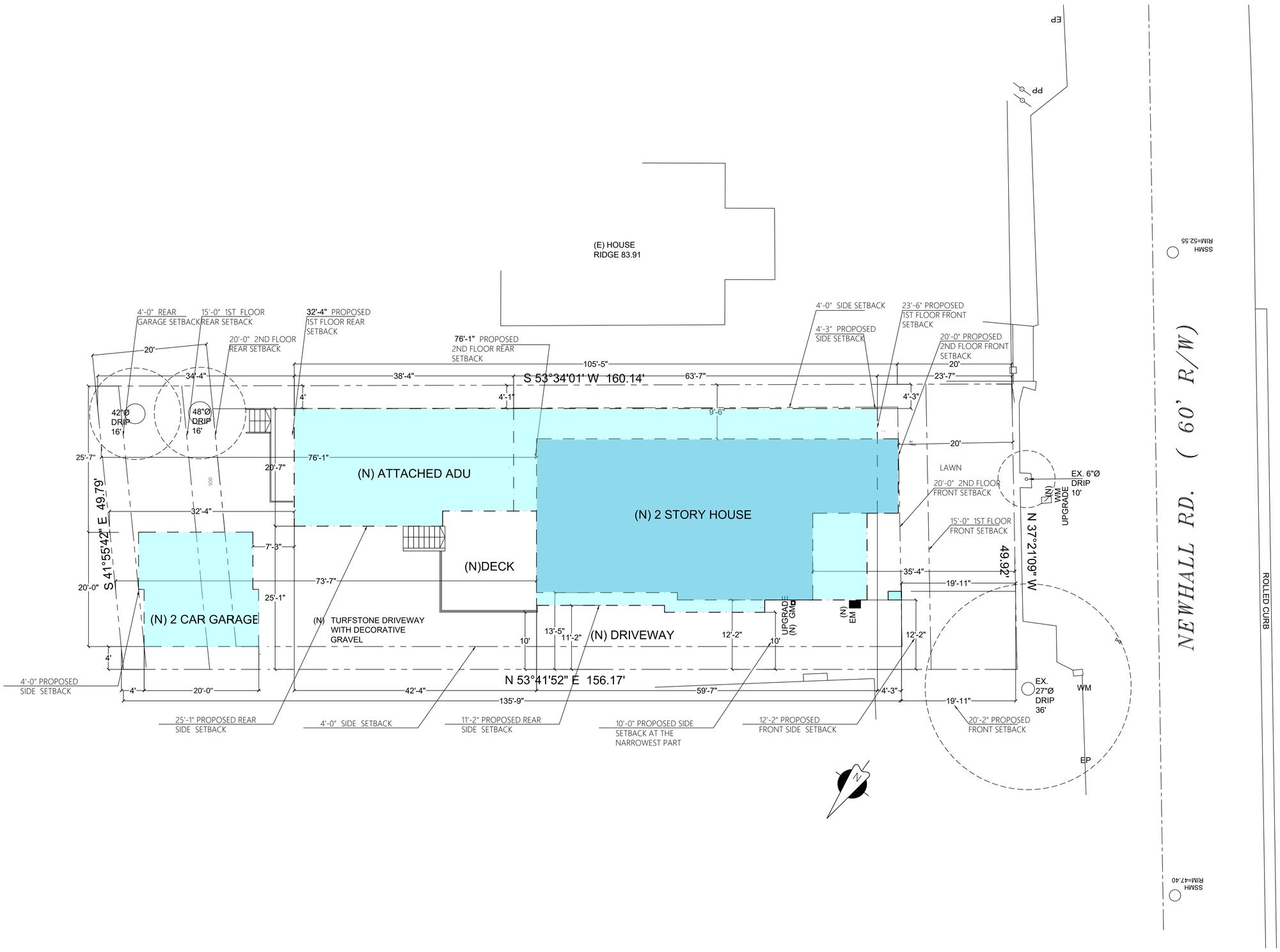
PROJECT NO. F21

SHEET TITLE

PROPOSED SITE PLAN

SHEET NO.

A1.0B



SCALE : 1/8" = 1'-0 "

BNDS

21060 HOMESTEAD RD, CUPERTINO , CA 9501
T: 650.665.043

DATE

02/20/2025

CONSULTANT

PROJECT

728 NEWHALL RD. BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

REV	DATE	DESCRIPTIO
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.20

PROJECT NO. F21

SHEET TITLE

PROPOSED SITE PLAN

(ONLY SETBACKS ARE SHOWN)

SHEET NO.

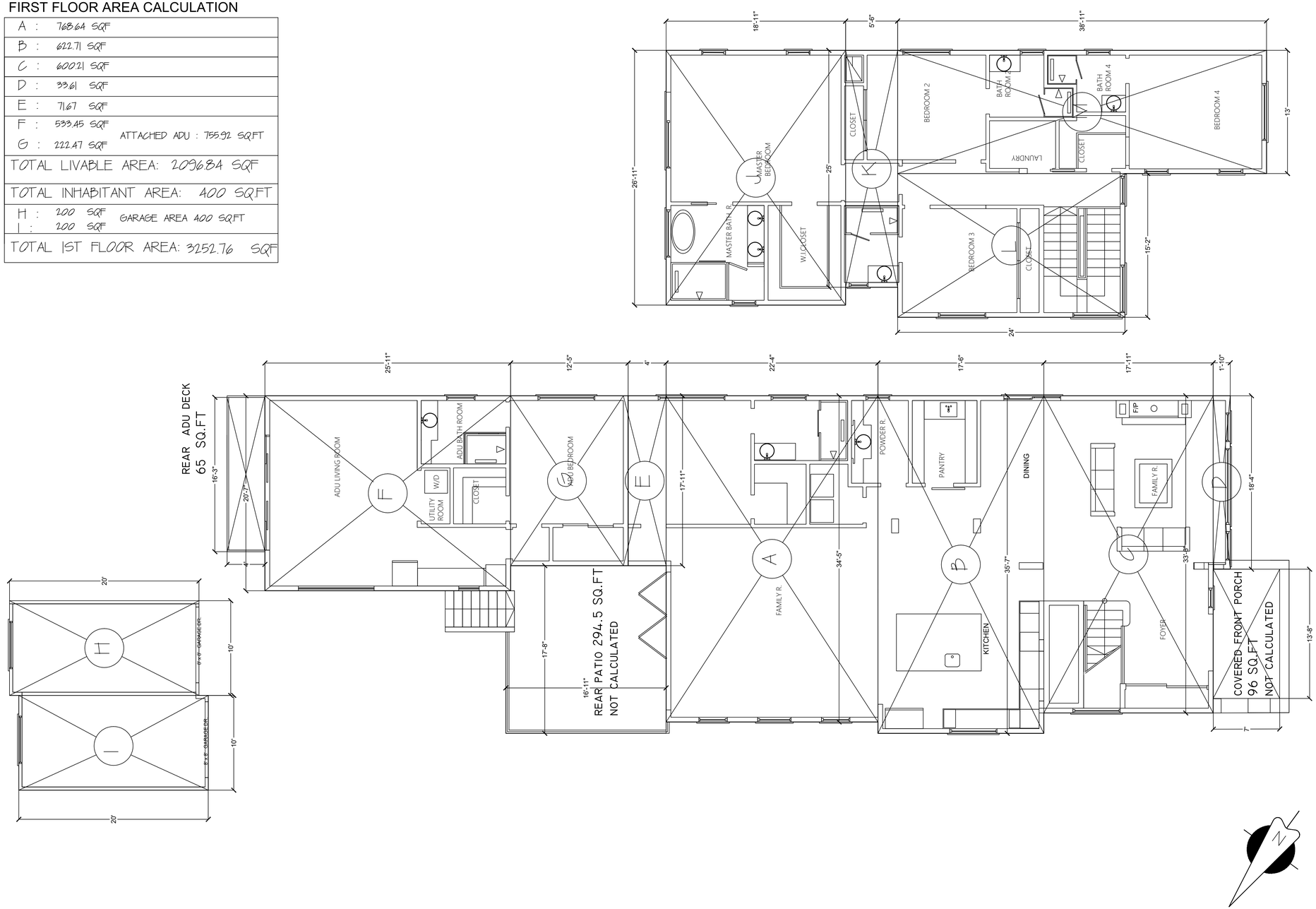
A1.0B/1

UNDER FLOOR AREA CALCULATION

J :	509.42 SQF
K :	137.214 SQF
L :	364.102 SQF
M :	506.174 SQF THE NEW ADDITION AREA
TOTAL LIVABLE AREA:	1516.9 SQF

FIRST FLOOR AREA CALCULATION

A : 768.64 SQF	
B : 622.71 SQF	
C : 600.21 SQF	
D : 33.61 SQF	
E : 71.67 SQF	
F : 533.45 SQF G : 222.47 SQF	ATTACHED ADU : 755.92 SQ.FT
TOTAL LIVABLE AREA: 2096.84 SQF	
TOTAL INHABITANT AREA: 400 SQ.FT	
H : 200 SQF I : 200 SQF	GARAGE AREA 400 SQ.FT
TOTAL 1ST FLOOR AREA: 3252.76 SQF	



BNDS

21060 HOMESTEAD RD, CUPERTINO , CA 95014
T: 650.665.0439

DATE

02/20/2025

CONSULTANT BEHROOZ NEMATI

PROJECT

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BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

REV	DATE	DESCRIPTION
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.2021

PROJECT NO. F21.1

SHEET TITLE

AREA CALCULATION

SHEET NO.

A1.0C

APPLIANCE SCHEDULE

CT	(N) COOKTOP
DW	(N) DISHWASHER (NIC)
O/MW	(N) OVENS & MICROWAVE (NIC)
REF	(N) 30"W REFRIGERATOR (NIC)
RH	(N) RANGE HOOD
W/D	(N) WASHER-DRYER (NIC)

EQUIPMENT

F	(N) FURNACE
CD	(N) CONDENSER
THWH	(N) TANKLESS HOT WATER HEATER
EP	ELECT. PANEL TO BE UPGRADED TO 200 AMP.

EV
(N) ELECTRIC VEHICLE CHARGING SYSTEM
MANUFACTURER: CHARGEPOINT (OR APPROVED EQUAL)
MODEL: CHARGEPOINT HOME CPH25-P
TYPE: LEVEL 2 EVSE, 240V 32AMP ELECTRIC CAR CHARGER
NOTE: OWNER TO DETERMINE EXACT LOCATION IN (N) GARAGE.

A — (N) EXT. CEMENT PLASTER WALL W/ 2X6 STUDS.
SEE DETAIL 12/A8.1.

B — (N) EXT. WD. RAINSCREEN SIDING W/ 2X6 STUDS.
SEE DETAIL 12/A8.1.

C, C2 — (N) INT. 1 HR. FIRE-RATED GYP. BD. PARTITION: UL-U305.
TYPE C: W/ (E) 2X4 STUDS.
TYPE C1: W/ (N) 2X4 STUDS.
TYPE C2: W/ (N) 2X6 STUDS & PLYWD. SHEATHING.
SEE DETAIL 12/A8.1.

D — (N) INT. GYP. BD. PARTITION:
(N) 2X STUDS W/ GYP. BD. AT EA. SIDE. NON-RATED.
SEE DETAIL 12/A8.1.

E — (N) INT. FURRED PARTITION:
(N) 2X4 WD STUDS W/ GYP. BD. AT ROOM SIDE OF STUDS. NON-RATED.
SEE DETAIL 12/A8.1.

(N) FULL HEIGHT WALL TILE. MANUFACTURER & COLLECTION TBD. [*1]

(N) BACKSPLASH TILE TO THE UNDERSIDE OF (N) TOP CABINET. MANUFACTURER & COLLECTION TBD

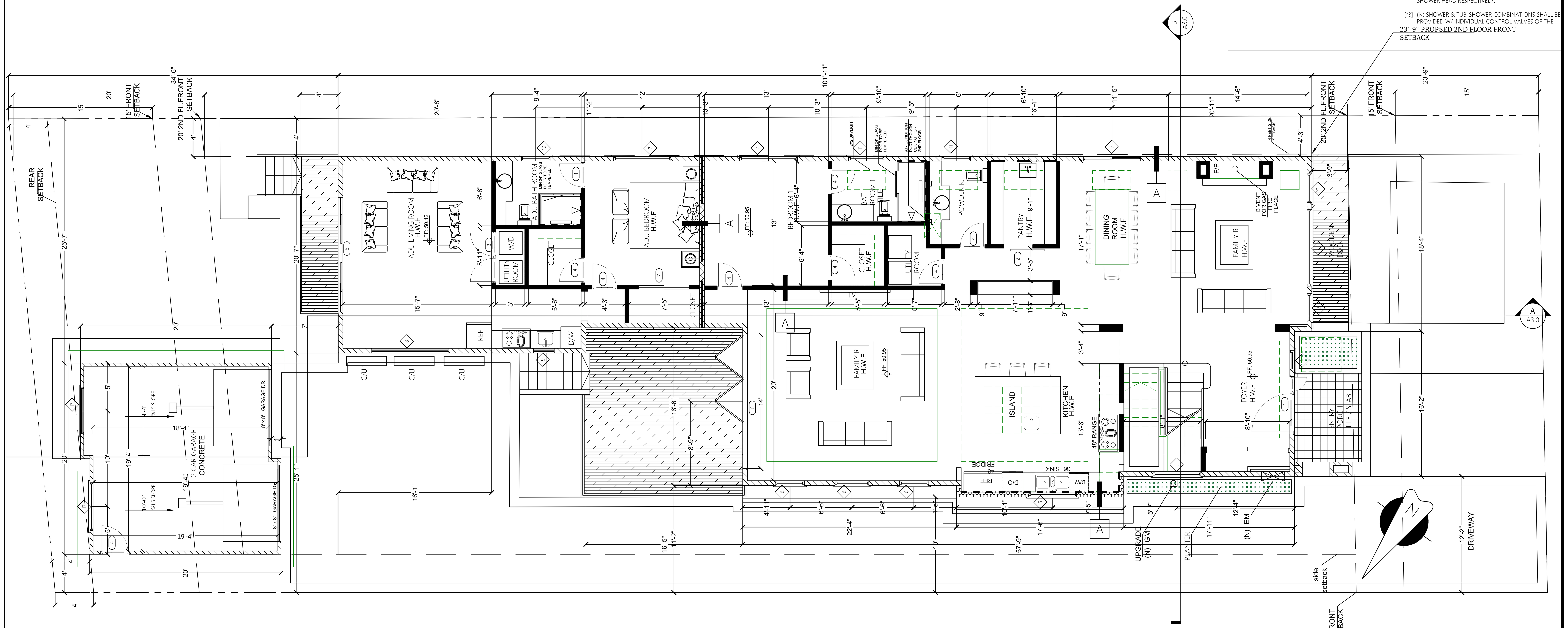
PLUMBING FIXTURE & ACCESSORIES SCHEDULE

KS	(N) KITCHEN SINK W/ (N) FAUCET [*1D]
LS	(N) LAUNDRY SINK W/ (N) FAUCET.
MC	(N) MEDICINE CABINET.
MR	(N) WALL MOUNTED MIRROR AT 3'-4" A.F.F.
SH	(N) SHOWER [*1B1, 2 & 3].
SD	(N) 22"W MIN. TEMPERED GLASS DOOR W/ TEMPERED GLASS ENCLOSURE.
SLD	(N) 2"W LINEAR DRAIN.
SR	(N) SHOWER ROSE [*1B1, 2 & 3].
VS	(N) LAVATORY SINK [*1C, & 3].
WC	(N) FLOOR MOUNTED W.C. [*1A &, 2]

GENERAL NOTE:
FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE W/ 2019 C.P.C., & SHALL MEET THE APPLICABLE STANDARDS PER TABLE 1701.1 OF THE C.P.C.

*PLUMB. FIXTURE NOTES:
[*1] (N) PLUMBING FIXTURES SHALL COMPLY W/ CAL GREEN CODE SECTION 4.303.1 WATER CONSERVING PLUMB. FIXTURE & FITTINGS::
A) (N) W.C.: MAX. FLUSH VOL. AT 1.28 GAL. PER FLUSH
B1) (N) SINGLE SHOWER / SHOWER - BATH HEAD / HAND HELD SHOWER: MAX. FLOW RATE OF 1.8 GAL. PER MINUTE AT 80 PSI.
B2) NOT USED.
C) (N) LAV FAUCET: MAX. FLOW RATE OF 1.2 GAL. PER MINUTE AT 60 PSI, & MIN. FLOW RATE OF 0.8 GAL. PER MINUTE AT 20 PSI.
D) (N) KITCHEN FAUCET: MAX. FLOW RATE OF 1.8 GAL. PER MINUTE AT 60 PSI. MAY TEMPORARILY INCREASE FLOW RATE ABOVE MAX. RATE, BUT NOT TO EXCEED 2.2 GAL. PER MINUTE AT 60 PSI, & MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 GAL. PER MINUTE AT 60 PSI.
[*2] (N) TANK-TYPE WC & SINGLE SHOWER HEAD SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATER SENSE SPECIFICATION FOR TANK TYPE & SHOWER HEAD RESPECTIVELY.
[*3] (N) SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE

*FINISH NOTES:
1. SHOWER AND/ OR SHOWER/ TUB WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, E.G. CERAMIC TILE, FIBERGLASS, ETC. O/ A MOISTURE RESISTANT UNDERLAYMENT, EG. WATER RESISTANT GYP. BD., GREEN BD., ETC. TO A HEIGHT OF 72" ABOVE THE FLOOR / DRAIN INLET (2019 C.R.C. R207.2 & R302.6)



SCALE : 3/16" = 1'-0 "

BNDS

21060 HOMESTEAD RD, CUPERTINO , CA 95014
T: 650.665.0439

DATE
02/20/2025

[illegible]

CONSULTANT BEHROOZ NEMATI

PROJECT

728 NEWHALL RD. BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

REV	DATE	DESCRIPTIO
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.202

PROJECT NO. F21

SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A1.1

(N) EXT. CEMENT PLASTER WALL W/ 2X6 STUDS.
SEE DETAIL 12/A8.1.

A

(N) EXT. WD. RAINSCREEN SIDING W/ 2X6 STUDS.
SEE DETAIL 12/A8.1.

B

(N) INT. 1 HR. FIRE-RATED GYP. BD. PARTITION: UL-U305.
TYPE C: W/ (E) 2X4 STUDS.
TYPE C1: W/ (N) 2X4 STUDS.
TYPE C2: W/ (N) 2X6 STUDS & PLYWD. SHEATHING.
SEE DETAIL 12/A8.1.

C

C2

(N) INT. GYP. BD. PARTITION:
(N) 2X STUDS W/ GYP. BD. AT EA. SIDE. NON-RATED.
SEE DETAIL 12/A8.1.

D

(N) INT. FURRED PARTITION:
(N) 2X4 WD STUDS W/ GYP. BD. AT ROOM SIDE OF STUDS. NON-RATED.
SEE DETAIL 12/A8.1.

E

(N) FULL HEIGHT WALL TILE.
MANUFACTURER & COLLECTION TBD.
[*1]

(N) BACKSPLASH TILE TO THE UNDERSIDE OF (N) TOP CABINET.
MANUFACTURER & COLLECTION TBD

*FINISH NOTES:
1. SHOWER AND/ OR SHOWER/ TUB WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. E.G. CERAMIC TILE, FIBERGLASS, ETC. O/ A MOISTURE RESISTANT UNDERLAYMENT, EG. WATER RESISTANT GYP. BD., GREEN BD., ETC. TO A HEIGHT OF 72" ABOVE THE FLOOR / DRAIN INLET.(2019 C.R.C. R207.2 & R302.6)

APPLIANCE SCHEDULE

CT	(N) COOKTOP
DW	(N) DISHWASHER (NIC)
O/MW	(N) OVENS & MICROWAVE (NIC)
REF	(N) 30"W REFRIGERATOR (NIC)
RH	(N) RANGE HOOD
W/D	(N) WASHER-DRYER (NIC)

EQUIPMENT

F	(N) FURNACE
CD	(N) CONDENSER
TWWH	(N) TANKLESS HOT WATER HEATER
EP	ELECT. PANEL TO BE UPGRADED TO 200 AMP.
EV	(N) ELECTRIC VEHICLE CHARGING SYSTEM MANUFACTURER: CHARGEPOINT (OR APPROVED EQUAL) MODEL: CHARGEPOINT HOME CPH25-P TYPE: LEVEL 2 EVSE, 240V 32AMP ELECTRIC CAR CHARGER NOTE: OWNER TO DETERMINE EXACT LOCATION IN (N) GARAGE.

PLUMBING FIXTURE & ACCESSORIES SCHEDULE

KS	(N) KITCHEN SINK W/ (N) FAUCET [*1D]
LS	(N) LAUNDRY SINK W/ (N) FAUCET.
MC	(N) MEDICINE CABINET.
MR	(N) WALL MOUNTED MIRROR AT 3'-4" A.F.F.
SH	(N) SHOWER [*1B1, 2 & 3].
SD	(N) 22"W MIN. TEMPERED GLASS DOOR W/ TEMPERED GLASS ENCLOSURE.
SLD	(N) 2"W LINEAR DRAIN.
SR	(N) SHOWER ROSE [*1B1, 2 & 3].
VS	(N) LAVATORY SINK [*1C, & 3].
WC	(N) FLOOR MOUNTED W.C. [*1A &, 2]

GENERAL NOTE:
FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE W/ 2019 C.P.C., & SHALL MEET THE APPLICABLE STANDARDS PER TABLE 1701.1 OF THE C.P.C.

*PLUMB. FIXTURE NOTES:
[*1] (N) PLUMBING FIXTURES SHALL COMPLY W/ CAL GREEN CODE SECTION 4.303.1 WATER CONSERVING PLUMB. FIXTURE & FITTINGS:.
A) (N) W.C.: MAX. FLUSH VOL. AT 1.28 GAL. PER FLUSH
B1) (N) SINGLE SHOWER / SHOWER - BATH HEAD / HAND HELD SHOWER: MAX. FLOW RATE OF 1.8 GAL. PER MINUTE AT 80 PSI.
B2) NOT USED.
C) (N) LAV FAUCET: MAX. FLOW RATE OF 1.2 GAL. PER MINUTE AT 60 PSI, & MIN. FLOW RATE OF 0.8 GAL. PER MINUTE AT 20 PSI.
D) (N) KITCHEN FAUCET: MAX. FLOW RATE OF 1.8 GAL. PER MINUTE AT 60 PSI, MAY TEMPORARILY INCREASE FLOW RATE ABOVE MAX. RATE, BUT NOT TO EXCEED 2.2 GAL. PER MINUTE AT 60 PSI, & MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 GAL. PER MINUTE AT 60 PSI.
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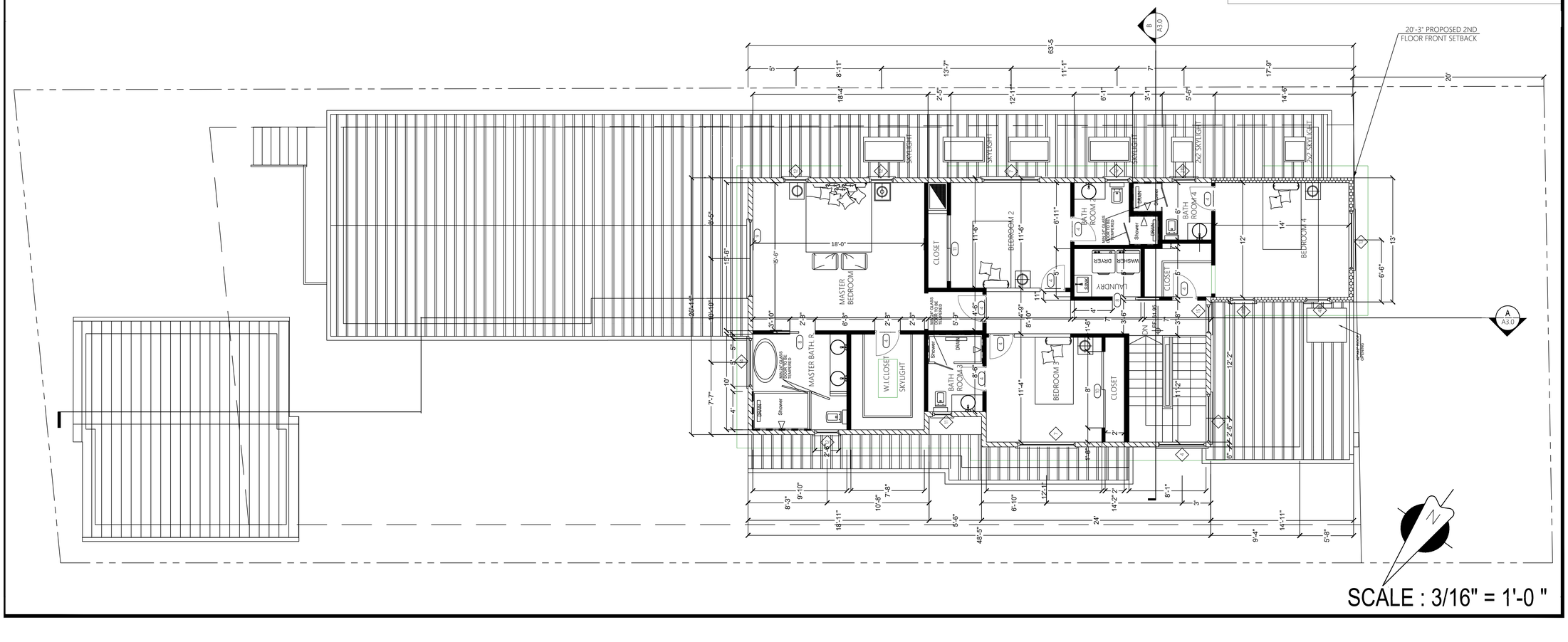
[*3] (N) SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE (2019 C.P.C. 408.3).



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DATE

02/20/2025

CONSULTANT BEHROOZ NEMATI

PROJECT

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BURLINGAME CA 94010

(2) Story New Single Family House

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6.1.20

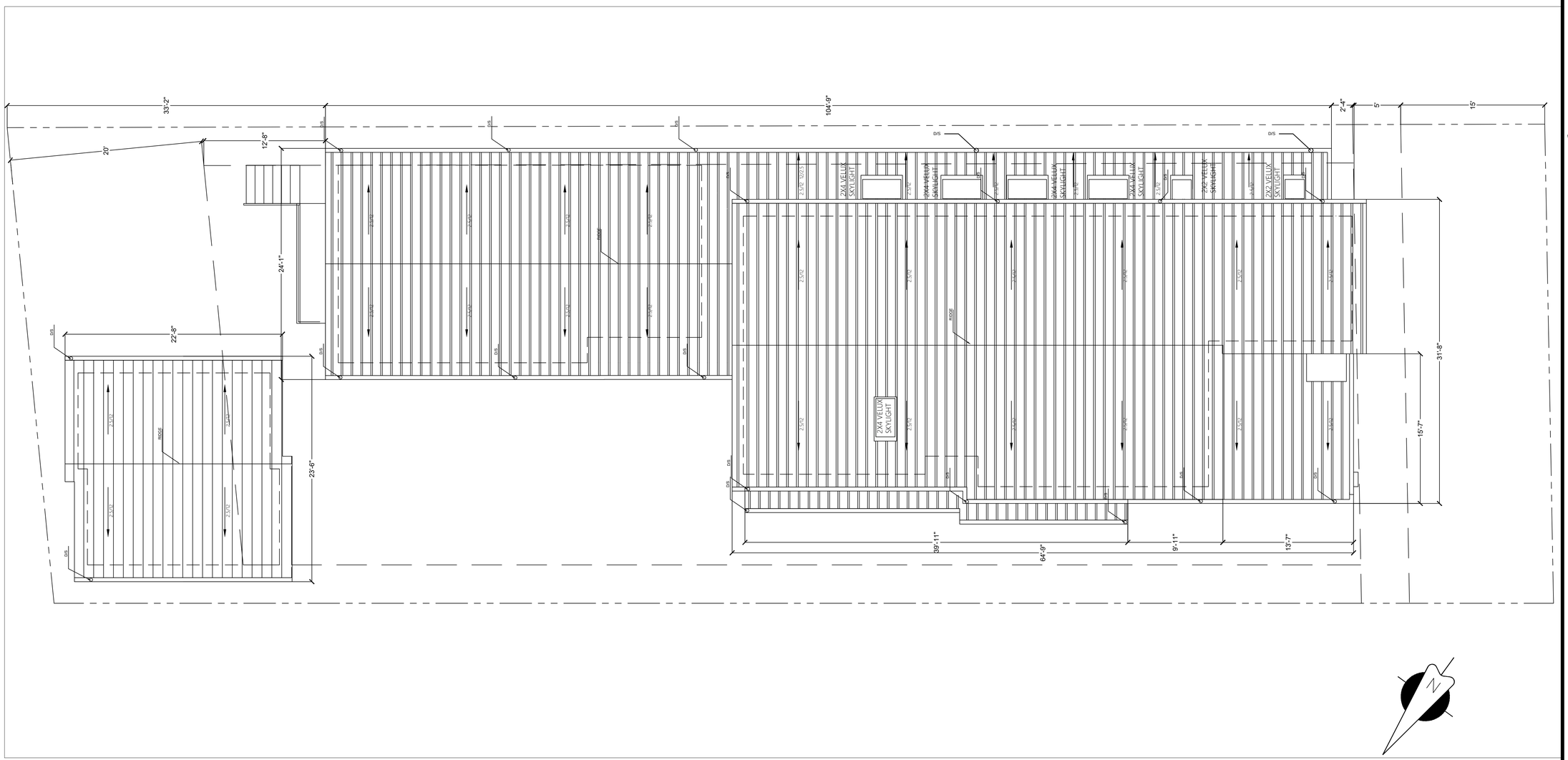
PROJECT NO. F21

SHEET TITLE

2ND FLOOR PLAN

SHEET NO.

A1.2



SCALE : 3/16" = 1'-0 "

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PROJECT NO. F21

SHEET TITLE

ROOF PLAN

SHEET NO.

A1.3

GENERAL NOTES

A. REFER TO THE FOLLOWINGS:
1. SHEET A0.1 FOR NOTES, SYMBOLS & ABBREVIATIONS.
2. SHEET A1.1 FOR FLOOR PLAN.
3. SHEET A1.2 FOR ROOF PLAN.
4. SHEET A1.4 FOR POWER OUTLETS.
5. SHEET M1.1 FOR ALL MECH. ITEMS.

B. ALL DIMENSIONS ARE TO BE TAKEN TO THE FACE OF FINISH WALLS EXCEPT (E) / (N) EXT. WALLS, U.O.N.

C. ALL (E) & (N) EXT. WALLS ARE DIMENSIONED TO THE EXT. FACE OF STUD (FOS), U.O.N.
- (N) 2X6 WALLS = 6" THK., U.O.N. [+1/2" GYP./CEMENT BD].
- (E) 2X4 WALLS = 4" THK., U.O.N. [+1/2" GYP. BD.]

D. U.O.N., ALL INT. CEILINGS SHALL BE AS FOLLOW:
1. GYP. BD. CEILINGS. OWNER TO DETERMINE FINISH LEVEL.
2. CEILING HEIGHT AT ±9'-10" A.F.F.
3. FLAT CEILINGS, EXCEPT IN FOYER, DINING & LIVING.

KEYNOTES (#)

1. OUTLINE OF (N) ROOF OVERHANG.
2. (N) GALV. SHEET METAL GUTTER. SEE SHEET A1.2 ROOF PLAN.
3. (N) CANOPY. COORDINATE W/ SHEET A1.2 ROOF PLAN & A2.0 EXTETIOR ELEVATIONS.
4. (N) EXT. SKYLIGHT W15. SEE SHEET A7.0 DOOR & WINDOW SCHEDULE.

5. NOT USED.
6. NOT USED.
7. NOT USED.

8. (N) EXT. DOOR HEADER.
9. (N) INT. DOOR HEADER.

10. FURNITURE: FOR REF. ONLY.
10A. CASEWORK.

11. (N) FIREPLACE.
11A. (N) FIREPLACE FLUE.

12. (N) GYP. BD. SOFFIT.
13. (N) HEAT PUMP IN THE ATTIC ABOVE. SEE MECH. SHEET M1.1.
13A. (N) 30"W X 30"H X 6'H SERVICE PLATFORM FOR HEAT PUMP. SEE MECH. SHEET M1.1.

14. (N) GARAGE DOOR OPENER W/ AN AUTOMATIC REVERSE SAFETY DEVISE AND TO HAVE A BATTERY BACK-UP FUNCTION DESIGNED TO OPERATE WHEN ACTIVATED BECAUSE OF AN ELECT. OUTAGE (CA SENATE BILL SB969).

LEGEND: NOTES*

SMOKE AND CARBON MONOXIDE ALARMS (CBC 907.2, CRC 314 AND 315):

1. SMOKE ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (BETWEEN 4" & 12" OF THE CEILING) IN ALL SLEEPING ROOMS, EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH STORY OF THE BUILDING, & IN ANY BASEMENT. SMOKE ALARMS SHALL BE REPLACED 10 YEARS AFTER THE DATE OF MANUFACTURE LISTED ON THE ALARM (IF NO DATE IS LISTED THE ALARM SHALL BE REPLACED). NEWLY INSTALLED SMOKE ALARMS SHALL HAVE A 10-YEAR BATTERY.

2. CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (ABOVE THE DOOR HEADER) IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH OCCUPIABLE STORY, & WITHIN A BEDROOM IF THE BEDROOM OR ATTACHED BATHROOM CONTAINS A FUEL-BURNING APPLIANCE. CO ALARMS ARE NOT REQUIRED IF THERE IS NO FUEL- BURNING APPLIANCE OR FIREPLACE IN THE HOUSE & WHERE THE GARAGE IS DETACHED FROM THE HOUSE.
3. SMOKE ALARMS & CARBON MONOXIDE ALARMS SHALL BE INSTALLED AT MIN. 3'-0" FROM HEAT VENT.

4. SMOKE ALARMS & CARBON MONOXIDE ALARMS ARE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHAL. TO CONFIRM IF A CERTAIN DEVICE IS LISTED, REFER TO THE FOLLOWING WEB PAGE: OSFM.FIRE.CA.GOV/DIVISIONS/FIRE-ENGINEERING-AND-INVESTIGATIONS/BUILDING-MATERIALS-LISTING/

B. EXHAUST FAN: SEE MECH DWGS. C. NOT USED.

D. LIGHTING:
1. ALL (N) EXT. & INT. LIGHT FIXTURE TO BE HIGH EFFICACY PER CEnC TABLE 150.0A & CEnC 150.0(k).
2. ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELED AS JA8-2016 (JA8-2016-E FOR SEALED LENS/RECESSED).
3. RECESSED LIGHTING SHALL BE LISTED AS IC & AT, BE SEALED/CAULKED BETWEEN THE FIXTURE HOUSING & CEILING,SHALL NOT CONTAIN A SCREW BASE SOCKET, & CONTAIN BULBS MARKED W/ JA8-2016-E.

4. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LIGHTING FIXTURES W/ JA8-2016 BULBS, EXCEPT IN A CLOSET <70 SF & IN HALLWAYS.

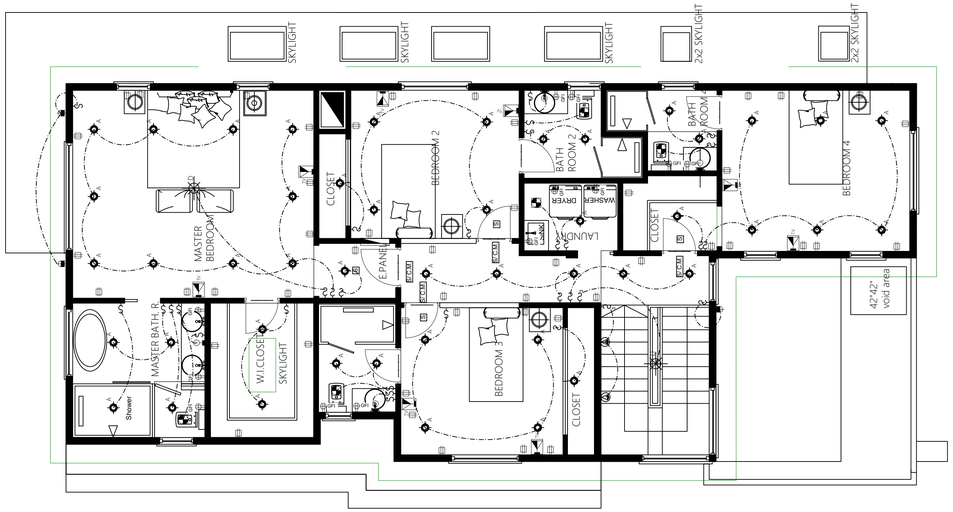
5. BATHROOMS, GARAGE, LAUNDRY ROOM & UTILITY ROOMS SHALL HAVE (1) HIGH EFFICIENCY LUMINAIR CONTROLLED BY A VACANCY SENSOR THAT REQUIRES MANUAL ON ACTIVATION & AUTOMATICALLY TURNS OF WITHIN 30 MINUTES AFTER ROOM IS VACATED. (CEnC 150.0(k)2).

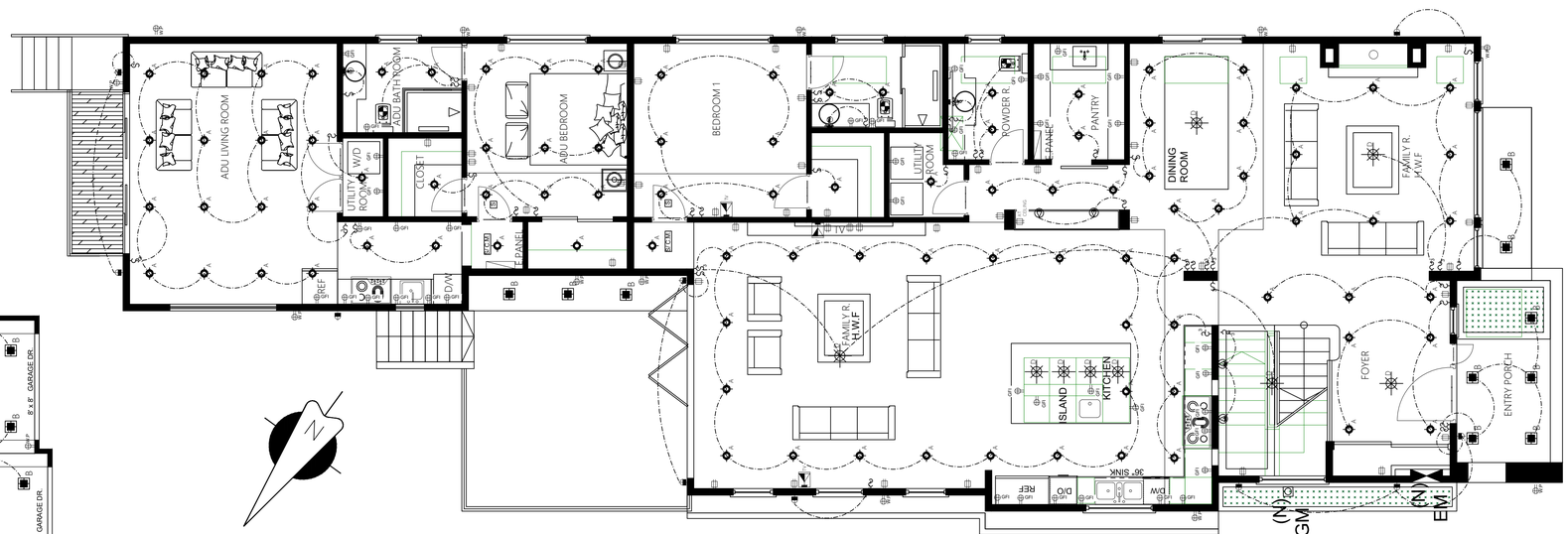
6. CLOSET LIGHTS SHALL BE FLUORESCENT, HAVE A SEALED LENS, OR LED LISTED FOR STORAGE AREA.
7. ALL LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY & BE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR.

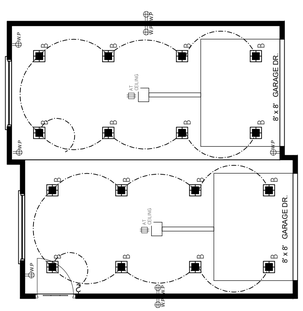
8. EXTERIOR LIGHTING SHALL BE CONTROLLED W/ A MANUAL ON/ OFF SWITCH AS WELL AS A PHOTOCELL & MOTIO SENSOR OR A PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL. (CENC 150(K)(2=3)(II) & CENC 150.0(K)(3)(III).

9. LUMINARIES RECESSED IN INSULATED CEILINGS SHALL COMPLY W/ THE FOLLOWINGS (CEnC 150.0(k)1C):
- SHALL BE ZERO CLEARANCE IC LISTED & CERTIFIED AIR TIGHT ('ICAT' RATED RECESSED FIXTURE).
- ADHERE TO WATT RATING LIMIT OF EA. FIXTURE.
- BE SEATED W/ GASKET OR CAULK BETWEEN LUMINAIRE HOUSING & CEILING, & AT ALL AIR LEAK PATHS BETWEE CONDITIONED & UNCONDITIONED SPACES.
- SHALL NOT CONTAIN SCREW BASE SOCKET.

11. LIGHTING FIXTURE LOCATED WITHIN 3' HORIZONTALLY & 8' VERTICALLY OF THE BATH TUB / SHOWER SHALL BE LISTED FOR A DAMP LOCATION, OR WET LOCATION IF SUBJECT TO SHOWER SPRAY.







SCALE : 3/16" = 1'-0 "

LEGEND

- (N) INT. LIGHT FIXTURE TYPE A: CEILING RECESSED LED LIGHT FIXTURE. USE WET AREA RATED LIGHT FIXTURE FOR WET AREA.
- (N) INT. LIGHT FIXTURE TYPE B: 6" ∅ CEILING RECESSED LED LIGHT FIXTURE.
- (N) INT. LIGHT FIXTURE TYPE C: PENDANT LED LIGHT FIXTURE.
- (N) INT. LIGHT FIXTURE TYPE D: PENDANT LED CHANDELIER.
- (N) INT. LIGHT FIXTURE TYPE E: SURFACE MOUNTED LED TRACK LIGHT.
- (N) INT. LIGHT FIXTURE TYPE F: CEILING RECESSED 4'-0"L LED FIXTURE.
- (N) INT. LIGHT FIXTURE TYPE G: WALL MOUNTED 2'-0"L LED LIGHT FIXTURE.
- (N) INT. LIGHT FIXTURE TYPE H: LED STRIP WALL WASHER. DIRECT LIGHT.
- (N) INT. LIGHT FIXTURE TYPE J: LED STRIP CEILING COVE / INDIRECT LIGHTING.
- (N) INT. CASEWORK LIGHT FIXTURE TYPE L2: LED STRIP RECESSED UNDER / ABOVE CASEWORK.
- (N) EXT. LIGHT FIXURE TYPE M: SOFFIT RECESSED LED LIGHT FIXTURE [*D8]
- (N) EXT. LIGHT FIXTURE TYPE N: WALL MOUNTED LED LIGHT FIXTURE. [*D8]
- (N) SOLAR TUBE W/ INT. LIGHT FIXTURE TYPE 'A': ST1 = 10" ∅ ST2 = 14" ∅
- +14'-0" CEILING HEIGHT DESIGNATION MEASURED FROM FINISHED FL.
- (S) (N) SMOKE ALARM [*A1, 3-4]
- (SC) (N) SMOKE - CARBON DIOXIDE ALARM [*A2-4].
- (N) EXHAUST BATHROOM FAN W/ HUMIDISTAT [*B]. SEE MECH DWG.
- CEILING RECESSED LINEAR SUPPLY AIR DIFFUSER. SEE MECH DWG.
- CELING RECESSED LINEAR RETURN AIR DIFFUSER. SEE MECH DWG.
- SIDE CEILING LINEAR SUPPLY AIR DIFFUSER. SEE MECH DWG.
- FC FAN COIL UNIT. SEE MECH. DWG.
- CA 24"W X 30"L CEILING ACCESS PANEL.
- DS (N) 2" X 3" GALV. SHEET METAL DOWNSPOUT. COLOR TO MATCH EXT. WALL COLOR.

EQUIPMENT
EP (N) ELECT. MAIN PANEL.
ESP (N) ELECT. SUB PANEL.

- WD SIDING #1: EXT. SOFFIT / INT. CEILING
  PRODUCT: 'IPE' TONGUE & GROOVE WD RAIN SCREEN SIDING
  NOTE: PENOFIN SEALER. COLOR: TBD
  SIZE: 1" THK. X 6"W
  VENT: COR-A VENT, "SV3 STRIP VENT" 7/16"H X 3"W X 4'-0"L (AT EXT. SOFFIT ONLY).
  INSTALL: W/ CONCEALED CLIP FASTENER; 'CLIMATE-SHIELD RAIN SCREEN WOOD SIDING SYSTEM' WWW.CLIMATE-SHIELD.COM /CLIMATE-SHIELD-RAINSCREEN-COMPONENTS
- MP EXT. METAL SOFFIT PANEL W/ VENTS. SLOPE PER ROOF RAFTER.

BNDS

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CONSULTANT BEHROOZ NEMATI

PROJECT

728 NEWHALL RD.
BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

REV	DATE	DESCRIPTION
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

1,221時刻

PROJECT NO. F21.1

SHEET TITLE
electrical plan

SHEET NO.
A1.4

SCALE : 3/16" = 1'-0 "

BNDS

21060 HOMESTEAD RD, CUPERTINO , CA 9501
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DATE

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6.1.20

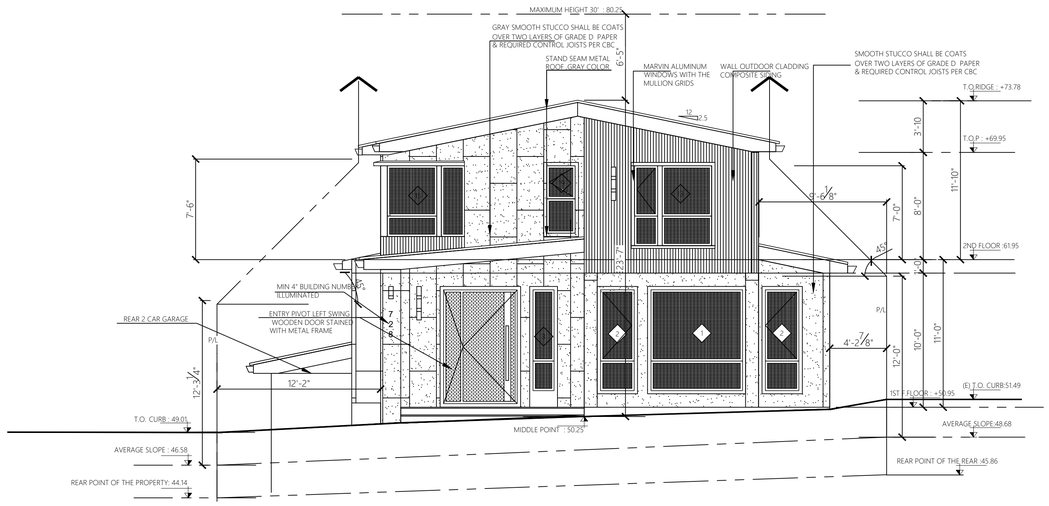
PROJECT NO. F21

SHEET TITLE

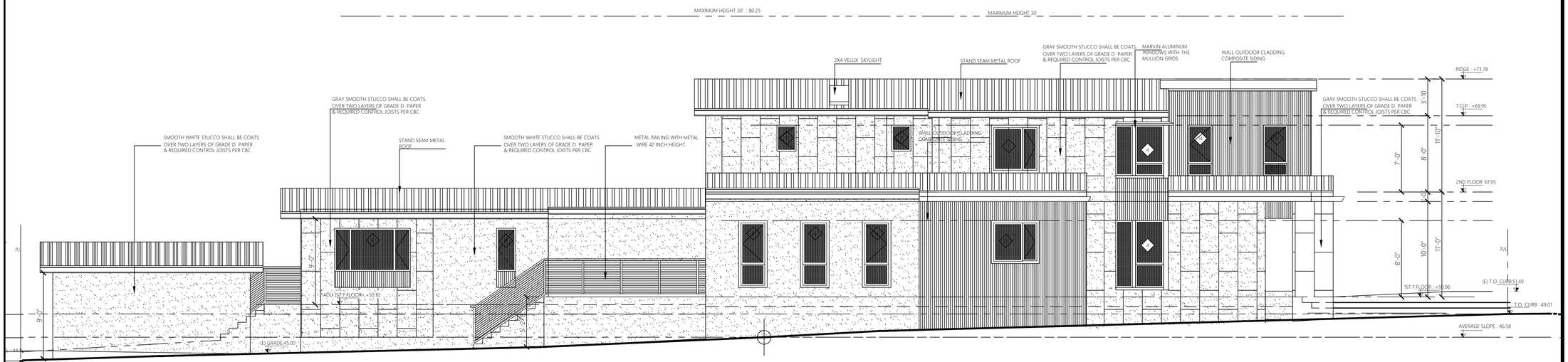
RCP

SHEET NO.

A1.5



FRONT ELEVATION



LEFT SIDE ELEVATION

SCALE : 3/16" = 1'-0 "

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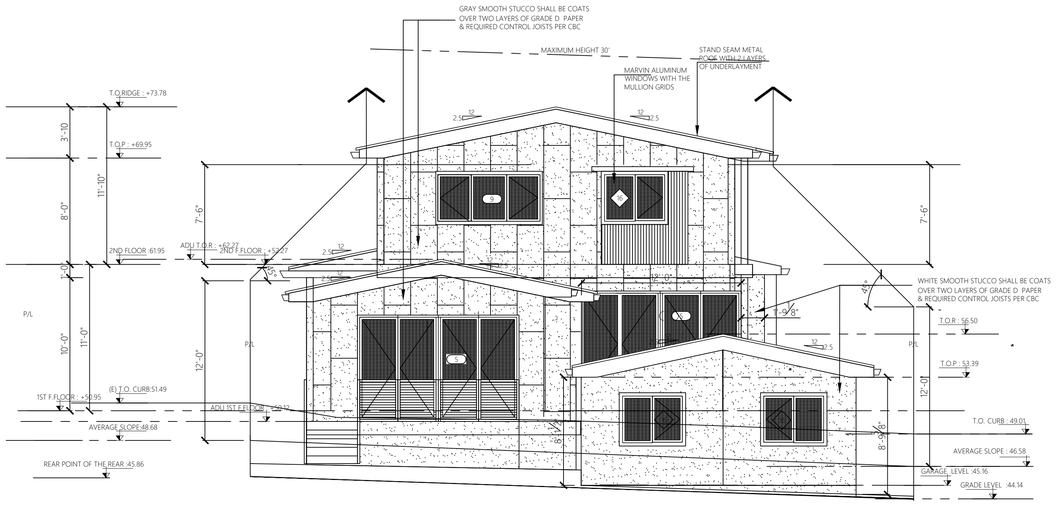
PROJECT NO. F21

SHEET TITLE

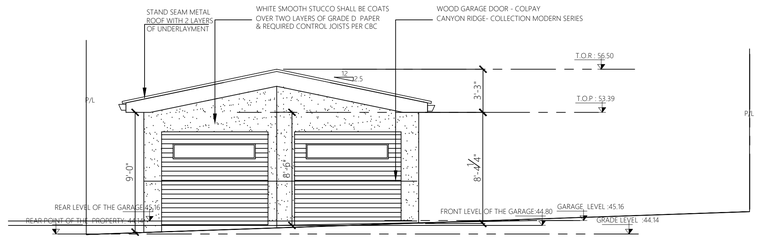
ELEVATIONS

SHEET NO.

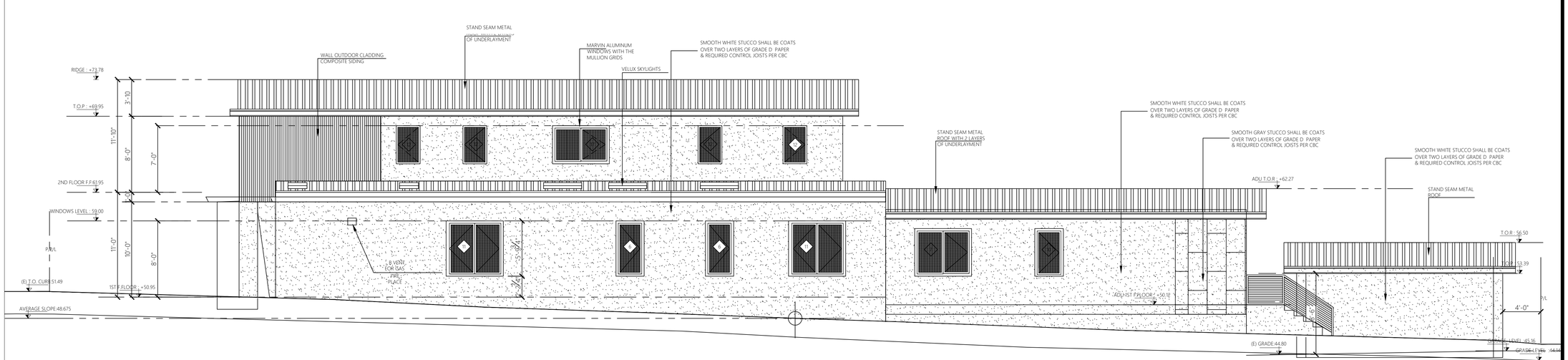
A2.0



REAR ELEVATION



GARAGE FRONT ELEVATION



RIGHT SIDE ELEVATION

SCALE : 3/16" = 1 "

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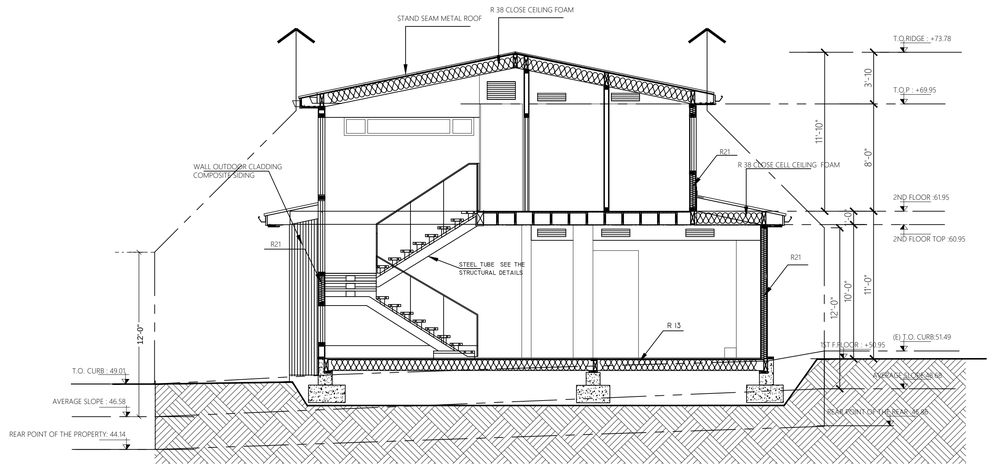
PROJECT NO. F21

SHEET TITLE

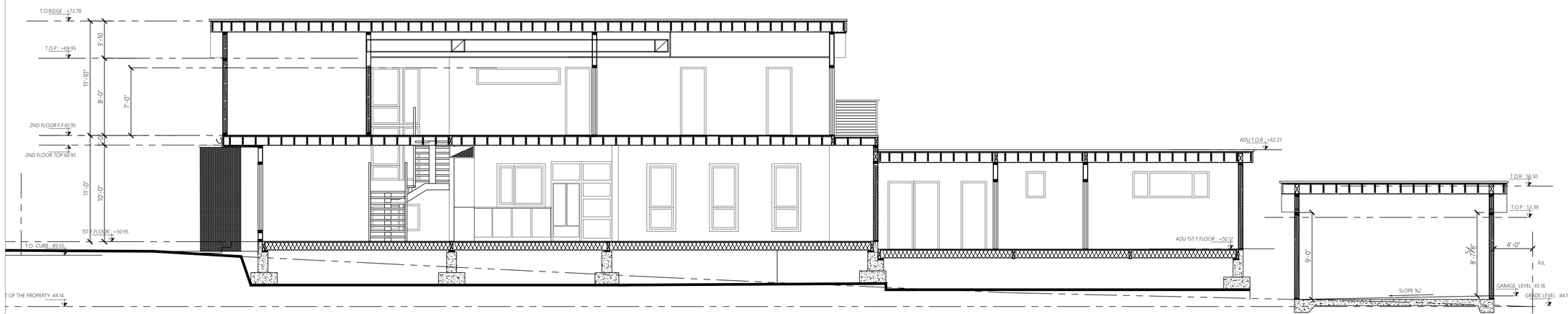
ELEVATIONS

SHEET NO.

A2.1



SECTION B-B



SECTION A-A

SCALE : 3/16" = 1'-0 "

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2	07/31/2025	PLANNING

6.1.2021

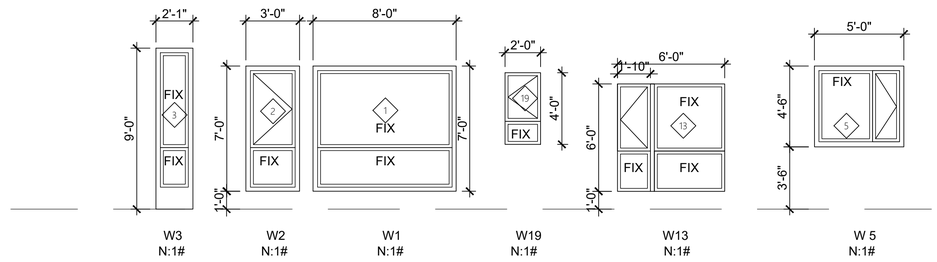
PROJECT NO. F21.1

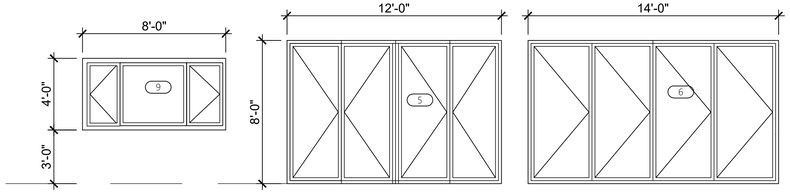
SHEET TITLE

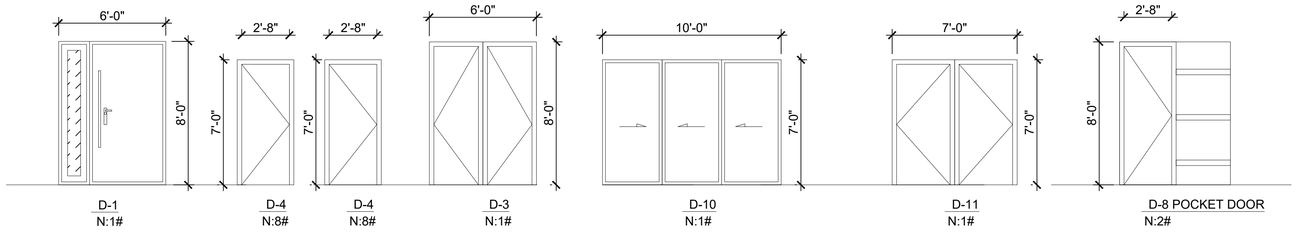
SECTIONS

SHEET NO.

A3.0







Window Schedule

Type Mark	Count	Width	Height	TEMPERED	TYPE
W1	1	8' - 0"	7' - 0"	YES	FIX.
W2	1	3' - 0"	7' -0"	YES	CAS.
W3	1	10' - 6"	4' -0"	YES	SL.
W4	1	5' - 0"	16' -10"	YES	CAS. FIX.
W5	1	5' - 0"	4' -6"		CAS.
W6	3	3' - 0"	7' -0"		CAS.
W7	4	6' - 0"	4' -6"		CAS.
W8	1	8' - 0"	2' -6"		CAS.
W9	3	2' - 0"	2' -6"		CAS.
W10	1	3' - 0"	4' -6"		CAS.
W11	1	2' - 6"	7' -0"		CAS.
W12	4	2' - 6"	4' - 0"		
W13	1	6' - 0"	6' -0"	YES	CAS.
W14	2	2' - 6"	5' - 0"		
W15	1	5' - 9"	5' -10"		
W16	3	5' - 0"	4' -0"		CAS.
W17	1	6' - 0"	4' -0"		CAS.
W18	1	3' - 6"	7' -0"		
W19	1	2' - 0"	4' -0"		CAS.
W20					

Door Schedule

Type Mark	Count	Width	Height	TEMPERED	TYPE
D1	1	6' - 0"	8' - 0"	MAIN DOOR	CAS.
D3	6	6' - 0"	8' - 0"	CLOSET DOOR	CAS.
D4	8	2' - 8"	8' - 0"	DOOR	CAS.
D4	8	2' - 8"	7' - 0"	DOOR	CAS.
D5	1	12' - 0"	8' - 0"	TEMPERED	CAS.
D6	1	14' - 0"	8' - 0"	TEMPERED	BIFOLD
D8	2	2' - 8"	8' - 0"	POCKET DOOR	CAS.
D9	1	8' - 0"	7' - 0"	EXTERIOR	CAS.
D10	1	10' - 0"	7' - 0"	INTERIOR CLOSET	SLID
D11	1	7' - 0"	7' - 0"	INTERIOR CLOSET	CAS.

BNDS

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T: 650.665.0435

DATE

02/20/2025

CONSULTANT BEHROOZ NEMATI

PROJECT

728 NEWHALL RD.
BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

REV	DATE	DESCRIPTIO
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.202

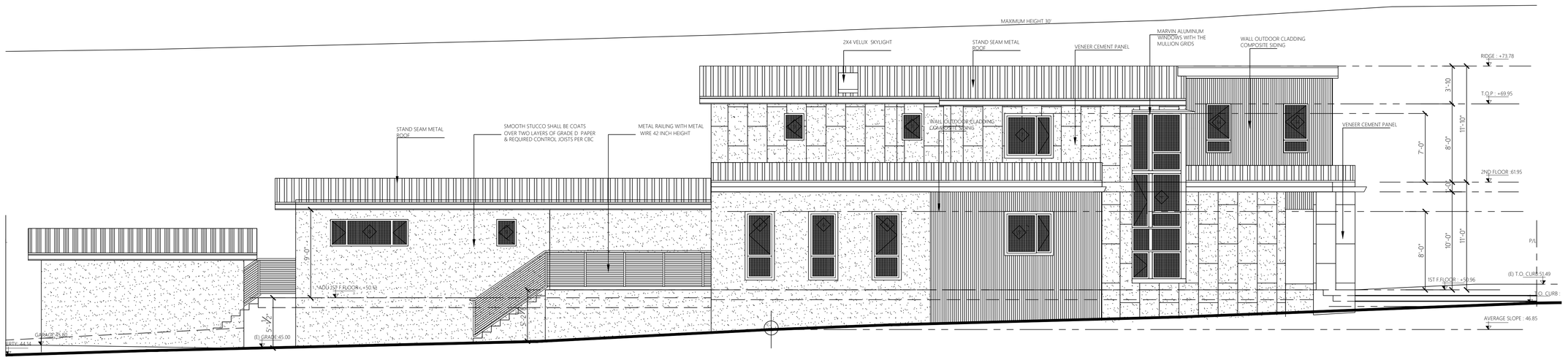
PROJECT NO. F21

SHEET TITLE

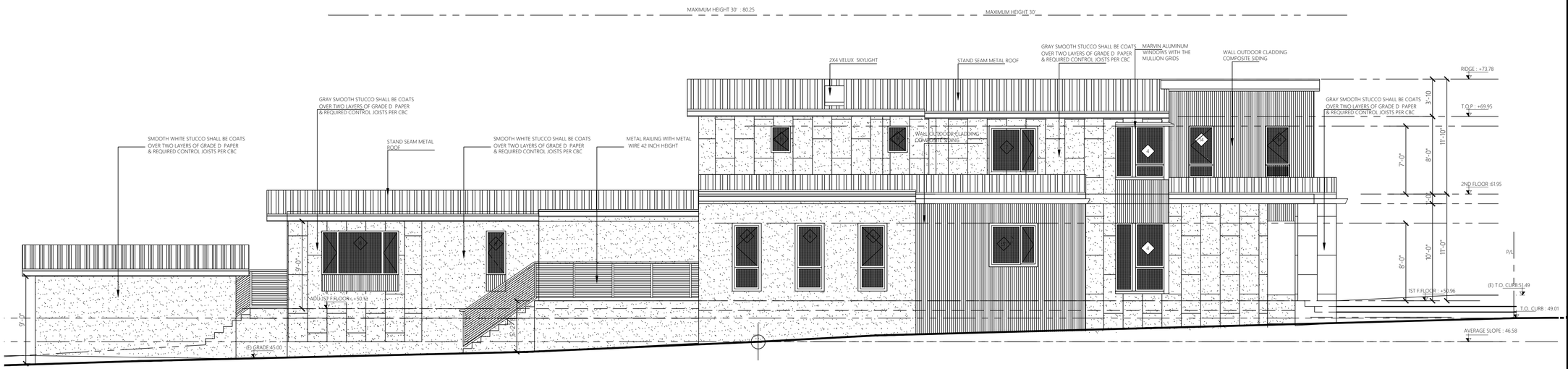
WINDOWS & DOORS SCHEDULE

SHEET NO.

A7.0



PREVIOUSLY PROPOSED LEFT SIDE ELEVATION



REVISED PROPOSED LEFT SIDE ELEVATION

SCALE : 3/16" = 1 "

BNDS

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02/20/2025

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REV	DATE	DESCRIPTION
	2.25.2025	PLANNING
2	07/31/2025	PLANNING

6.1.2021

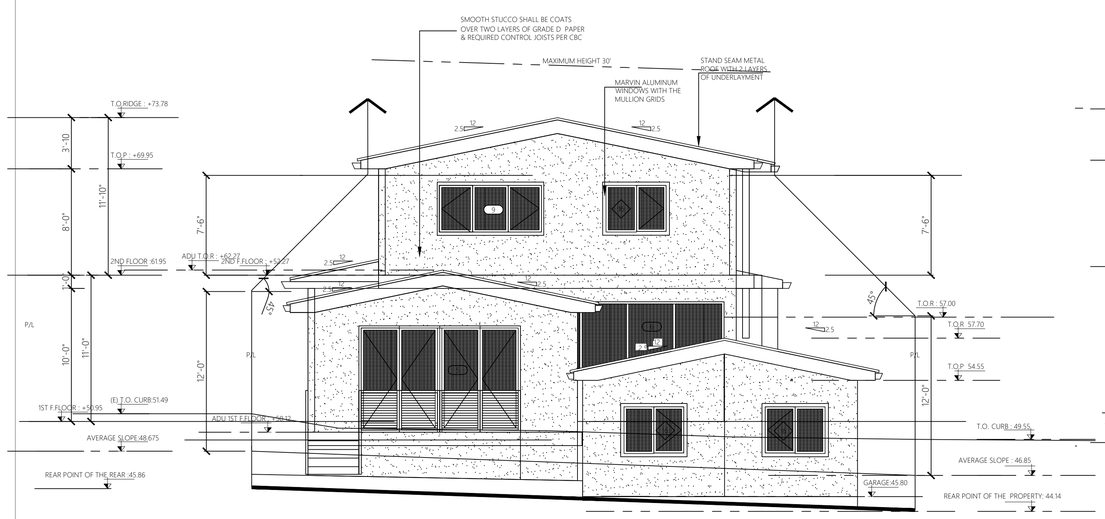
PROJECT NO. F21.1

SHEET TITLE

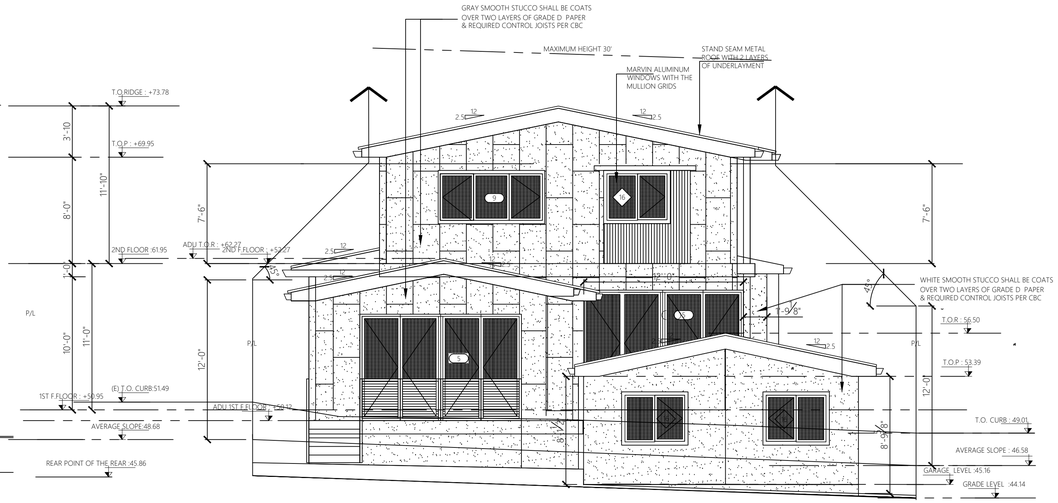
LEFT ELEVATION COMPARISON

SHEET NO.

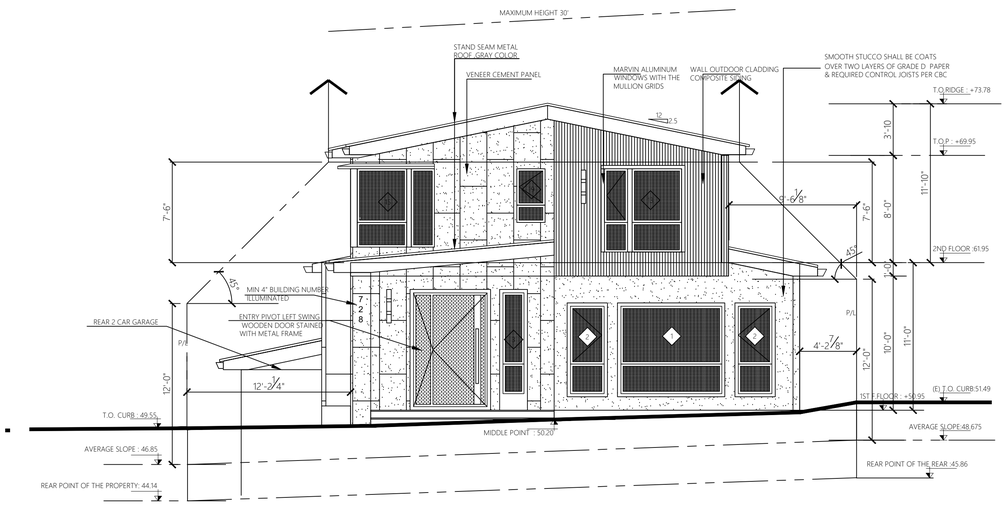
A3.1A



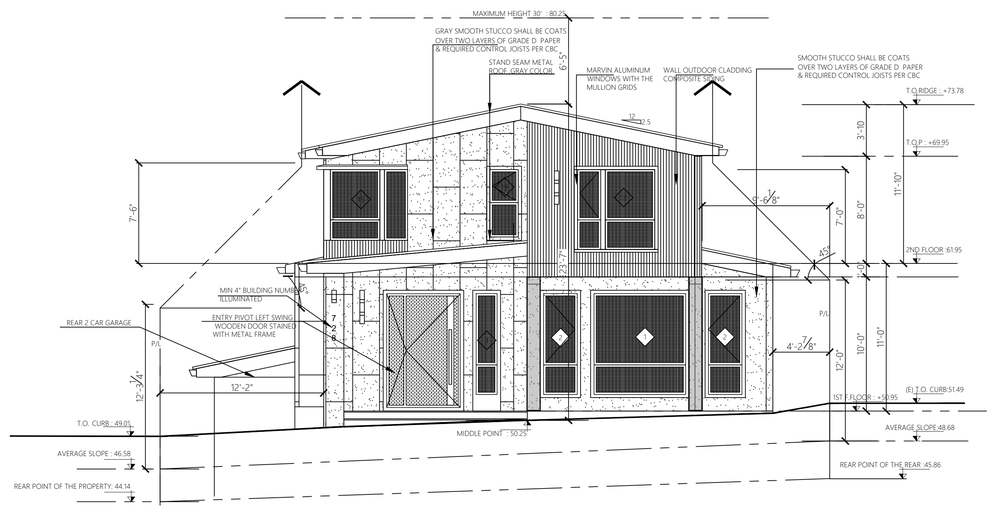
PREVIOUSLY PROPOSED REAR ELEVATION



REVISED REAR ELEVATION



PREVIOUSLY PROPOSED MAIN ELEVATION



REVISED MAIN ELEVATION

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6.1.2021

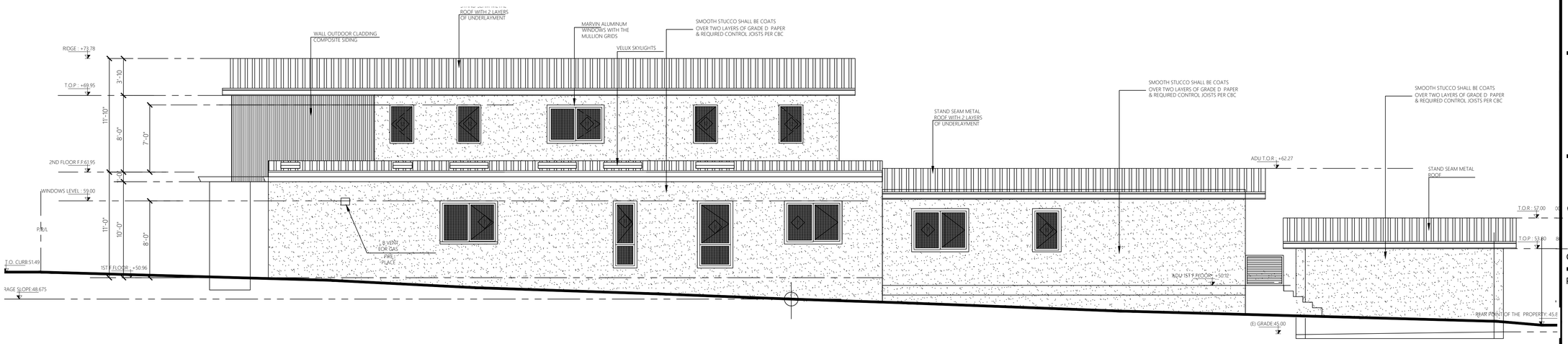
PROJECT NO. F21.1

SHEET TITLE

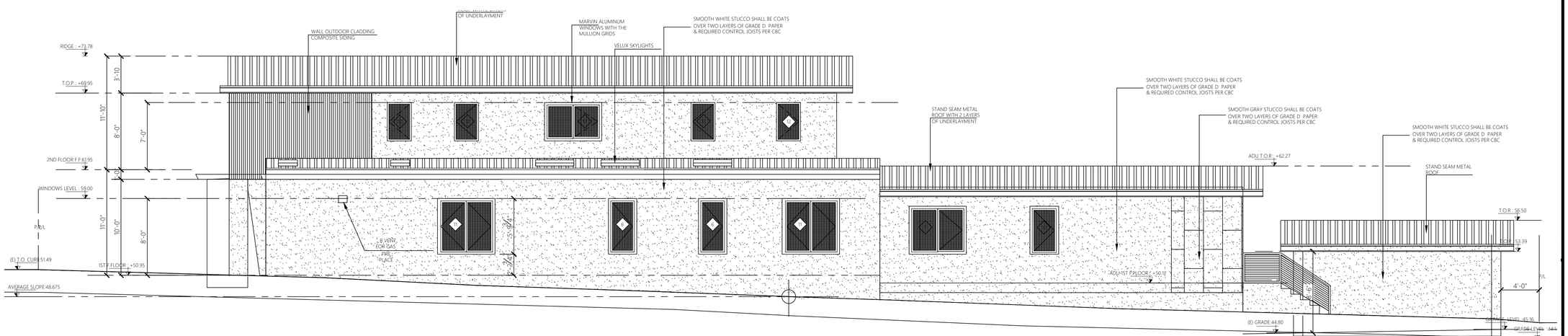
FRONT & REAR
ELEVATIONS COMPARISON

SHEET NO.

A3.1B



PREVIOUSLY PROPOSED RIGHT SIDE ELEVATION



REVISED RIGHT SIDE ELEVATION

SCALE : 3/16" = 1 "

BNDS

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PROJECT NO. F21.1

SHEET TITLE

RIGHT ELEVATIONS COMPARISON

SHEET NO.

A3.1C

WEST BIRD VIEW

NORTH WEST & SOUTH EAST ELEVATIONS

NORTH VIEW FROM EXTERIOR PATIO

WEST STREET VIEW

NORTH BIRD VIEW

WEST BIRD VIEW

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PROJECT NO. F21.1

SHEET TITLE

RENDERS

SHEET NO.

A3.1

EAST BIRD VIEW

SOUTH BIRD VIEW

SOUTH STREET VIEW

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APPROVED ARCHITECTURAL & SITE APPLICATION:

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6.1.2021

PROJECT NO. F21.1

SHEET TITLE

RENDERS

2 ALTERNATIVEA PROPOSED

SHEET NO.

A3.2

NOTE: THE GRIDS ARE MULLIONS NOT MURTINS

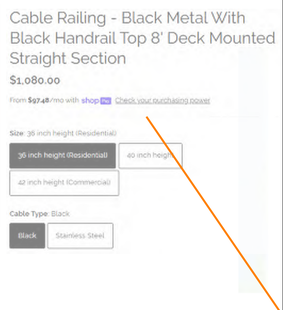
MARVING ALUMINUM WINDOW SYSTEM & REAR PATION BIFOLD ALUMINUM DOOR

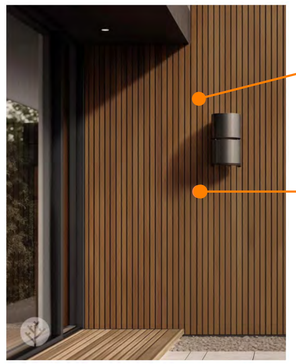
ALUMINUM THERMAL BREAK FRAME Double layer tempered glass 5mm Low-E glass +27A argon gas+5mm clear glass	
ENERGY PERFORMANCE RATINGS	
U-Factor 0.26 (US /I-P)	Solar Heat Gain Coefficient 0.32
ADDITIONAL PERFORMANCE RATINGS	
Visible Transmittance 0.35	Air Leakage 0.2
Condensation Resistance 51	–

1. SIZE:144*96 inch (3658*2438mm)
2. Item: 75series thermal break aluminum folding door
3. Aluminum thickness: 2.0mm
4. Color: MATT black color powder coated
5. Glass: 5mm Lowe outside+27Argon gas+5mm, double tempered clear glass
6. Hardware: LSMA brand Multipoint lock, Black color
7. Tracks: low tracks
8. Without mesh and frame cover
9. Design: 1L3R, outswing

Sketch Map

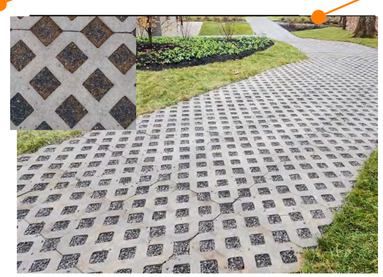
REAR BALCONY'S RAILING



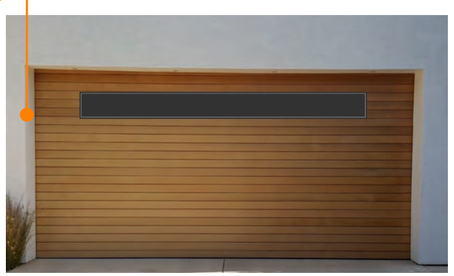


SLATPANEL OAK EXTERIOR COMPOSITE
WOOD EFFECT WALL PANELS

ENTRY DOOR
STAIN WOOD WITH METAL FRAME



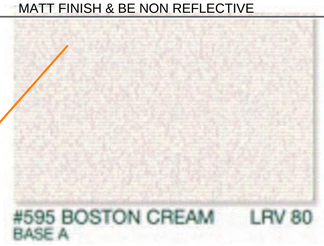
PAVERS WITH GRASS
TURFSTONE WITH DECORATIVE GRAVEL



GARAGE DOOR- COLPAY
CANYON RIDGE: COLLECTION MODERN SERIES

ENTRY PAVER- TECHO-BLOC

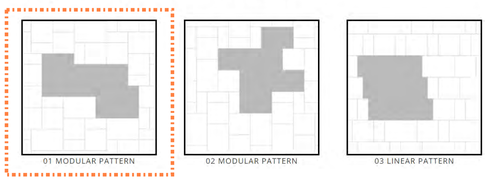
STANDING SEAM METAL ROOFING
CLASSIC METAL ROOFING SYSTEM
MATT FINISH & BE NON REFLECTIVE



SMOOTH WHITE STUCCO

SMOOTH GRAY STUCCO

Layout possibilities



Color variation chart

ENTRY PAVER- TECHO-BLOC
PATERN & COLOR

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728 NEWHALL RD.
BURLINGAME CA 94010

(2) Story New Single Family House

728 NEWHALL RD, BULINGAME, CA 94010

APPROVED ARCHITECTURAL & SITE APPLICATION:

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2	07/31/2025	PLANNING

6.1.2021

PROJECT NO. F21.1

SHEET TITLE
MATERIAL BOARD

SHEET NO.
A3.3

GRADING AND DRAINAGE PLANS

NEW SINGLE FAMILY HOUSE

728 NEWHALL DR., BURLINGAME, CA 94010

APN: 028-142-310

ABBREVIATIONS

	DESCRIPTION		DESCRIPTION
AB	AGGREGATE BASE	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MON	MONUMENT
BC	BACK OF CURB	(N)	NEW
BFL	BACKFLOW PREVENTOR	OG	ORIGINAL GROUND
BW	BOTTOM OF WALL	PB	PULL BOX
C&G	CURB AND GUTTER	PGEV	PG&E VAULT
℄,C/L	CENTERLINE	R/P/L	PROPERTY LINE
CLSW	CENTERLINE SWALE	PP	POWER POLE
CO	CLEANOUT	PPP	PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE	PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R/W	RIGHT OF WAY
DTL	DETAIL	RCP	REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD	STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDMH	STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD	STANDARD
(E),EX	EXISTING	SS	SANITARY SEWER
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TF	TOP OF FOUNDATION
FNC	FENCE	TG	TOP OF GRATE
FOC	FACE OF CURB	TOD	TOP OF DECK
GB	GRADE BREAK	TOS	TOP OF SLAB
GUY	GUY WIRE	TP	TOP OF PAVEMENT
HP	HIGH POINT	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	(TYP)	TYPICAL
INV	INVERT	VCP	VITRIFIED CLAY PIPE
JP	JOINT POLE	WL	WHITE LINE STRIPE
JB	JUNCTION BOX (UTILITY)	WLK	WALKWAY
		WM	WATER METER
		WV	WATER VALVE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUD	SUD	SUBDRAIN PIPE (PERFORATED)
OH e,T,TV	OH e,T,TV	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH (UNDERGROUND)
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		SURVEY CITY MONUMENT
		ELECTROLIER
WM	WM	WATER METER
		TREE WITH TRUNK
x x x	x x x	6' WOODEN FENCE
x102.23	102.23	SPOT ELEVATION
		TREE PROTECTION FENCE 5' TALL CHAIN LINK
		EARTHSWALE
		CONCRETE SWALE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE 1% MIN. FROM PROPERTY LINE TO SWALE
		(E) TREE TO BE REMOVE
		ROOF DOWN-SPOUT, CONNECTED TO STORM DRAIN SYSTEM

PUBLIC WORKS CONDITIONS:

1. Any work in the City right-of-way, such as street, sidewalk area, public easements, utility easements, or use of the right-of-way such as placement of debris box or construction parking is required to obtain an Encroachment Permit prior to starting work. For requirements related to issuance of an Encroachment Permit, visit: https://www.burlingame.org/departments/public_works/encroachment_permit.php Work without the benefit of an encroachment permit will be charged double the permit fee.
2. All work within City right-of-way shall comply with City Standards and Details. Standard Details are available at: https://www.burlingame.org/departments/public_works/city_standard_details.php.
3. Public Works construction hours in the right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m. This includes construction hauling. If applicant/contractor wishes to work beyond the normal construction hours, a waiver of working hour form may be submitted to the Public Works Department ten (10) working days in advance for review and approval by Public Works and Building Department.
4. For projects in the Burlingame Plaza, Broadway, and Burlingame downtown districts; construction in the public right-of-way is prohibited during the Holiday Shopping Moratorium period, from first Saturday of November through the first Saturday after New Year's Day.
5. For downtown Burlingame Avenue projects, per City of Burlingame Municipal Code 12.05, any work within the public right-of-way shall require approval from the Public Works Department and shall comply with the following special conditions, specifications, details, and construction moratorium.
6. For Projects facing El Camino Real: Any work in the Caltran's right-of-way, such as street and sidewalk area is required to obtain an Encroachment Permit from Caltran prior to starting work. It is the applicant's responsibility to obtain all required permits.
7. No structure shall be built into City's right-of-way, this includes all existing and overhang projections. On Paloma Avenue, this measurement is twelve feet (12') measured from face of curb.
8. FOR NEW SINGLE FAMILY OR SUBSTANTIAL REMODELS (GREATER THAN 50% REMODEL/ADDITION): Show on the site plan – (1) Replacement of ALL curb, gutter, driveway and sidewalk fronting site, (2) plug all existing sanitary sewer lateral connections and install a new [4" or 6"] lateral to sewer main including wye, (3) new water service to water meter, and when applicable, (4) water lines above 2"and all fire services of any size are to be installed by applicant and per city standard procedures and specification.

Confirm with applicant: If the location of the new sewer lateral and/or water service is at a new location:
- All abandoned sewer laterals shall have wyes or saddles removed off the main and replace with new straight section.
- All abandoned existing water services, 2-inch or below, shall be cut and cap at the existing main connection and disconnect at service saddle. Abandon valve where applicable.
- All abandoned existing water services, greater than 2", shall have tees removed at main and replaced with straight pipe per City standards and details.

9. Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 1710. The Sewer Backwater Protection Certificate is required prior to the issuance of Building Permit and the backwater device must be placed on private property.
10. For remodel projects (less than 50% remodel) All damaged and displaced curb, gutter, sidewalk, and driveway approach fronting site must be replaced prior to final of Building Permit. A pre-inspection by Public Works of the condition of the sidewalk is recommended, but not required. However, if a pre-inspection is not conducted, the applicant/contractor waives the right to contest the limits of the repairs caused by the construction activities.
11. Front landscape (hardscape) improvements that are not shown on the plans, this will be subject to a Public Works inspection prior to building permit final to confirm that no encroachments exist beyond the property line.
12. If applicable, for large developments (4-units or more), or improvements in downtown area: Contractor shall coordinate a meeting with the City Public Works Engineering Inspector 48 hours prior to initiation of the site work. The purpose is to discuss and clearly understand the following:
a. Plan of work within City's right of way, including, but not limited to, hours of work, deliveries, traffic control and/or pedestrian access within public right of way, sidewalk issues, parking, storage, loading of materials, repair of damaged public facilities such as sidewalk, road pavement, etc., and coordination with City projects within the vicinity.
b. Contractor shall provide field contact names and numbers of responsible field personnel.
13. The project shall comply with the City's NPDES permit requirements to prevent storm water pollution. All construction work shall be done in accordance with the most current APWA-AGC Standard Specifications for Public Works Construction, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook, and the City of Burlingame Stormwater Management and Discharge Control Ordinance (Municipal Code Chapter 15.14). A copy of the Stormwater Construction Best Management Practices can be found at http://www.flowstobay.org/brochures. Upon completion of the work, all stormwater protection measures shall be entirely removed and the right-of-way shall be left in as presentable a condition as existed before work started. Please be aware that during winter months (October 15th to April 15th) applicant/contractor are responsible to remove projects stormwater inlet protection device(s) (sandbags/filters/etc.) in the public right-of-way to prevent flooding during rain events, and reinstall devices once the rain event ends. All private property stormwater protection measures must be protected and repaired after each rain event.
14. Per Municipal code section 18.08.090, no storm water or underground water draining from any lot, building, or paved area shall be allowed to drain to adjacent properties nor shall this water be connected to the city's sanitary sewer system. Regardless of the slope of the source property, such water shall drain to either artificial or natural storm drainage facilities by gravity or pumping.
15. All water lines connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the City's Water Department for connection fees. Domestic Water Services 2" and over shall be installed by builder.
16. If required, all fire services shall be installed by builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
17. All debris/garbage containers location shall be on property. No wet garbage fluid shall enter public right-of-way or the storm drain system.
18. Porta potty's must be placed on private property and are not allowed in the public right-of-way.
19. It is the responsibility of the owner and/or contractor to notify Underground Service Alert (USA) at least 48 hours before the start of any excavation work.

EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
MAIN HOUSE	0	164		
A.D.U.	0	21		
GARAGE	4	16		
DRIVEWAY	2	29		
PORCH/WKY	6	0		
SITE	0	12		
TOTAL	12	242	0	230

NOTE:

1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.

LOCATION MAP
N.T.S.

BASIS OF BEARINGS:

THE BEARING N 37°21'09" W OF NORTHERLY LINE OF NEWHALL RD., AS SHOWN ON CERTAIN RECORD OF SURVEY MAP, FILED FOR RECORD IN BOOK 19 OF L.L.S. MAPS AT PAGE 35, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

PROJECT BENCHMARK:

REFERENCED TOWN OF HILLSBOROUGH BM:
BM# 126. EL: 54.721' (NAVD88)

GEOTECHNICAL NOTES:

1. For compacted fill material and placement specifications see"GRADING " section , pages 7 and 8, of project Geotechnical report,(file no. SV1303), dated September 23,2014 by Silicon Valley Soils Engineering.
2. Provide special inspection for compacted fill.

UTILITY NOTES:

1. UTILITY POINTS OF CONNECTION ARE 5' OUTSIDE OF BUILDING. SEE MECHANICAL AND PLUMBING DRAWINGS FOR UTILITY CONNECTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD. ALL CONTRACTORS SHALL CALL U.S.A. (1-800-227-2600) 48 HOURS BEFORE DIGGING AND OBTAIN AN IDENTIFICATION NUMBER.
3. COORDINATE UTILITIES SHOWN ON THESE SHEETS WITH INSTALLATION OF ELECTRICAL, TELEPHONE, CABLE TV AND GAS.
4. COORDINATE WATER LINE CONNECTION WITH CITY WATER COMPANY PRIOR TO CONNECTION TO WATER SYSTEM.
5. FOR GAS AND ELECTRICAL LOCATIONS, SEE PG&E MAPS.
6. ALL UTILITY TRENCHES SHOULD BE BACKFILLED WITH COMPACTED FILL IN ACCORDANCE WITH LOCAL REQUIREMENTS OR THE RECOMMENDATIONS IN THE SOILS REPORT. FILL MATERIAL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS AND SHOULD BE COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION (ASTM D-1557, LATEST EDITION) BY MECHANICAL MEANS ONLY, EXCEPT WHERE LOCAL REQUIREMENTS SPECIFY HIGHER REQUIREMENTS. IF IMPORTED SAND IS USED AS BACKFILL, THE UPPER THREE FEET IN BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO 95 PERCENT. THE UPPER 6 INCHES OF BACKFILL IN ALL PAVEMENT AREAS SHALL BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION.
7. SANITARY SEWER PIPE SHALL BE PVC SDR26 FOR ON SITE LINES. STORM DRAIN PIPE SHALL BE 12" REINFORCED CONCRETE PIPE (UNLESS OTHERWISE SHOWN).
8. SANITARY SEWER LATERAL SHALL BE 4" PVC AT MINIMUM SLOPE OF 0.02 WITH CLEANOUT.
9. WATER MAINS, SERVICES, METERS, FIRE SERVICES AND FIRE HYDRANTS BY CITY WATER COMPANY.
10. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL INSTALLATIONS INSPECTED AND APPROVED BY THE RESPECTIVE UTILITY COMPANY, MUNICIPALITY, OR SOILS ENGINEER PRIOR TO ANY BACK FILLING. (48 HOUR NOTICE).
11. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACK FILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE RESPECTIVE UTILITY AGENCIES, ALLOWING 48 HOURS PRIOR TO THE NEED FOR INSTALLATIONS.
13. ALL TRENCHES, CONDUITS, AND BOXES ARE SHOWN SCHEMATICALLY.
14. CONTRACTOR TO VERIFY ALL INVERTS AND LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION.

INDEX OF DRAWINGS

GRADING AND DRAINAGE NOTES:

1. SURFACE WATER SHALL BE DIRECTED AWAY FROM ALL BUILDINGS INTO DRAINAGE SWALES, GUTTERS, STORM DRAIN INLETS AND DRAINAGE SYSTEMS.
2. ALL ROOF DOWNSPOUTS SHALLI BE DISCONNECTED TO ON SITE INLETS.
3. ON SITE STORM DRAIN LINES SHALL CONSIST OF SOLID PVC-SDR35 MINIMUM OR BETTER.
4. STORM DRAIN INLETS SHALL BE PRECAST CONCRETE, CHRISTY U23 TYPE OR EQUIVALENT.

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

NOTE:

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

GEOTECHNICAL REVIEW:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL/ SOILS ENGINEER. GEOTECHNICAL/ SOILS ENGINEER TO PROVIDE AND FURNISH LETTER OF APPROVAL TO CITY.

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDER-GROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

1-800-227-2600 CALL BEFORE YOU DIG UNDERGROUND SERVICE ALERT 1-800-227-2600

SMP ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

COVER SHEET
NEW SINGLE FAMILY HOUSE
728 NEWHALL DR., BURLINGAME, CA 94010
APN: 028-142-310
GRADING AND DRAINAGE PLANS

Revisions:
2 07/31/2025 PLANNING

REGISTERED PROFESSIONAL ENGINEER SAEID RAZAVI No. C52724 CIVIL STATE OF CALIFORNIA

Saeid Razavi

Date: 05/27/2025
Scale: AS SHOWN
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 225049

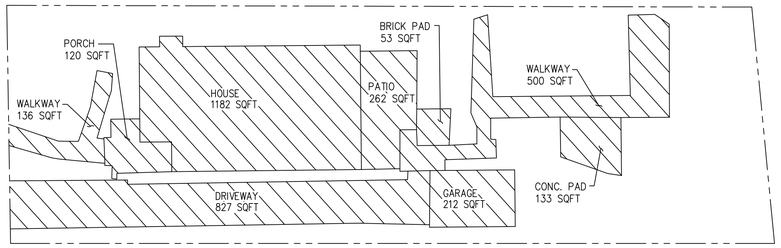
Sheet: 1 OF 5
C-1

NOTE:

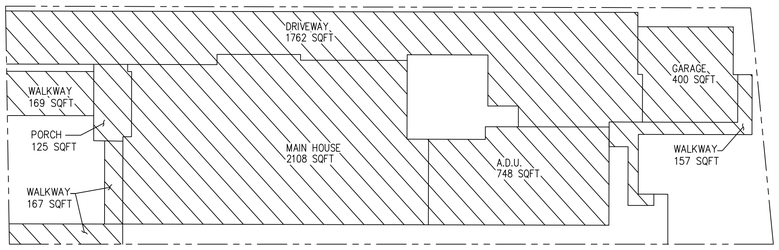
1. Any work in the City right-of-way, such as placement of debris bin in street, construction parking, work in sidewalk area, public easements, and utility easements, is required to obtain an Encroachment Permit prior to starting work. Porta potty's are not allowed to be placed in the City right-of-way. Work without the benefit of an Encroachment Permit will be double the permit fee.
2. Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m. for all activities (including hauling).
3. All water lines connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the city Water department for connection fees. If required, all fire services and services 2" and over will be installed by builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
4. Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 1710. The Sewer Backwater Protection Certificate is required prior to the issuance of Building Permit.

NOTE:

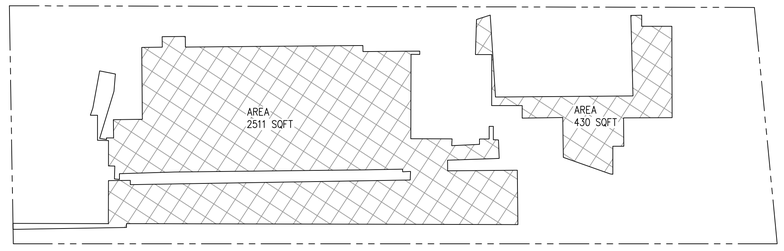
CONTRACTOR SHOULD VERIFY LOCATION OF SEWER LATERAL AND EASEMENT.



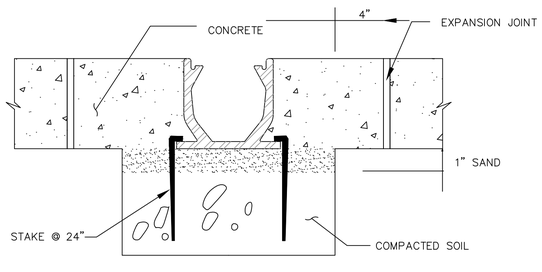
EXISTING IMPERVIOUS AREA
TOTAL = 4106 SQFT

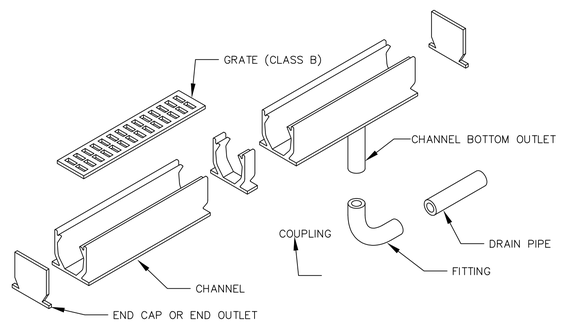


PROPOSED IMPERVIOUS AREA
TOTAL = 5636 SQFT

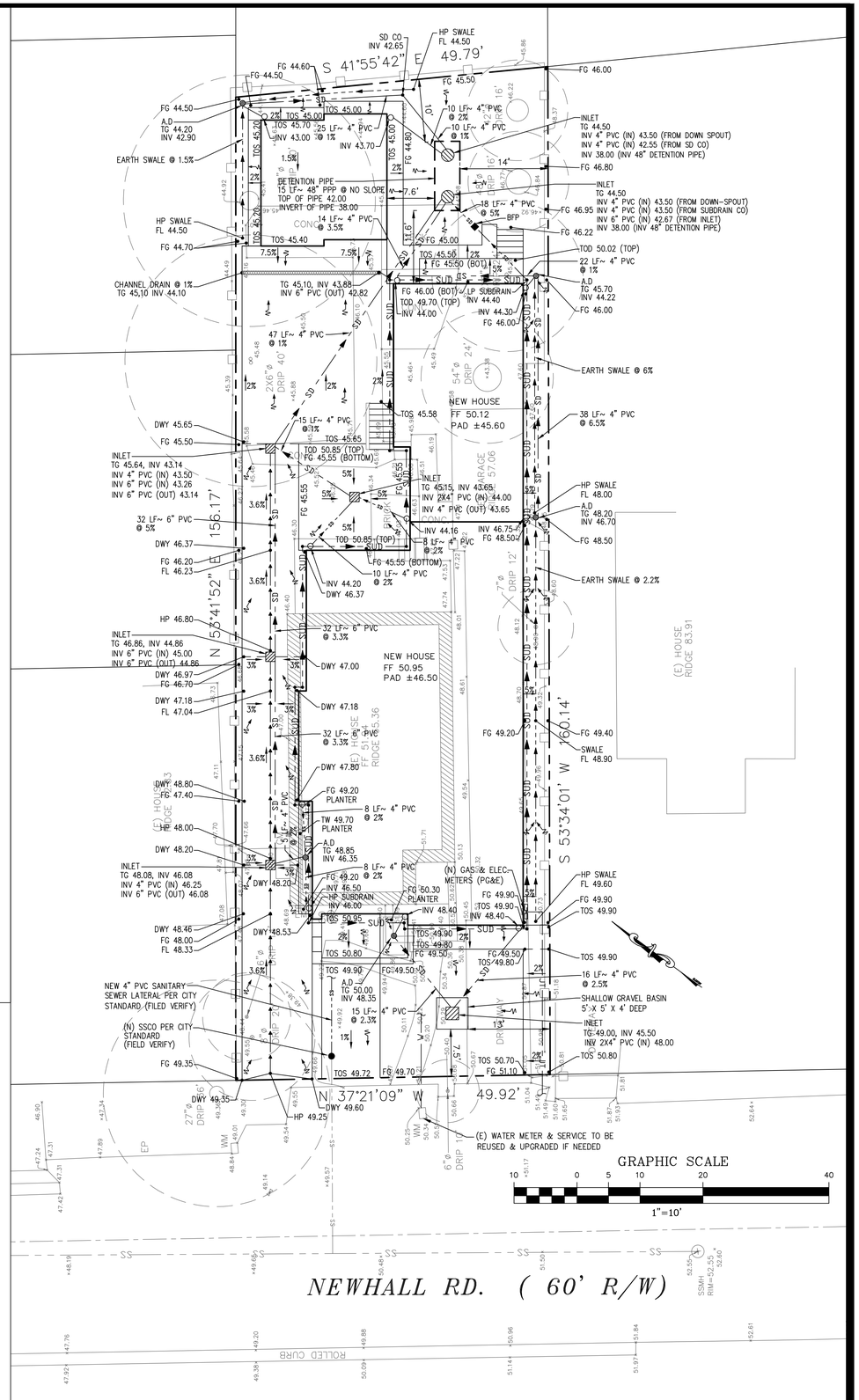


EXISTING IMPERVIOUS AREA TO BE
REPLACED WITH NEW IMPERVIOUS AREA
TOTAL = 2941 SQFT





CHANNEL DRAIN TYPICAL DETAIL
N.T.S.



SMP
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CIVIL ENGINEERS
LAND SURVEYORS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

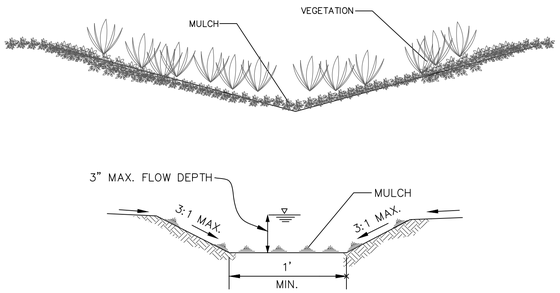
GRADING AND DRAINAGE PLAN/ IMPROVEMENT AREA
NEW SINGLE FAMILY HOUSE
728 NEWHALL DR., BURLINGAME, CA 94010
APN: 028-142-310
GRADING AND DRAINAGE PLANS

Revisions:
2 07/31/2025 PLANNING

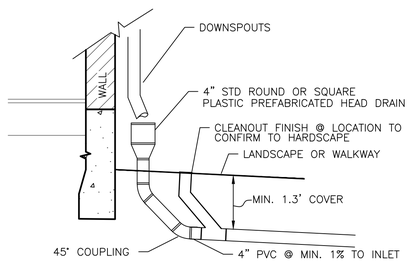
REGISTERED PROFESSIONAL ENGINEER
SAEID RAZAVI
No. C52724
CIVIL
STATE OF CALIFORNIA

Date: 05/27/2025
Scale: 1"=10'
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 225049

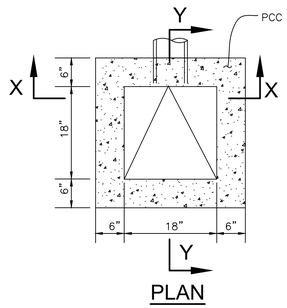
Sheet: 2 OF 5
C-2

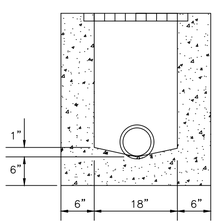


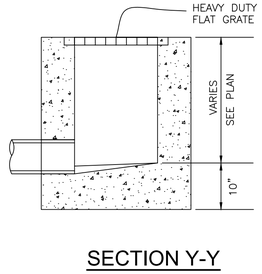
EARTH SWALE DETAIL
N.T.S.



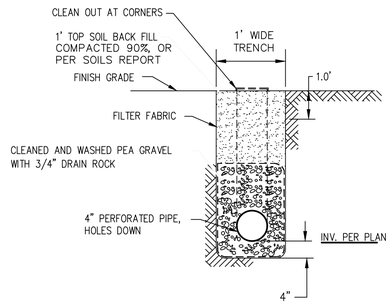
ROOF DOWN-SPOUT CONNECTION
NTS







STORM DRAIN INLET
N.T.S.

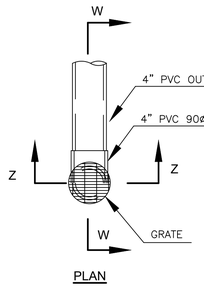


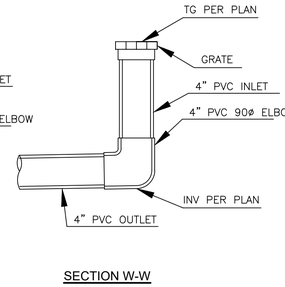
SUBDRAIN TRENCH DETAIL
N.T.S.

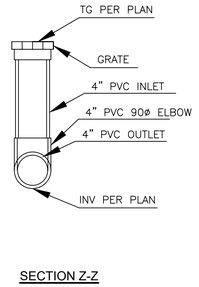
ELEVATION VIEW

STORM DRAIN CLEANOUT DETAIL
N.T.S.

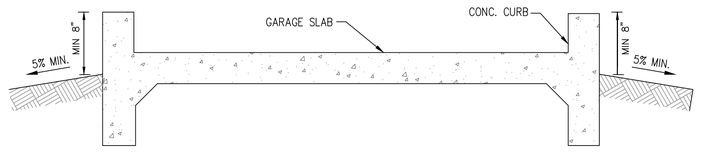
SHALLOW GRAVEL BASIN
ELEVATION VIEW– NTS



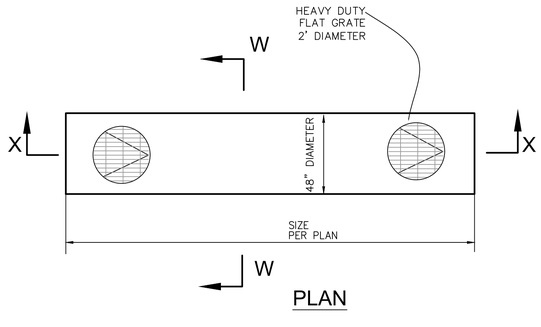


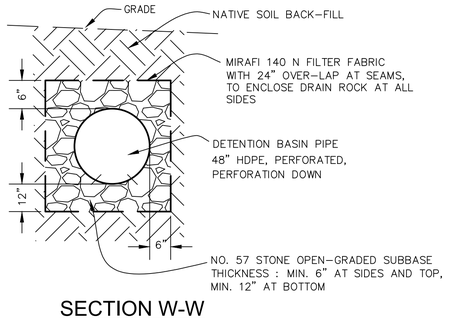


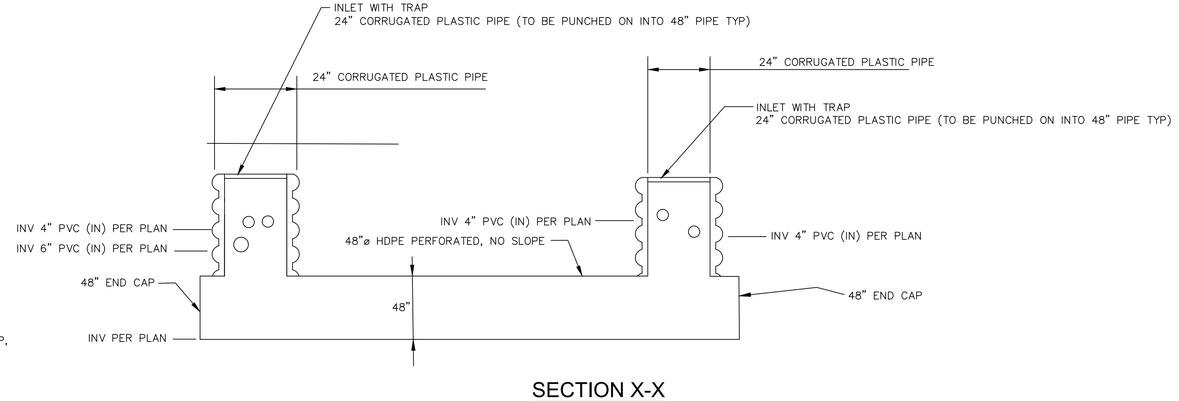
STORM DRAIN AREA DRAIN
NTS



CURB AND GARAGE SLAB DETAIL
NTS







STORM DRAIN INLET & DETENTION PIPE
N.T.S.

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LAND SURVEYORS

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LOS ALTOS, CA 94024
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OWNER / DEVELOPER:

NOTES/ DETAILS
NEW SINGLE FAMILY HOUSE
728 NEWHALL DR., BURLINGAME, CA 94010
APN: 028-142-310
GRADING AND DRAINAGE PLANS

Revisions:
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REGISTERED PROFESSIONAL ENGINEER
SAEID RAZAVI
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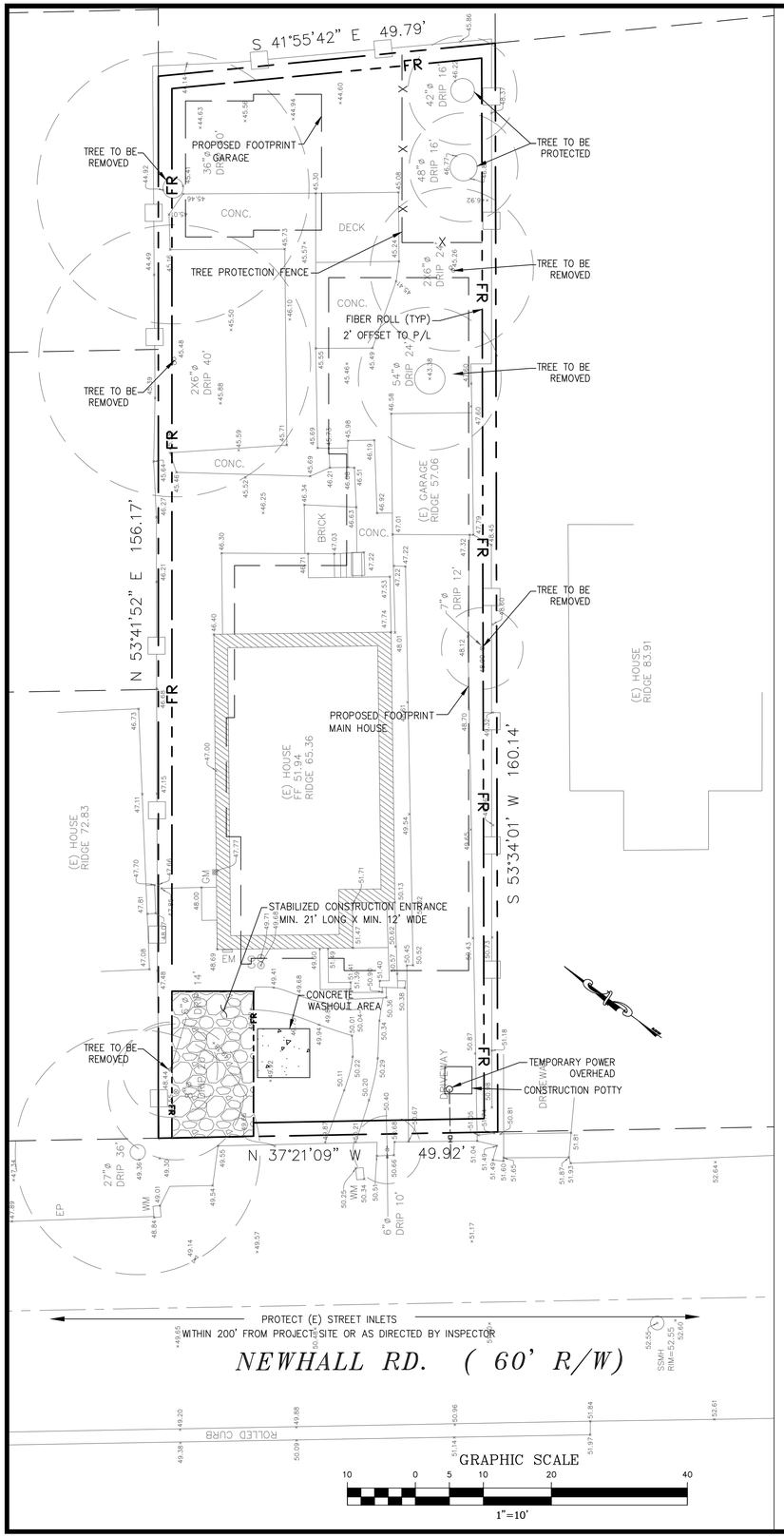
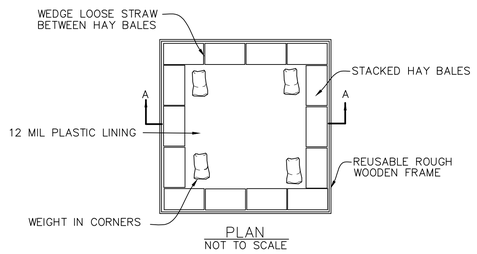
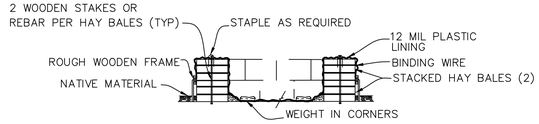
Scale: AS SHOWN
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 225049

Sheet: 3 OF 5
C-3





PLAN
NOT TO SCALE

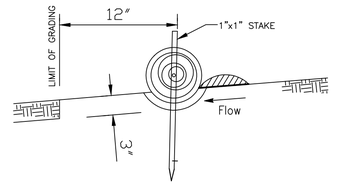


SECTION A-A
NOT TO SCALE

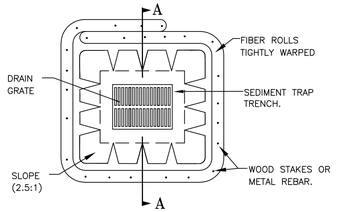
CONCRETE WASHOUT AREA
N.T.S.

Maintenance
– The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights–of–way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
– All sediment spilled, dropped, washed, or tracked onto public rights–of–way shall be removed immediately.
– When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights–of–way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

STABILIZED CONSTRUCTION ENTRANCE
(TO BE MAINTAINED)

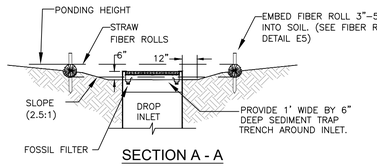


FIBER ROLL
N.T.S.



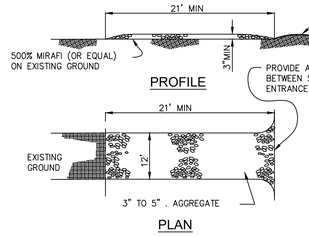
PLAN VIEW

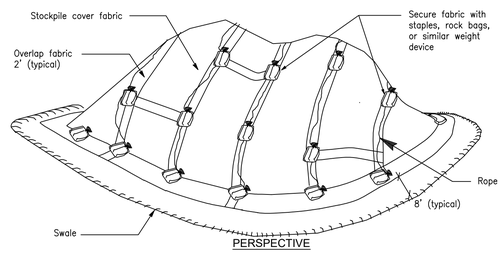
FIBER ROLL NOTES
1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading



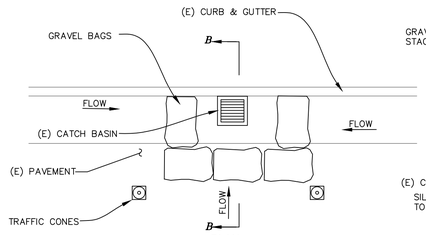
SECTION A - A

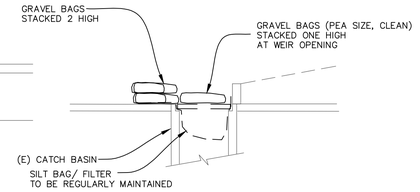
STORM INLET SEDIMENT TRAP-FIBER ROLLS
N.T.S.





TEMPORARY COVER ON STOCK PILE
N.T.S.





EXISTING DRAINAGE INLET PROTECTION
N.T.S.

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES
1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three–step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded Erosion protection for each lot with a house under construction shall confirm to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.
11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls maybe removed after areas above them have been stabilized.

MAINTENANCE NOTES
1. Maintenance is to be performed as follows:
   A. Repair damages caused by soil erosion or construction at the end of each working day.
   B. Swales shall be inspected periodically and maintained as needed.
   C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
   D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
   E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
   F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project , shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

NOTES:
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 –16 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY–PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579–8819.

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LAND SURVEYORS
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OWNER / DEVELOPER:

EROSION CONTROL PLAN
NEW SINGLE FAMILY HOUSE
728 NEWHALL DR., BURLINGAME, CA 94010
APN: 028-142-310
GRADING AND DRAINAGE PLANS

Revisions:
2 07/31/2025 PLANNING

REGISTERED PROFESSIONAL ENGINEER
SAEID RAZAVI
No. C52724
CIVIL
STATE OF CALIFORNIA

Saeid Razavi

Date: 05/27/2025
Scale: AS NOTED
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 225049

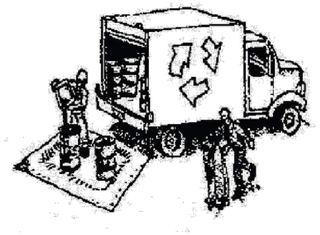
Sheet: 4 OF 5
C-4

SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control

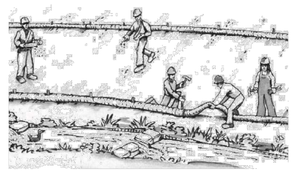
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

Paving/Asphalt Work

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

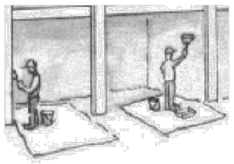
Concrete, Grout & Mortar Application

- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

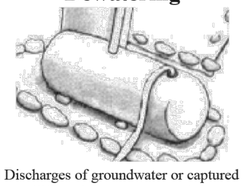
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to $10,000 per day!

SMP ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

CONSTRUCTION BEST MANAGEMENT PRACTICES
NEW SINGLE FAMILY HOUSE
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Sheet: 5 OF 5
C-5

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
	Sod lawn 100% dwarf fescue		high	.7
	Lomandra Baby Breeze @ 18" oc	1 gallon	low	.3
	Juncus patens/ California Rush @ 24" oc	1 gallon	low	.3
	Dianella Little Rev @ 24" oc	1 gallon	low	.3
	Achillea Moonshine/ Yarrow @ 24" oc	1 gallon	low	.3
	Echeveria/ Succulents @ 12" oc	1 gallon	low	.3
	Heuchera/ Coral Bells @ 18" oc	1 gallon	low	.3
	Convallaria majellis/ Lily of the Valley @ 12" oc	4" pot	low	.3
A	Chondropetalum tectorum/ Cape Rush	5 gallon	low	.3
B	Polystichum munitum/ Fern	5 gallon	low	.3
C	Myrica californica/ Wax Myrtle	5 gallon	low	.2
D	Ribes sanguineum/ Red Currant	5 gallon	low	.3
TI	Cercis Forest Pansy/ Redbud	24" box	low	.2

1) Thoroughly prepare soil prior to planting. Break up hardpan and till prior to adding amendments.
2) Incorporate 4 cy of compost per 1000 sf, 6" into native soil.
3) Verify placement of all plant material prior to planting.

4) Protect existing trees to remain per arborist report prepared by Heartwood Consulting Arborists, dated May 22, 2025. This shall include the placement of temporary tree protection fencing and other measures and defined within the report.
5) Any protected tree removal mitigation shall be as defined by the local planning department. Placement of replacement trees on site is limited by space. Two trees (one in front and one in the back) have been specified and can be used towards any required mitigation. If additional tree replacments are required, that will need to be satisfied via and in lieu fee program

6) Spread 3" of wood chip (Prochip Brown Tone, or equal) mulch after planting.
7) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them in the design of the landscape.

LOMANDRA JUNCUS DIANELLA ACHILLEA

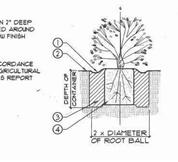
ECHEVERIA HEUCHERA CONVALLARIA CHONDROPETALUM

POLYSTICHUM MYRICA RIBES

CERCIS

NOTES:
1. CROWN OF ROOTBALL TO BE 1/2"-1" ABOVE FINISH GRADE.
2. FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECIFICATIONS.

1. A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE
2. FINISH GRADE
3. BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT
4. ROOTBALL

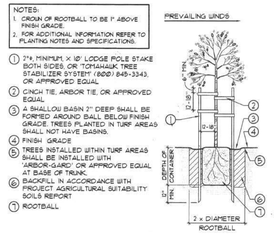


SHRUB PLANTING DETAIL

NOTES:
1. CROWN OF ROOTBALL TO BE 1" ABOVE FINISH GRADE.
2. FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECIFICATIONS.

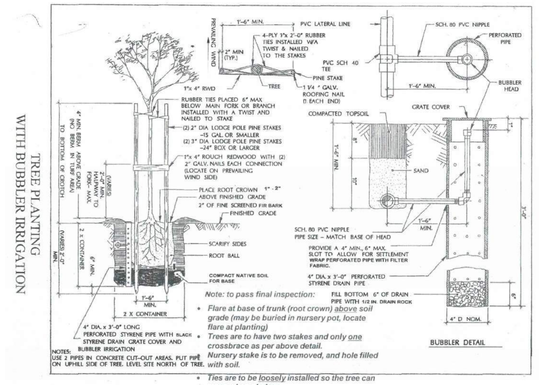
1. 2"ø, MINIMUM, X 10' LODGE POLE STAKE BOTH SIDES, OR TOMAHAWK TREE STABILIZER SYSTEM (800) 845-3343, OR APPROVED EQUAL
2. CINCH TIE, ARBOR TIE, OR APPROVED EQUAL
3. A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND BALL BELOW FINISH GRADE. TREES PLANTED IN TURF AREAS SHALL NOT HAVE BASINS.
4. FINISH GRADE
5. TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GARD' OR APPROVED EQUAL AT BASE OF TRUNK.
6. BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT
7. ROOTBALL

PREVAILING WINDS



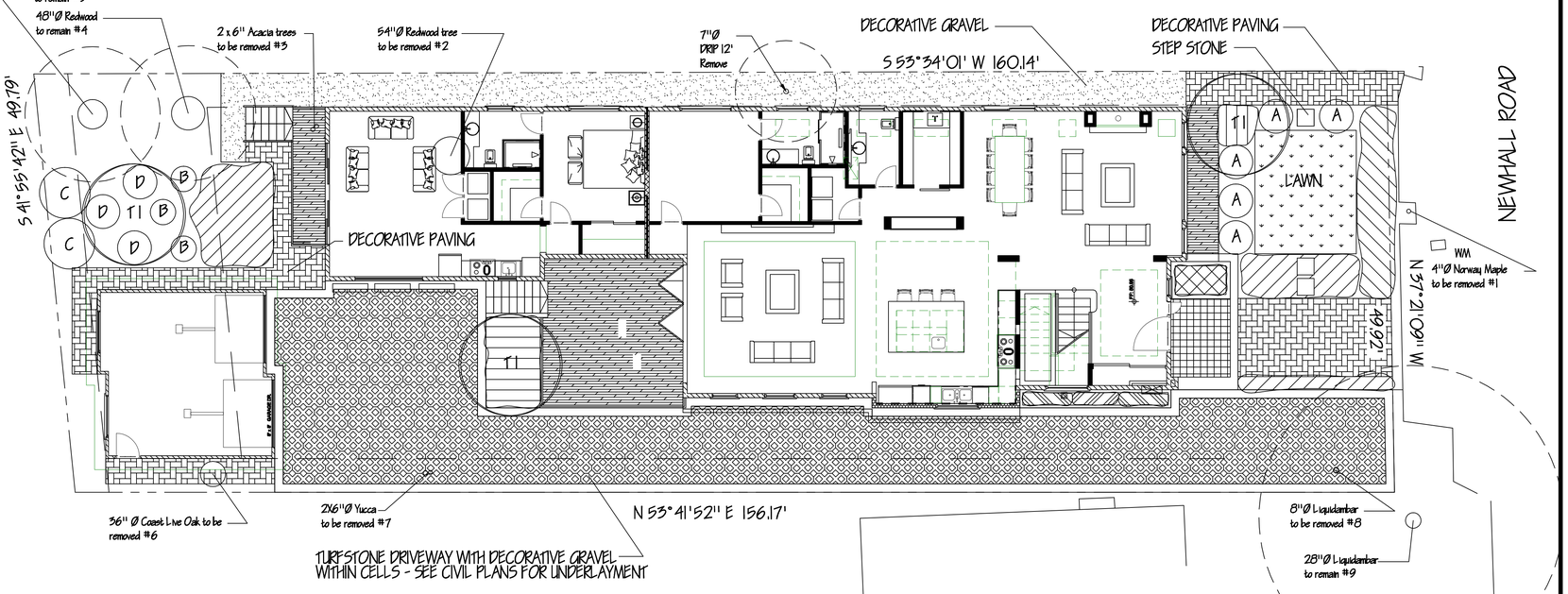
TREE PLANTING DETAIL

TREE PLANTING WITH BUBBLER IRRIGATION



Note: to pass final inspection:
- Flare at base of trunk (root crown) above soil grade (may be buried in nursery pot, locate flare at planting)
- Trees are to have two stakes and only one crossbrace as per above detail.
- Nursery stake is to be removed, and hole filled with soil.
- Ties are to be loosely installed so the tree can move when shaken.

CITY TREE PLANTING DETAIL (TO BE USED UNLESS OTHERWISE DIRECTED)



SEE ARBORIST REPORT PREPARED BY HEARTWOOD CONSULTING ARBORISTS DATED 5/ 22/ 25, FOR COMPLETE TREE PROTECTION AND MITIGATION MEASURES.

MASTER PLANTING PLAN

1/ 8" = 1'-0"

W. Jeffrey Held
Landscape Architect
C-2235

1465 Winzer Place
Gilroy, Ca. 95020
tel 408 691-5207
email wjheldasla@gmail.com

REVISED 4/ 3/ 25
REVISED 5/ 27/ 25

2	07/31/2025	PLANNING

REGISTERED LANDSCAPE ARCHITECT No. 2235 Signature EXPIRATION DATE: 08/30/2025 STATE OF CALIFORNIA

IZADDOOST/ DELPAZIRIAN RESIDENCE
for:
MEHDI IZADDOOST AND AMIR DELPAZIRIAN
728 NEWHALL ROAD
BURLINGAME, CA. 94010

MASTER PLANTING PLAN

date: 4/ 1/ 25
scale: NOTED
drawn by: WJH
job no. 202512
sheet L 1
of shts

California Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET_o)		42.8	Project Type		Residential		0.55
Hydrozone # / Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[d]
Regular Landscape Areas							
#1 high water lawn	0.7	Overhead	0.75	0.93	175	163	4334
#2 low water	0.3	Drip	0.81	0.37	350	130	3440
#3 low water	0.3	Drip	0.81	0.37	25	9	246
#4 low water	0.3	Drip	0.81	0.37	70	26	688
#5 low water	0.3	Drip	0.81	0.37	335	124	3292
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
				Totals	955	452	12000
Special Landscape Areas							
	[redacted]			1		0	0
				1		0	0
				1		0	0
				1		0	0
				Totals	0	0	0
						ETWU Total	12000
						Maximum Allowed Water Allowance (MAWA)[e]	13938

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	452
Total Area	955
Average ETAF	0.47

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	452
Total Area	955
Average ETAF	0.47

[a] Hydrozone # / Planting Description e.g.
1.) Front lawn
2.) Low water use planting
3.) Medium water use planting

[b] Irrigation Method
1.) Overhead Spray
2.) Drip

[c] Irrigation Efficiency
1.) 0.75 for Overhead Spray
2.) 0.81 for Drip

[d] ETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year

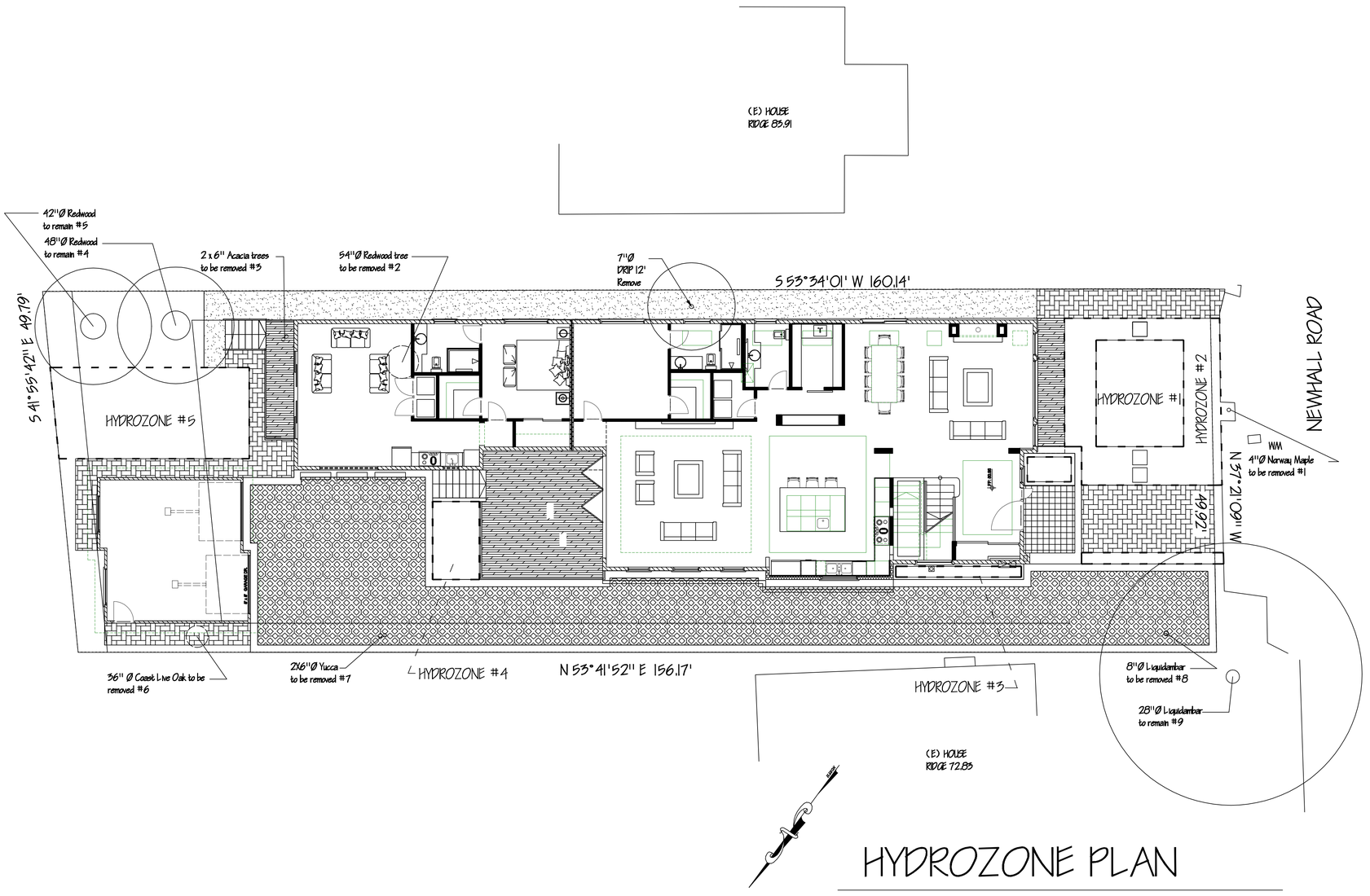
[e] MAWA (Annual Gallons Allowed) =
(Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year, LA is the total regular landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas

0.45	Non-Residential
0.55	Residential
0.81	Drip
0.75	Overhead

HYDROZONE LEGEND

Hydrozone #1: 175 sf/ high water lawn
Hydrozone #2: 350 sf/ low water
Hydrozone #3: 25 sf/ low water
Hydrozone #4: 70 sf/ low water
Hydrozone #5: 335 sf/ low water

Total: 955 sf



HYDROZONE PLAN

1/8" = 1'-0"

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REVISED 4/3/25
REVISED 5/27/25

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REGISTERED LANDSCAPE ARCHITECT
No. 2235
Signature
EXPIRATION DATE: 06/30/2025
STATE OF CALIFORNIA

IZADDOOST/ DELPAZIRIAN RESIDENCE

for:
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HYDROZONE PLAN

date: 4/1/25
scale: NOTED
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IRRIGATION LEGEND

C — Rainbird ESP weather based controller with rain sensor - verify placement in garage - run control wires from controller to irrigation main within schedule 80 conduit

1" brass shut off valve

Febco #825Y 1" reduced pressure backflow preventer with lockable cover - verify location point of connection and install per manufacturers specifications

1" schedule 40 pvc mainline - min. depth 18"

Rainbird PEB series control valves with in line pressure reducer set to 35 psi and Y filter

Schedule 40 pvc lateral lines - min. depth 12"

Schedule 40 pvc sleeving - verify placement under patio and walks

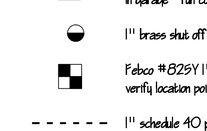
Rainbird Xerbug 1 gph pressure compensating emitters set on $\frac{1}{2}$" drip line (2 emitters to each 1 gallon plan, 3 to each 5 gallon and 4 for larger) locate at opposite sides of the rootball install flush end valve at the end of each drip line run

Hunter MP Rotator with 6" pop up

1) Verify water source and placement of backflow preventer.
2) Verify site water pressure at 65 psi - notify architect prior to construction if found to be different.
3) Verify electrical source and placement of controller.
4) Verify operation of system before backfilling trenches. Drip line to be secured to grade with stakes and covered with final mulch.
5) System layout is diagrammatic, actual field conditions will dictate final layout, addition of drip line, etc.
6) Verify control wire placement and operation of valves.
7) Verify placement of rain sensor in field.
8) Contractor shall be responsible for setting and monitoring irrigation system to apply adequate water for establishment, but to eliminate runoff and soil saturation.
9) Contractor to submit maintenance and irrigation schedule to owner at completion of installation and maintenance/ warrantee period.
10) Contractor shall verify location of all underground utilities prior to any trenching or excavation.
11) Verify and coordinate installation of sleeving and/ or mainline and lateral lines access under all pavement.
12) Contractor shall provide all necessary safety precautions throughout construction. This shall include signage and barriers.

TREE PROTECTION

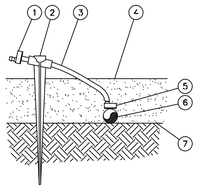
1) See arborist report prepared by Heartwood Consulting Arborists, dated May 22, 2025 for specific directions regarding trenching and location of the irrigation mainline. Placement of the mainline near two Redwood trees at the rear yard, shall be approved in the field by the project arborist or landscape architect. Trenching shall be done by hand. Cutting tree roots shall be avoided unless approved by the project arborist.



1) SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER:
2) RAIN BIRD XERI-BUG EMITTER
5/8" POLYETHYLENE TUBING:
RAIN BIRD XF SERIES TUBING OR
RAIN BIRD XT-700 XERI-TUBE OR
3) RAIN BIRD XBS BLACK STRIPE TUBING
FINISH GRADE

NOTES:
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO $\frac{1}{2}$" POLYETHYLENE TUBING.
2. RAIN BIRD XERI-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
XB-05PC 0.5 GPH XB-10PC 1.0 GPH XB-20PC 2.0 GPH

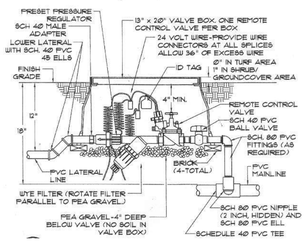
A XERI-BUG INTO 1/2-INCH TUBING — OPTION 1 — N.T.S. — 1-14-10



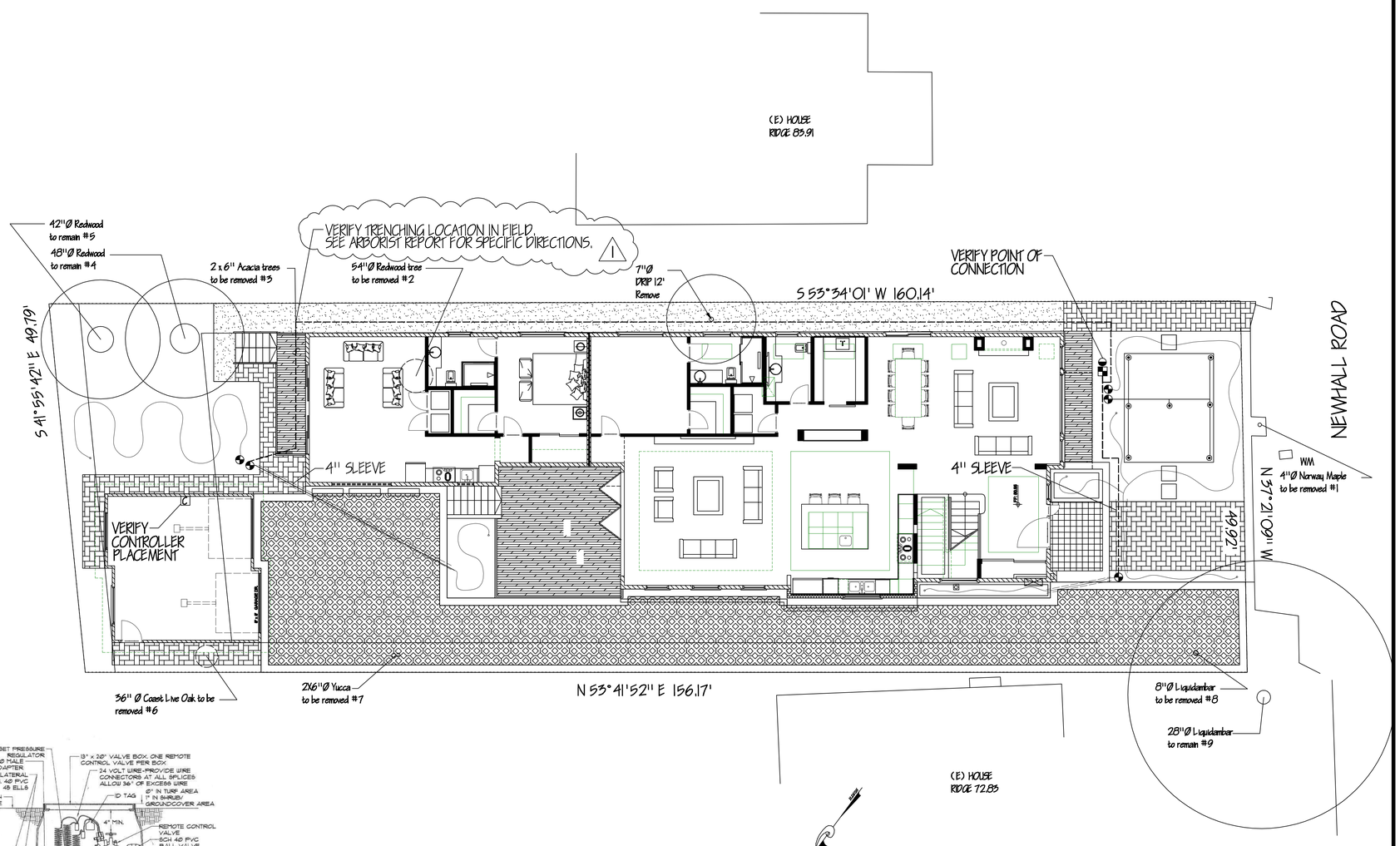
1) SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER: RAIN BIRD XERI-BUG EMITTER
2) UNIVERSAL ¼" TUBING STAKE: RAIN BIRD TS-025
3) ½" DISTRIBUTION TUBING: RAIN BIRD XD TUBING (LENGTH AS REQUIRED)
4) TOP OF MULCH
5) ½" SELF-PIERCING BARB CONNECTOR: RAIN BIRD SPB-025
6) ½" POLYETHYLENE TUBING: RAIN BIRD XF SERIES TUBING OR RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE
7) TUBING FINISH GRADE

NOTES:
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT BARB CONNECTOR DIRECTLY INTO ½" POLYETHYLENE TUBING.
2. SHOULD THE EMITTER BECOME DISLODGED UNREGULATED FLOW WILL OCCUR.
3. RAIN BIRD XERI-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
XB-05PC 0.5 GPH XB-10PC 1.0 GPH XB-20PC 2.0 GPH

B BARB CONNECTOR INTO 1/2" TUBING WITH 1/4" TUBING, STAKE AND XERI-BUG — OPTION 3 — N.T.S. — 1-18-10



C CONTROL VALVE DETAIL



IRRIGATION PLAN

1/8" = 1'-0"

W. Jeffrey Held
Landscape Architect
C-2235

1465 Winzer Place
Gilroy, Ca. 95020
tel 408 691-5207
email wjheldasla@gmail.com

REVISED 5/27/25

1

2 07/31/2025 PLANNING

REGISTERED LANDSCAPE ARCHITECT — No. 2235 — Signature — EXPIRATION DATE: 06/30/2025 — STATE OF CALIFORNIA

IZADDOOST/ DELPAZIRIAN RESIDENCE

for:

MEHDI IZADDOOST AND
AMIR DELPAZIRIAN
728 NEWHALL ROAD
BURLINGAME, CA. 94010

IRRIGATION PLAN

date: 4/3/25
scale: NOTED
drawn by: WJH
job no. 2025|2
sheet L 3
of shts

HEARTWOOD
CONSULTING ARBORISTS

PROJECT ARBORIST
MATTHEW FRIED - ISA NO. MA-4851B
matthew@heartwoodarborists.com
650-542-8733

ARBORIST NOTES

TREE INVENTORY DATE: **5/12/2025**

TREE PROTECTION MARKUP BY:
MATTHEW FRIED (ISA NO. MA-4851B)

BASE DRAWING:
Irrigation Plan (Sheet L3)
prepared by Jeffrey Heid,
dated April 3, 2025

REFER TO SHEET T-1.2 FOR TREE PROTECTION REQUIREMENTS

LEGEND

- PROTECTED TREE
- NON-PROTECTED TREE
- TREE (REMOVE)
- TREE PROTECTION FENCE

TREE INVENTORY & ASSESSMENT TABLE

*TRUNK DIAMETERS OF OFFSITE TREES ARE VISUAL ESTIMATES

Tree #	Protected	Preserve / Remove	Species	Trunk dia. (in.)	Health	Structure	Impact Level	Comments
1	Yes	Remove	Norway maple Acer platanoides	4	Poor	Poor	NA	Red/puple cultivar
2	Yes	Remove	Coast redwood Sequoia sempervirens	62	Good	Good	NA	
3	No	Remove	Black acacia Acacia melanoxylon	6, 5, 4, 4, 4	Good	Poor	NA	Stump sprout origin
4	Yes	Preserve	Coast redwood Sequoia sempervirens	50	Good	Good	Low	DBH estimated due to access restrictions
5	Yes	Preserve	Coast redwood Sequoia sempervirens	48	Good	Good	Low	DBH estimated due to access restrictions
6	Yes	Remove	Coast live oak Quercus agrifolia	32	Good	Good	NA	
7	No	Remove	Giant dracaena Cordyline australis	8, 8	Fair	Fair	NA	
8	No	Remove	Sweetgum Liquidambar styraciflua	8	Good	Fair	NA	Codominant at 5 ft
9	Yes	Preserve	Sweetgum Liquidambar styraciflua	28	Good	Poor	Low/ Moderate	Offsite tree topped for overhead lines.

Green Polygon Area
Within the area shown as the green polygon, **mechanical tilling is prohibited**. All vegetation removal and replanting shall be performed by hand, with care taken to avoid disturbing or damaging any roots greater than 2 inches in diameter.

Tree #4 – Irrigation Mainline
Irrigation mainline (yellow) near Tree #4 shall be relocated farther from the tree if feasible, and must be excavated by hand, regardless of final placement, to avoid unnecessary root disturbance.

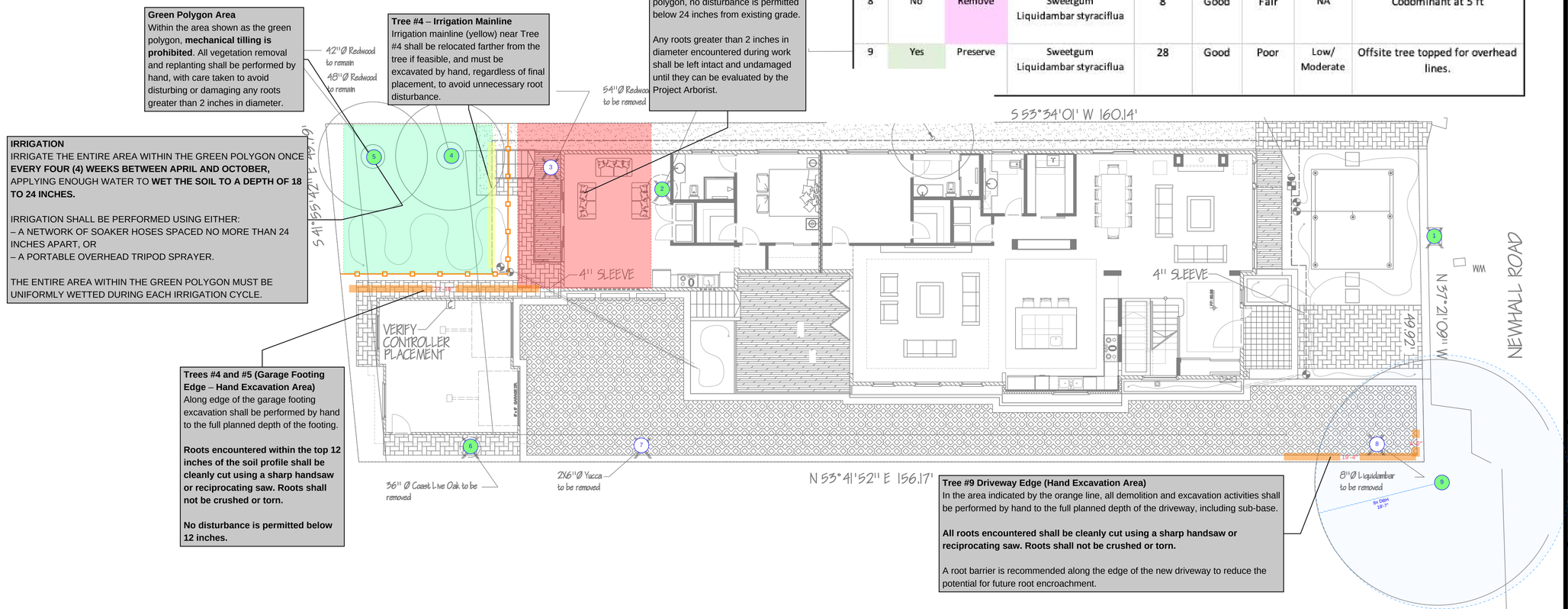
Red Polygon Area
Within the area denoted by the red polygon, no disturbance is permitted below 24 inches from existing grade.

Any roots greater than 2 inches in diameter encountered during work shall be left intact and undamaged until they can be evaluated by the Project Arborist.

IRRIGATION
IRRIGATE THE ENTIRE AREA WITHIN THE GREEN POLYGON ONCE **EVERY FOUR (4) WEEKS BETWEEN APRIL AND OCTOBER,** APPLYING ENOUGH WATER TO **WET THE SOIL TO A DEPTH OF 18 TO 24 INCHES.**

IRRIGATION SHALL BE PERFORMED USING EITHER:
– A NETWORK OF SOAKER HOSES SPACED NO MORE THAN 24 INCHES APART, OR
– A PORTABLE OVERHEAD TRIPOD SPRAYER.

THE ENTIRE AREA WITHIN THE GREEN POLYGON MUST BE UNIFORMLY WETTED DURING EACH IRRIGATION CYCLE.



Trees #4 and #5 (Garage Footing Edge – Hand Excavation Area)
Along edge of the garage footing excavation shall be performed by hand to the full planned depth of the footing.

Roots encountered within the top 12 inches of the soil profile shall be cleanly cut using a sharp handsaw or reciprocating saw. Roots shall not be crushed or torn.

No disturbance is permitted below 12 inches.

Tree #9 Driveway Edge (Hand Excavation Area)
In the area indicated by the orange line, all demolition and excavation activities shall be performed by hand to the full planned depth of the driveway, including sub-base.

All roots encountered shall be cleanly cut using a sharp handsaw or reciprocating saw. Roots shall not be crushed or torn.

A root barrier is recommended along the edge of the new driveway to reduce the potential for future root encroachment.

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SCALE: AS SHOWN

TREE PROTECTION PLAN

SHEET 1 of 2

T-1.1

TREE PROTECTION REQUIREMENTS

----------PRECONSTRUCTION PHASE----------

1.TREE PROTECTION FENCES.
- FENCES SHALL BE INSTALLED AT THE LOCATIONS AND DISTANCES SHOWN ON SHEET T-1.
- FENCES SHALL CONFORM TO THE SPECIFICATION AT RIGHT.

THE AREA WITHIN THE FENCE IS THE **TREE PROTECTION ZONE (TPZ).**

2.TREE PROTECTION VERIFICATION
NOTIFY THE PROJECT ARBORIST AFTER TREE PROTECTION MEASURES HAVE BEEN INSTALLED. THE PROJECT ARBORIST SHOULD INSPECT THE MEASURES TO VERIFY THEIR COMPLIANCE.

3.MEETING WITH PROJECT ARBORIST
PRIOR TO BEGINNING ANY WORK OR DEMOLITION, ALL CONTRACTORS INVOLVED WITH THE PROJECT SHOULD ATTEND A PRE-CONSTRUCTION MEETING WITH THE PROJECT ARBORIST TO:
•REVIEW THE TREE PROTECTION GUIDELINES. ACCESS ROUTES, STORAGE AREAS, AND WORK PROCEDURES WILL BE DISCUSSED.
•IDENTIFY ANY POTENTIAL CLEARANCE PRUNING THAT MAY BE REQUIRED TO ACCOMMODATE CONSTRUCTION.
•THE GENERAL CONTRACTOR OR PROJECT MANAGER IS RESPONSIBLE FOR SCHEDULING THIS MEETING.

----------DEMOLITION PHASE----------

4.WHEN DEMOLISHING EXISTING FEATURES WITHIN TPZS, START WORK CLOSE TO TREES AND MOVE BACKWARD, LIMITING EQUIPMENT TO STILL-PAVED AREAS.

----------CONSTRUCTION PHASE----------

5. MAINTAIN TREE PROTECTION FENCES AROUND ALL TPZS AND INSPECT DAILY FOR DAMAGE AND PROPER FUNCTION.

6. DO NOT REMOVE, ADJUST, OR WORK INSIDE ANY TPZ WITHOUT CONSULTING THE PROJECT ARBORIST.

7. ANY WORK WITHIN ANY TPZ MUST BE APPROVED BY THE PROJECT ARBORIST PRIOR TO BEGINNING THE TASK.

8. ROOT MANAGEMENT
•IF ROOTS OVER 1" IN DIAMETER ARE ENCOUNTERED WHEN EXCAVATING IN ANY LOCATION:
•HAND-DIG THE EDGE NEAREST THE TRUNK TO THE FULL DEPTH OF THE FEATURE BEING INSTALLED OR TO A DEPTH OF 3 FEET, WHICHEVER IS SHALLOWER.
•ROUTE CONDUIT AND OTHER FEATURES AROUND AND BETWEEN ROOTS WHEN POSSIBLE.

•IF ROOTS 1-2 INCHES IN DIAMETER MUST BE CUT, SEVER THEM CLEAN AND SQUARE AT UNDAMAGED TISSUE USING BYPASS PRUNERS FOR A SHARP SAW.

•IF ROOTS OVER 2" MUST BE CUT, STOP WORK IN THAT AREA AND CONTACT THE PROJECT ARBORIST IMMEDIATELY FOR GUIDANCE.

•THE PROJECT ARBORIST WILL INSPECT THE EXPOSED ROOT(S) TO ASSESS THE IMPACT OF CUTTING AND OVERSEE/DOCUMENT ANY APPROVED ROOT CUTTING.

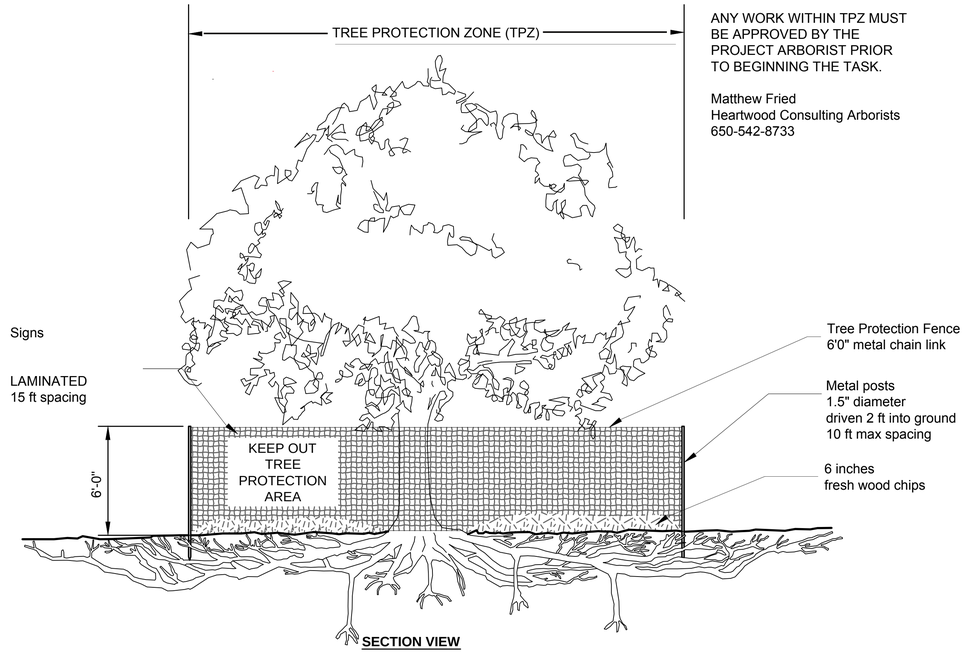
•EXPOSED ROOTS AND UPPER 3 FEET OF TRENCH WALLS SHALL BE COVERED WITH 3-4 LAYERS OF BURLAP OR ABSORBENT FABRIC AND KEPT MOIST UNTIL BACKFILLED.

9. PRUNING / TRIMMING
ANY PRUNING OF ANY LIMBS OR ROOTS OVER 2" DIAMETER MUST BE SUPERVISED BY THE PROJECT ARBORIST.

----------POST-CONSTRUCTION PHASE----------

10. POST-CONSTRUCTION REMEDIAL TREATMENTS AND/OR MAINTENANCE MAY BE PRESCRIBED BY THE PROJECT ARBORIST NEAR THE END OF THE PROJECT. ANY DIRECTIVES WILL BE SITE-SPECIFIC AND TAILORED TO:
•THE OBSERVED DISRUPTIVENESS OF CONSTRUCTION ACTIVITIES
•TREE CONDITION AND RESPONSE TO CONSTRUCTION
•TIME OF YEAR AND RECENT WEATHER

SEE SHEET T-1.1 for Fence Locations



ANY WORK WITHIN TPZ MUST BE APPROVED BY THE PROJECT ARBORIST PRIOR TO BEGINNING THE TASK.

Matthew Fried
Heartwood Consulting Arborists
650-542-8733

S-X TREE PROTECTION

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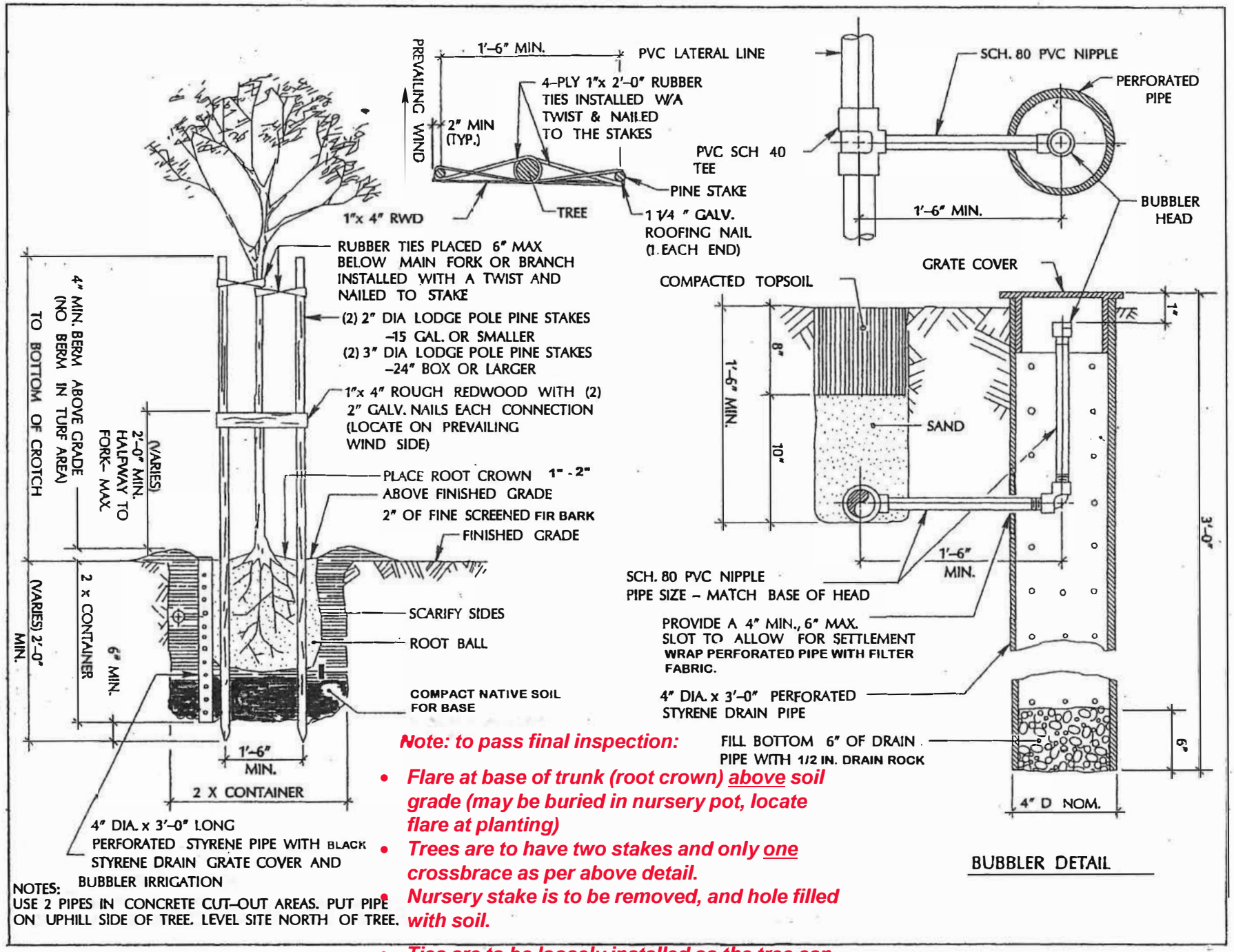
TREE PROTECTION PLAN

SHEET 2 of 2

T-1.2

TREE PLANTING
WITH BUBBLER IRRIGATION



Note: to pass final inspection:

- ***Flare at base of trunk (root crown) above soil grade (may be buried in nursery pot, locate flare at planting)***
- ***Trees are to have two stakes and only one crossbrace as per above detail.***
- ***Nursery stake is to be removed, and hole filled with soil.***
- ***Ties are to be loosely installed so the tree can move when shaken.***