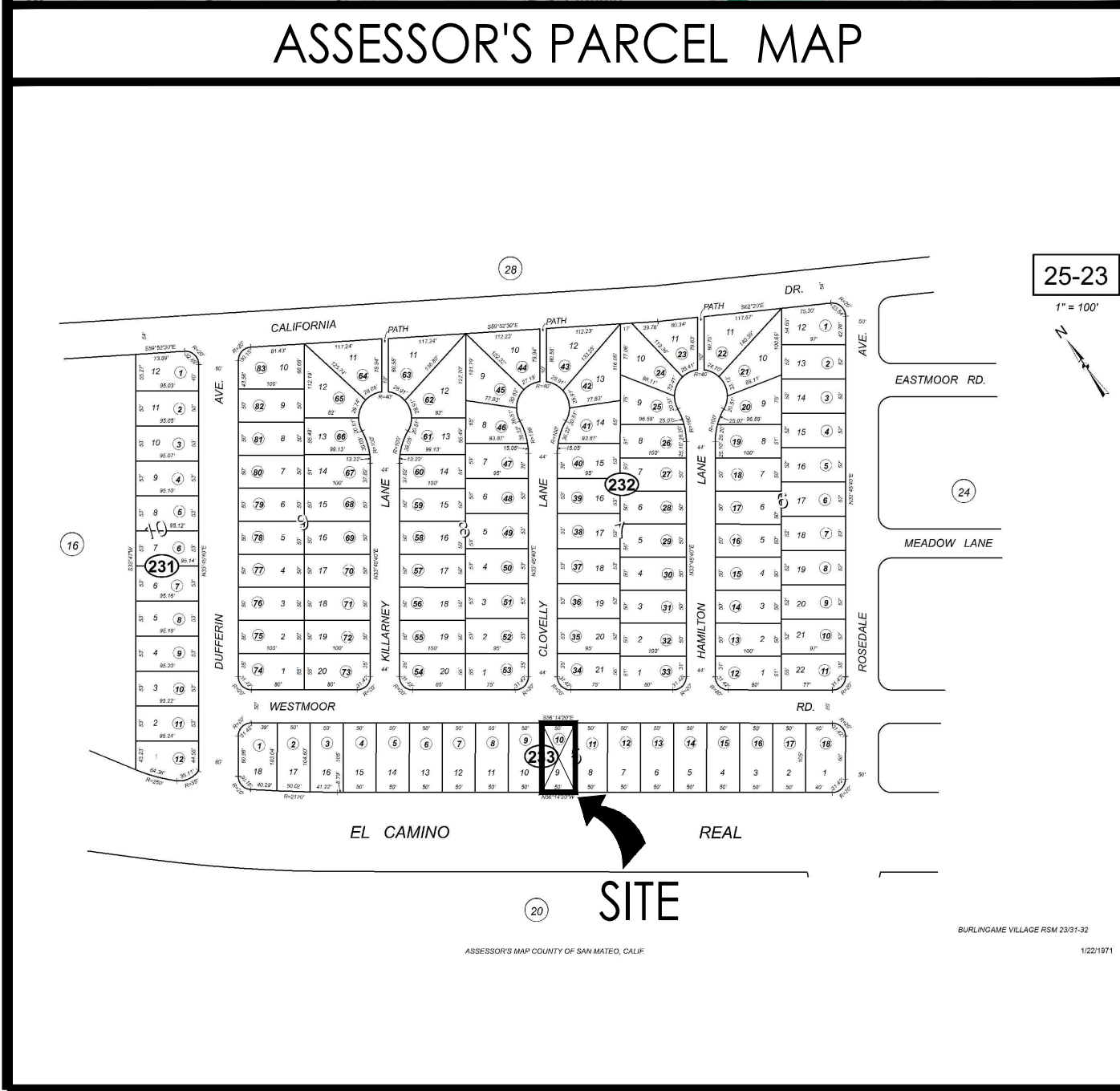
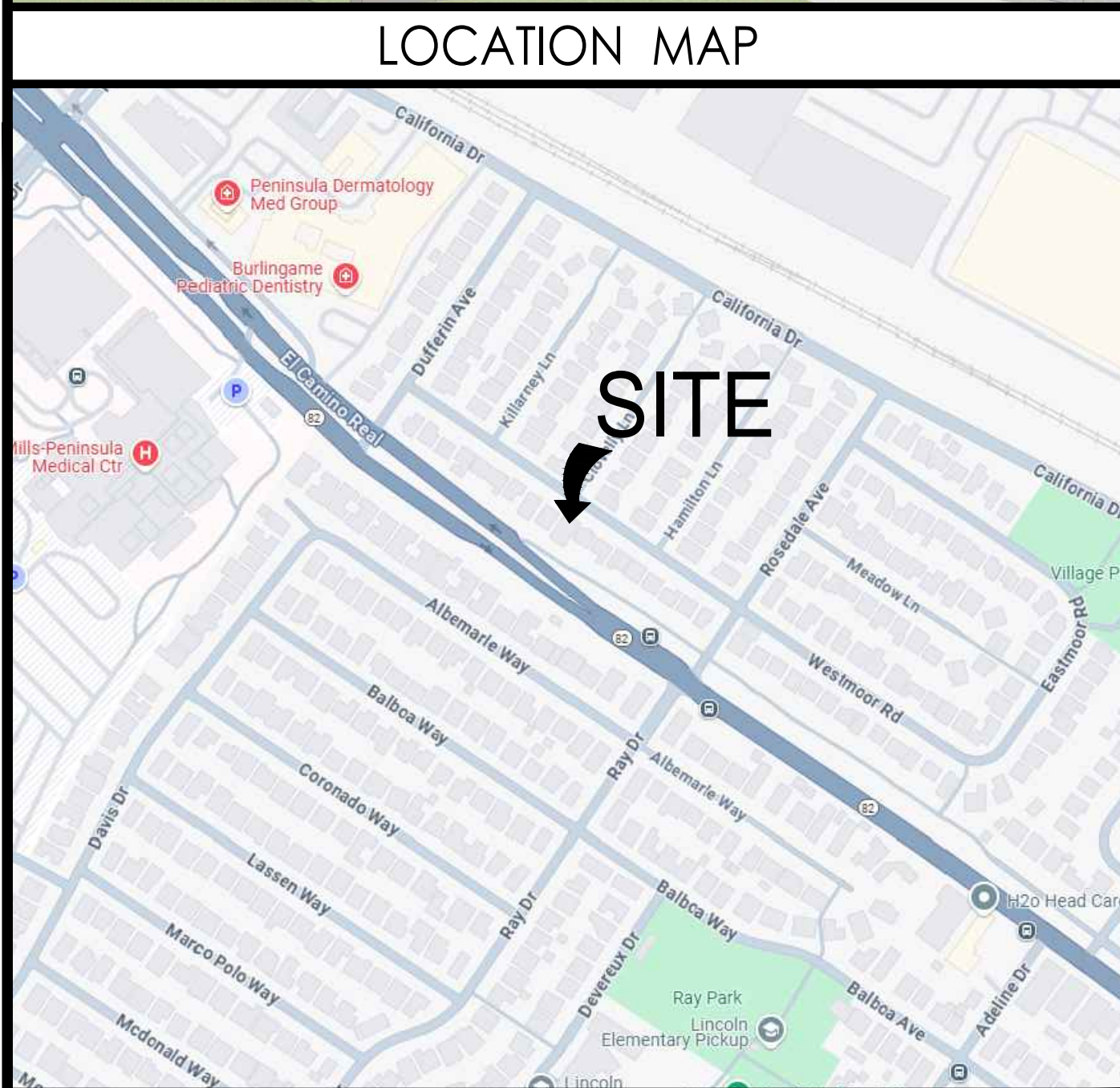


AWADHARE RESIDENCE

RENOVATION & ADDITION
TO EXISTING SINGLE FAMILY HOUSE

1633 WESTMOOR ROAD, BURLINGAME, CA



SCOPE OF WORK

REMODEL OF AND ADDITION TO AN EXISTING 2BR AND 2BA SINGLE FAMILY RESIDENCE WITH 1,665.0 EXISTING LIVING S.F. ON A 5,250 S.F. LOT. 406.51 S.F. CONVERSION OF LIVING AREA INTO ADU , PROPOSED 1ST FLOOR ADDITION OF 514.49 S.F. AND 2ND FLOOR ADDITION OF 720.94 S.F. RESULTING IN A 3BR AND 2.5BA RESIDENCE WITH 2,774.25 LIVING S.F.

PROJECT SUMMARY

| | |
|---|-----------------------------------|
| Assessor's Parcel No. | 25233100 |
| Zoning: | R-1 |
| Jurisdiction: | Burlingame |
| Type of Construction: | TYPE V-B |
| Building Occ. Groups: | R-3/U (SINGLE FAMILY RESIDENTIAL) |
| Required Property Setbacks (1st / 2nd): | |
| Front | 16'-9 1/2" / 20'-0" |
| Rear | 15'-0" / 20'-0" |
| Right Side | 4'-0" / 6'-4 1/2" |
| Left Side | 4'-0" / 6'-4 1/2" |
| Proposed Property Setbacks (1st / 2nd): | |
| Front | 16'-10" / 44'-6" |
| Rear | 15'-0" / 29'-4 1/2" |
| Right Side | 4'-3" / 21'-4 1/2" |
| Left Side | 5'-3" / 7'-9" |
| Max. Allowed Building Height: | 30'-0" |
| Proposed Building Height | 27'-11" |
| Lot Area: | 5,250.0 |
| Existing Living Area | 1,665.00 |
| 1st Floor Living Area converted into ADU | 406.51 |
| Remaining Existing Living Area | 1,258.49 |
| 1st Floor Living Area Addition | 514.49 |
| 2nd Floor Living Area Addition | 720.94 |
| 1st Floor Double counted Area (ceiling > 12') | 280.33 |
| Total 1st Floor Living Area | 2,053.31 |
| Total 2nd Floor Living Area | 720.94 |
| Total Residence Living Area | 2,774.25 |
| Max. Allowed FAR | 2,780.00 |
| New Covered Porch (<200sf, Not Counted to) | 168.00 |
| New Covered Patio (<120sf, Not counted to) | 119.74 |
| 2nd floor ADU Overlap | 147.43 |
| Total New Coverage | 2,088.41 |
| Max. Allowed Coverage | 2100.00 |

- DEFERRED SUBMITTALS
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
 - SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT

RECEIVED
7/21/25
CITY OF BURLINGAME
CDD-PLANNING DIVISION

REVISED

- ACKNOWLEDGMENTS
- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.
 - A COMPLETED SUPPLEMENTAL DEMOLITION PERMIT APPLICATION WILL BE PROVIDED, WHEN SUBMITTING THE PLANS TO THE BUILDING DIVISION FOR PLAN REVIEW.

CONSTRUCTION HOURS

"Construction Hours"
Weekdays: 8:00 a.m. – 7:00 p.m.
Saturdays: 9:00 a.m. – 6:00 p.m.
Sundays and Holidays: No Work Allowed
(See City of Burlingame Municipal Code, Section 18.07.110 for details.)

(See City of Burlingame Municipal Code, Section 13.04.100 for details.)
Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m.
Note: Construction hours for work in the public right of way must now be included on the plans.

- APPLICABLE CODES
- APPLICABLE CODES (with Burlingame Amendments)
- 2022 CALIFORNIA ADMINISTRATIVE CODE, CAC
 - 2022 CALIFORNIA BUILDING CODE, CBC
 - 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
 - 2022 CALIFORNIA ELECTRICAL CODE, CEC
 - 2022 CALIFORNIA MECHANICAL CODE, CMC
 - 2022 CALIFORNIA PLUMBING CODE, CPC
 - 2022 CALIFORNIA ENERGY CODE, CEnc
 - 2022 CALIFORNIA HISTORICAL CODE, CHC
 - 2022 CALIFORNIA FIRE CODE, CFC
 - 2022 CALIFORNIA EXISTING BUILDING CODE
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS
 - 2022 CALIFORNIA REFERENCED STANDARDS

PROJECT TEAM

O W N E R
Shruti Awadhare
Satyashil Awadhare
1633 Westmoor Road, Burlingame
email: satyashil@gmail.com
shruti.satyashil@gmail.com

ARCHITECT
Studio S Squared Architecture, Inc.
1000 S Winchester Blvd
San Jose, CA 95128
attn: Ali Fahmy
ph: 669 289 9416
email: ali@studioS2arch.com

CIVIL ENGINEER
lea & Braze
attn: Pete Carlino
email: pcarlino@leabraze.com

GEOTECHNICAL ENGINEER
Romig Engineers, Inc.
attn: Lucas Ottoboni
email: lucas@romigengineers.com

LANDSCAPE ARCHITECT
Studio S Squared Architecture, Inc.
1000 S Winchester Blvd
San Jose, CA 95128
attn: Greg Ing
email: greg@studios2arch.com

ARBORIST
Kevin Kielty Certified Arborist
attn: David Beckham
ph: 650 532 4418
davidkieltyarborist@gmail.com

SHEET INDEX

| | |
|--|--|
| ARCHITECTURAL A0.0 | COVER SHEET |
| A1.0b A1.0c A2.0 A2.1a A2.1b | EXISTING SITE PLAN PROPOSED SITE PLAN DEMO FLOOR PLAN 1ST FLOOR PLAN 1ST FLOOR PLAN |
| A2.2a A2.2b A3.0a A3.0b A3.0c A3.0d A3.1 A3.2 | LOWER ROOF PLAN UPPER ROOF PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS EXTERIOR PERSPECTIVES EXTERIOR PERSPECTIVES |
| A5.0-A5.1 | SECTIONS |
| ARBORIST AR1-AR2 | ARBORIST REPORT |
| CIVIL C.0 | TOPOGRAPHIC SURVEY |
| LANDSCAPE T1.0 | PLANTING PLAN |

FOR PERMIT REVIEW ONLY--NOT FOR CONSTRUCTION

AWADHARE Residence
RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

Burlingame, 1633 Westmoor Road
Shruti & Satya Awadhare

24-029
PROJECT NO.
REVISION
DATE
DESCRIPTION
2024.12.12
2024.04.01
2025.05.22
2025.07.07
PLANNING PACKAGE
PLANNING SUBMITTAL 02
PLANNING SUBMITTAL 03
PUBLIC HEARING 02
AF/MBL
AF/MBE
AF/MBE
AF

A0.0

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San Jose, CA 95128

Architecture.
Interiors.
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12 4 8 12 feet

DEMO SITE PLAN

1/8"

1

DEMO SITE PLAN LEGEND

-

= NUMBER TO KEY NOTE BELOW

- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
- (E) APPROXIMATE LOCATION OF NEIGHBORING STRUCTURES
- (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION -- SEE TREE PROTECTION FENCING NOTE BELOW FOR ADDITIONAL INFO.
- (E) DRIVEWAY TO BE REPLACED
- (E) HARDSCAPE TO BE REMOVED
- (E) FENCE TO REMAIN AT PROPERTY LINE
- (E) FENCE TO BE REMOVED
- (E) ELECTRIC METER TO BE UPGRADED DUE TO INCREASED FIXTURE LOAD
- (E) GAS METER TO BE RELOCATED.
- (E) WATER METER TO REMAIN
- (E) BUILDING TO BE REMODELED

DEMO SITE PLAN KEYNOTES

-

PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
REQUIRED YARD SETBACK
TREE PROTECTION FENCING AND TREE CARE PER ARBORIST REPORT -- TREE PROTECTION FENCING TO BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION OF CONSTRUCTION.

SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO
TREES TO BE REMOVED

NOTE:
1. ALL ELECTRIC LINES, COMMUNICATION LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.

AWADHARE Residence

RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

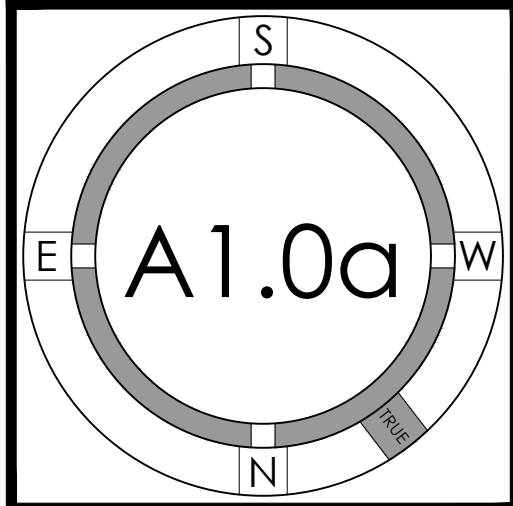
Burlingame, 1633 Westmoor Road

Shruti & Satya Awadhare



| PROJECT NO. | DATE | DESCRIPTION | REVISION |
|-------------|------------|-----------------------|----------|
| 24-029 | 2024.12.12 | PLANNING PACKAGE | AF/MBL |
| | 2024.04.01 | PLANNING SUBMITTAL 02 | AF/MBE |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | AF/MBE |
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EXISTING
SITE PLAN



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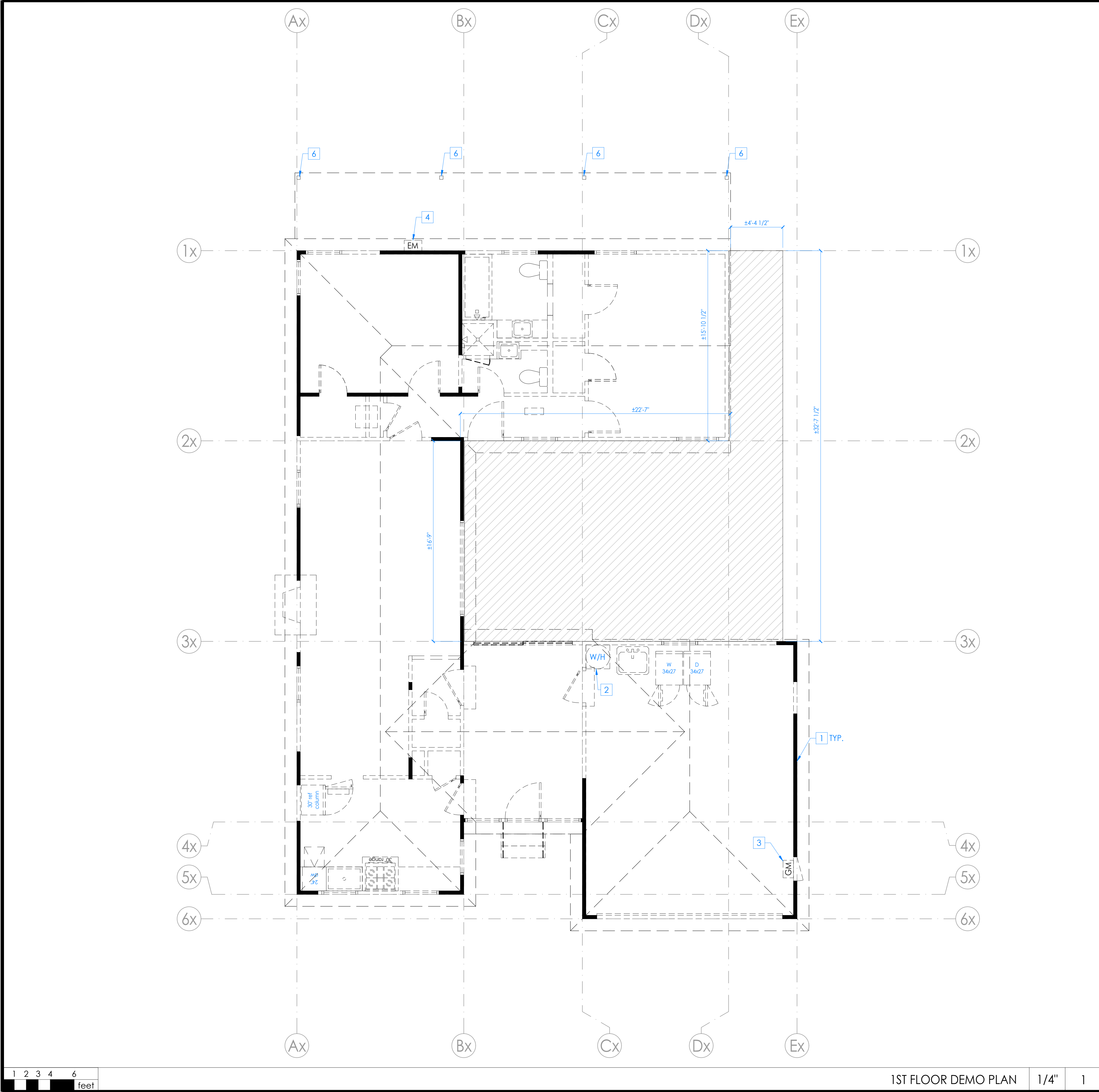
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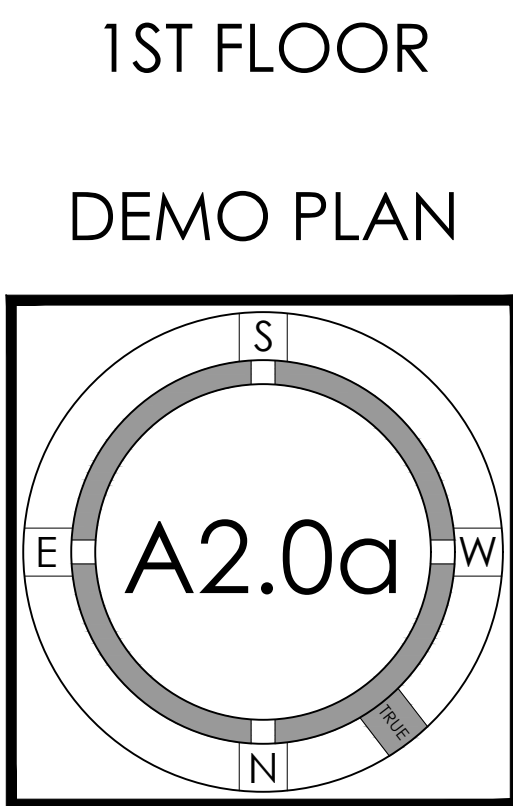
- # = NUMBER TO KEY NOTE BELOW
1. REMOVE DRYWALL AT EXTERIOR WALLS TO REMAIN IN REMODELED AREA - PREP FOR NEW INSULATION
 2. (E) WATER HEATER TO BE RELOCATED--SEE A2.1 FOR NEW LOCATION
 3. (E) GAS METER TO REMAIN
 4. (E) ELECTRICAL PANEL TO REMAIN
 5. (E) A/C UNIT TO BE REMOVED
 6. (E) PORCH COLUMNS TO BE REMOVED

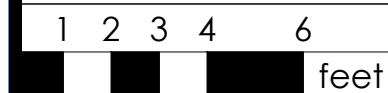
NOTES:
1. SEE 5/A0.1a FOR DEMOLITION GENERAL NOTES
2. REFER TO BID INSTRUCTIONS FOR ITEMS TO BE RETAINED FOR SALVAGE

| DEMO PLAN KEYNOTES | | - |
|--------------------|--|---|
| | EXISTING WALLS TO REMAIN. | |
| | EXISTING WALLS TO BE ALTERED, REMOVED OR EXISTING OPENINGS TO BE FILLED. | |
| | EXISTING EXTERIOR WALL OF EXISTING LIVING AREA CONVERTED INTO ADU | |
| | AREA OF EXCAVATION FOR NEW FLOOR AREA--SEE NEW FLOOR PLAN FOR MORE INFO | |
| DEMO PLAN LEGEND | | - |



| PROJECT NO. | DATE | DESCRIPTION | 24-029 |
|-------------|------------|-----------------------|-----------------|
| REVISION | 2024.12.12 | PLANNING PACKAGE | DRAWN BY AF/MBL |
| | 2024.04.01 | PLANNING SUBMITTAL 02 | AF/MBE |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | AF/MBE |
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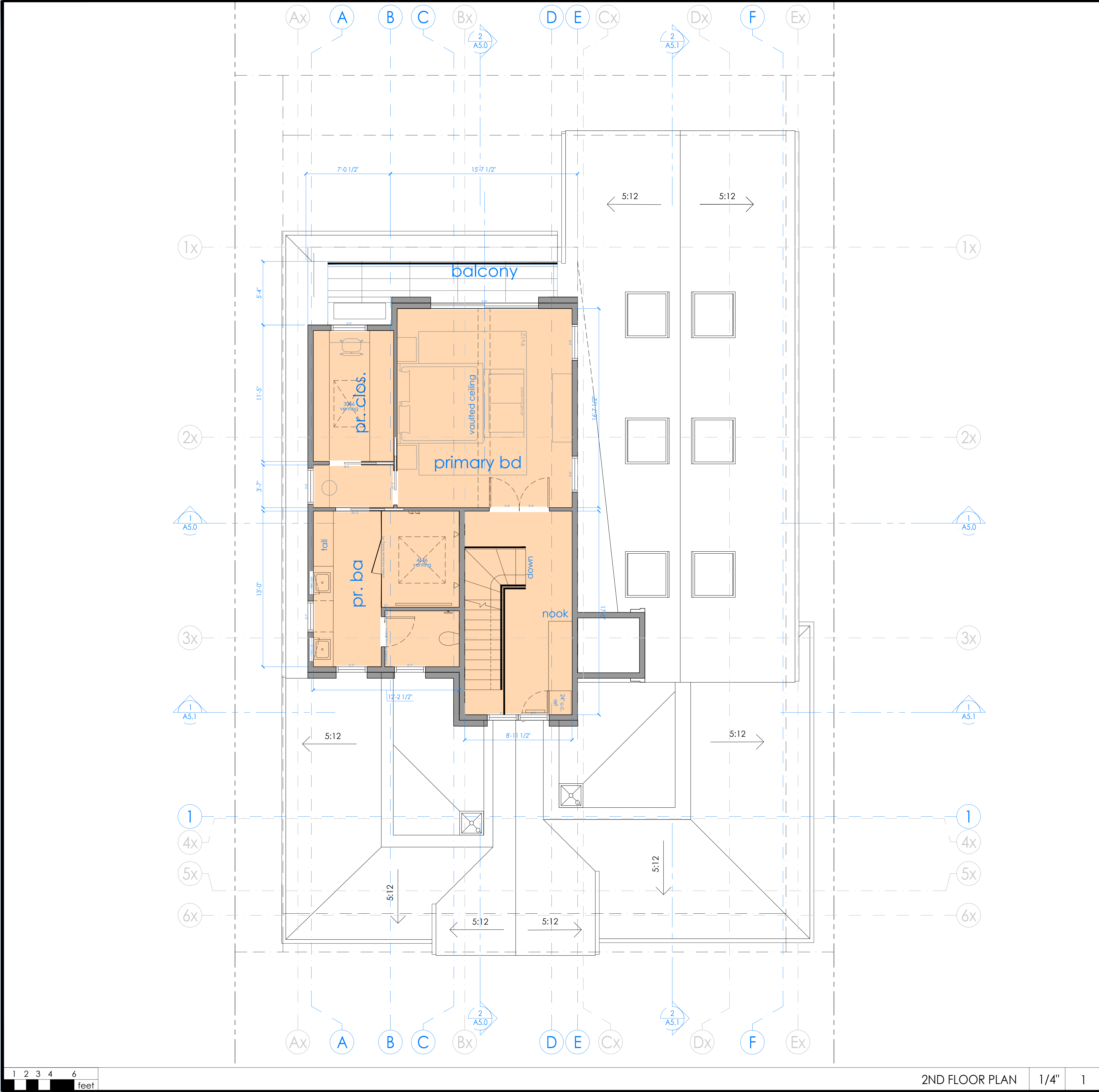


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ADU

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= NUMBER TO KEY NOTE BELOW

NOTE:

- SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
- SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
- SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
- SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
- EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT FOR ONE-HOUR FIRE-RATED CONSTRUCTION. 2022 CRC TABLE R302.1(1) § OR 2022 CBC, TABLE 602

| FLOOR PLAN KEYNOTES | | - |
|---------------------|--|---|
| | (E)/(N) ONE (1) HOUR FIRE SEPARATION BETWEEN GARAGE & LIVING AREA AND BETWEEN ADU'S AND LIVING AREA PER TABLE R302.6 - 5/8" TYPE 'X' GYPSUM ON ALL WALLS FROM BASE OF FOUNDATION STEM WALLS TO CEILING'S OR TO TOP OF ROOF, ALL SUPPORTING MEMBERS, (I.E BEAMS, COLUMNS AND BEARING WALLS) CEILINGS OR ROOF FRAMING (ON GARAGE SIDE OF WALLS). TWO LAYERS OF 5/8" TYPE 'X' GYP BOARD REQUIRED WHEN RAFTERS/CEILING JOISTS/TRUSSES ARE AT 24" O.C. | |
| | (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD | |
| | (E) WALL TO REMAIN: REPAIR DAMAGE CAUSED BY REMOVING FINISHES AS NOTED ON A2.0. ALL WALLS TO RECEIVE (N) PAINT FINISH. | |
| | DENOTES (N) HOSE BIBB. SEE PLANS FOR NEW LOCATION - INSTALL HOSE BIBBS PER CPC WITH APPROVED ANTI-SIPHON DEVICE. (E) HOSE BIBBS TO REMAIN. | |
| | (N) GAS COCK--REFER TO MANUF. SPECS FOR ELECTRICAL AND GAS REQUIREMENTS. PLUMBER TO VERIFY GAS PIPE DIAMETER NEEDED FOR APPLIANCE FROM GAS METER LOCATION | |
| | DOOR KEY-- SEE A4.0 FOR MORE INFORMATION | |
| | WINDOW KEY-- SEE A4.0 FOR MORE INFORMATION | |
| | FLOOR ELEVATION CHANGE--SEE CIVIL PLANS FOR MORE INFO | |
| | ADDITION FLOOR AREA | |
| | EXISTING LIVING AREA TO BE REMODELED | |
| | EXISTING BUILDING AREA TO REMAIN | |
| | ADU | |

| 2ND FLOOR PLAN | | 1/4" | 1 | FLOOR PLAN LEGEND | | - |
|---|--|--------------------------------|---|-------------------------|--|---|
| AWADHARE Residence | | Burlingame, 1633 Westmoor Road | | Shruti & Satya Awadhare | | |
| RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE | | | | | | |

| PROJECT NO. | DATE | DESCRIPTION | DRAWN BY |
|-------------|------------|-----------------------|----------|
| 24-029 | 2024.12.12 | PLANNING PACKAGE | AF/MBL |
| | 2024.04.01 | PLANNING SUBMITTAL 02 | AF/MBE |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | AF/MBE |
| | 2025.07.07 | PUBLIC HEARING 02 | AF |

2ND

FLOOR PLAN

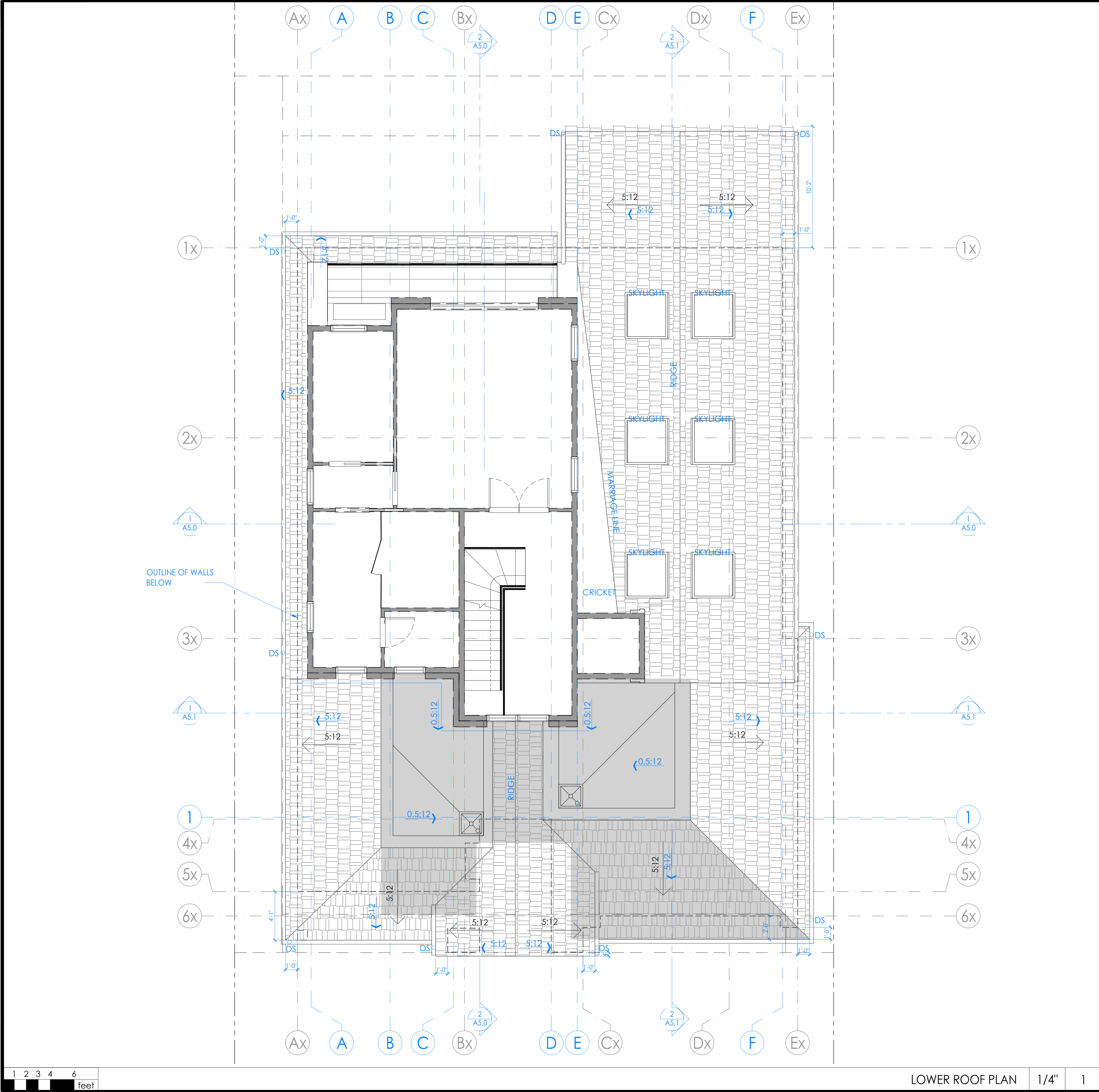
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LOWER ROOF PLAN

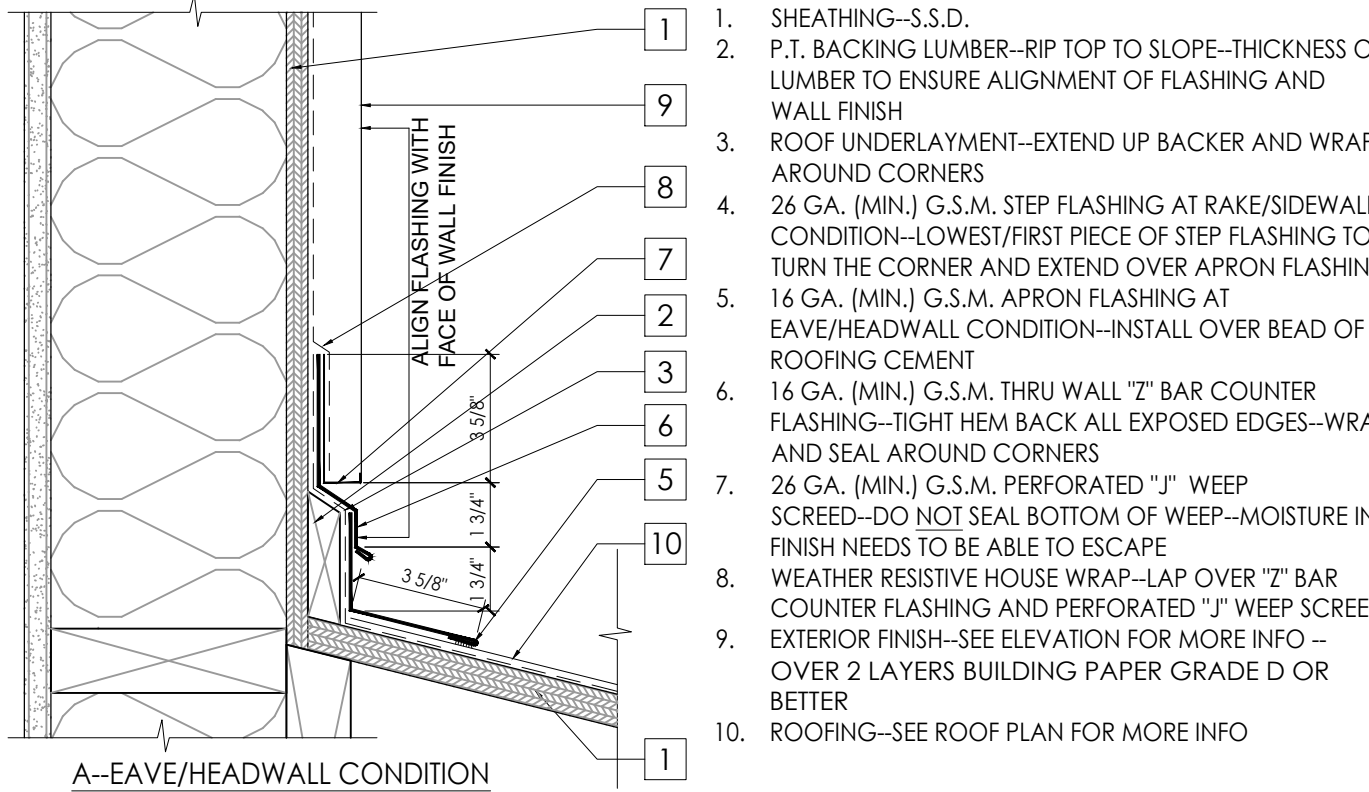
1/4"

1

1. INSTALL ALL NEW ROOFING MATERIALS--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. NO ROOF PENETRATIONS THROUGH ROOF THAT ARE VISIBLE FROM THE STREET WILL BE ACCEPTED. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2.
4. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
5. FUTURE SOLAR PANELS PER CEC 110.10 (MINIMUM 250 S.F. ON A SOUTH SIDE ORIENTATION). KEEP AREA CLEAR OF ROOFING EYEBROW, MECHANICAL AND PLUMBING VENTS.
6. SEE ROOF PLAN FOR SLOPE.
7. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
8. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN--GUTTERS TO SLOPE 1:240 FRONT-TOBACK, BUT TO BE LEVEL SIDE TO SIDE
9. INSTALL KICKOUT FLASHING PER 8/A8.0 WHEREVER GUTTERS TERMINATE AT A WALL
10. ALL PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. CONNECT ALL DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

ROOF GENERAL NOTES

= NUMBER TO NOTE BELOW



- GENERAL NOTES:
- ALL FLASHING TO BE PRE-PRIMED AND PAINTED TO MATCH WALL FINISH.
 - ALL FLASHING TO BE INSTALLED PER ROOFING MANUF. WARRANTY RECOMMENDATIONS

Cricket to Wall Flashing Detail

TPO SINGLE PLY ROOFING: MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST O/ 6-OZ MIN. POLYMAT FILTER FABRIC O/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.

AREA OF NEW ROOF STRUCTURE (FILLED AND CALIFORNIA FRAMED) ROOFING: TPO SINGLE PLY ROOFING

ASPHALT COMPOSITION SHINGLES O/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS [C]--MANUF: [CERTAINTED]; STYLE: PRESIDENTIAL ; COLOR: [BLACK]; LIFETIME EXPECTANCY--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389

AREA OF NEW ROOF STRUCTURE (FILLED AND CALIFORNIA FRAMED) ROOFING: ASPHALT COMPOSITION SHINGLES

DENOTES FLAT ROOF DRAIN CONNECTED TO HARDDPIPED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS 13-15/A8.1--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HIT AND VERTICAL CONTROL

--- LINE OF BLDG. BELOW

----- LINE OF CONTINUOUS RIDGE , HIP AND SOFFIT STRIP VENTING -- SEE DETAILS -----

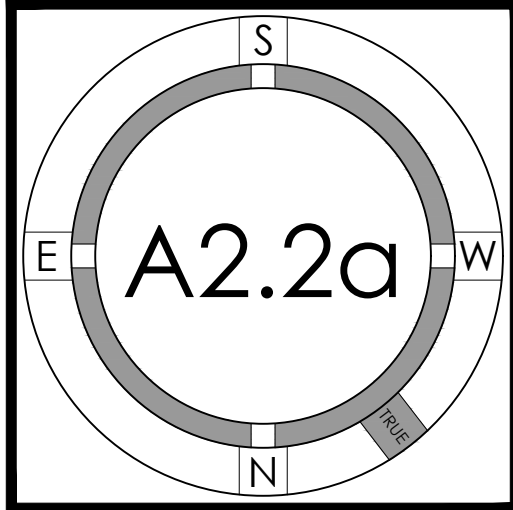
ROOF PLAN LEGEND

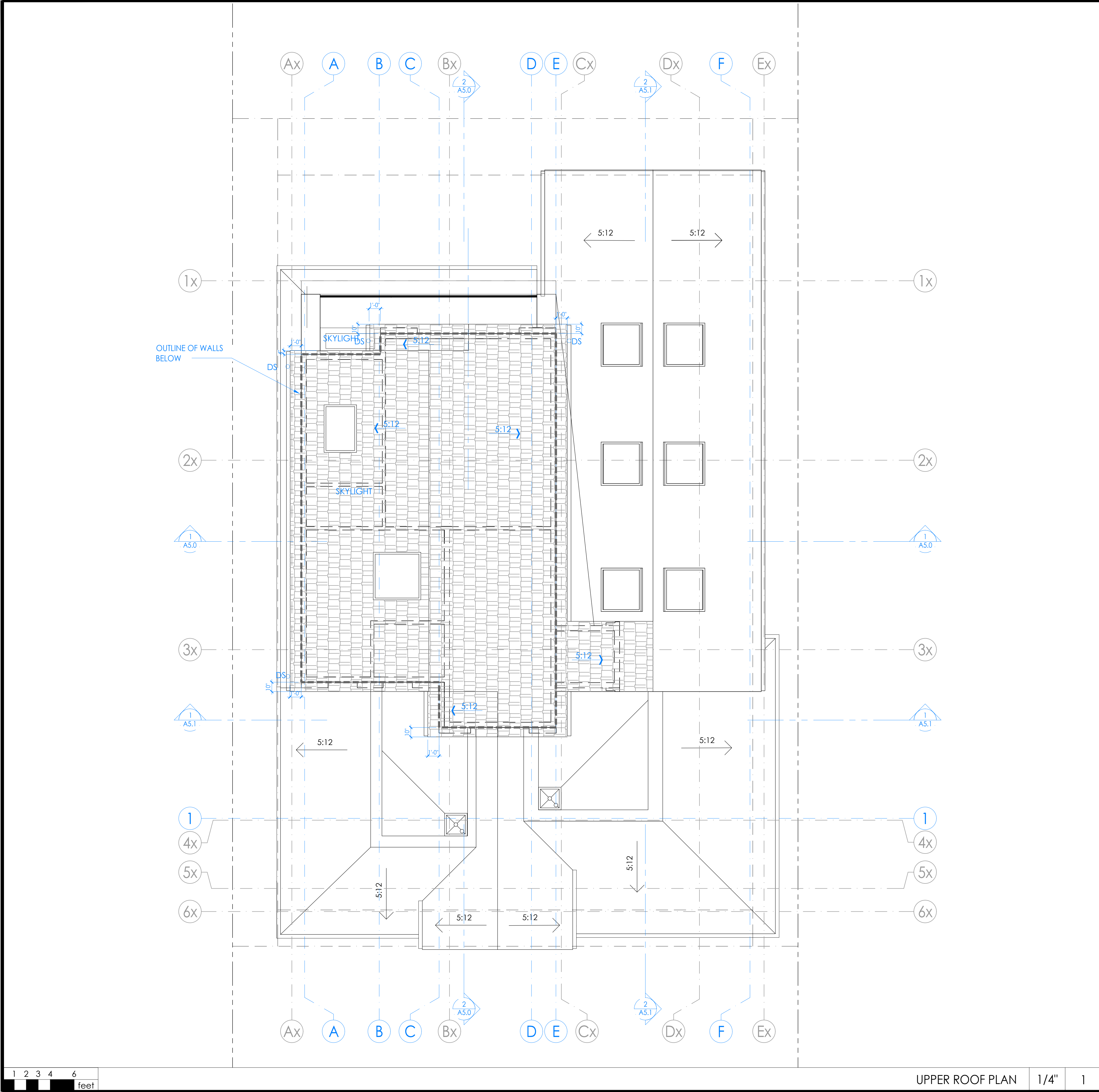


| PROJECT NO. | DATE | DESCRIPTION | DATE | DESCRIPTION |
|-------------|------------|------------------|------------|-----------------------|
| 24-029 | 2024.12.12 | PLANNING PACKAGE | 2024.04.01 | PLANNING SUBMITTAL 02 |
| REVISION | | | 2025.05.22 | PLANNING SUBMITTAL 03 |
| | | | 2025.07.07 | PUBLIC HEARING 02 |

LOWER

ROOF PLAN





1. INSTALL ALL NEW ROOFING MATERIALS--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
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8. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN--GUTTERS TO SLOPE 1:240 FRONT-TOBACK, BUT TO BE LEVEL SIDE TO SIDE
9. INSTALL KICKOUT FLASHING PER 8/A8.0 WHEREVER GUTTERS TERMINATE AT A WALL
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ROOF GENERAL NOTES

Cricket to Wall Flashing Detail

- TPO SINGLE PLY ROOFING: MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.
- AREA OF NEW ROOF STRUCTURE (FILLED AND CALIFORNIA FRAMED) ROOFING: TPO SINGLE PLY ROOFING
- ASPHALT COMPOSITION SHINGLES o/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS [C]--MANUF: [CERTAINTED]; STYLE: PRESIDENTIAL ; COLOR: [BLACK]; LIFETIME EXPECTANCY--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389
- AREA OF NEW ROOF STRUCTURE (FILLED AND CALIFORNIA FRAMED) ROOFING: ASPHALT COMPOSITION SHINGLES
- DENOTES FLAT ROOF DRAIN CONNECTED TO HARDDIPIED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS 13-15/A8.1--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS
- DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS
- ← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HIT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW
- LINE OF CONTINUOUS RIDGE , HIP AND SOFFIT STRIP VENTING -- SEE DETAILS -----

UPPER ROOF PLAN

1/4"

1

ROOF PLAN LEGEND

AWADHARE Residence
RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

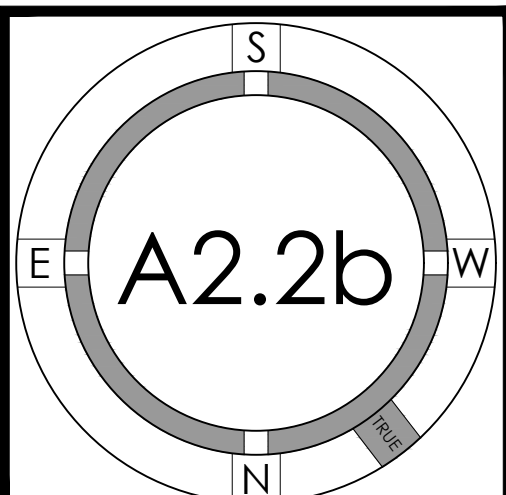
Burlingame, 1633 Westmoor Road
Shruti & Satya Awadhare



| PROJECT NO. | DATE | DESCRIPTION | DRAWN BY |
|-------------|------------|-----------------------|----------|
| 24-029 | 2024.12.12 | PLANNING PACKAGE | AF/MBL |
| REVISION | 2024.04.01 | PLANNING SUBMITTAL 02 | AF/MBE |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | AF/MBE |
| | 2025.07.07 | PUBLIC HEARING 02 | AF |

UPPER

ROOF PLAN



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EXISTING NORTH-WEST ELEVATION (FRONT)

1/4"

1

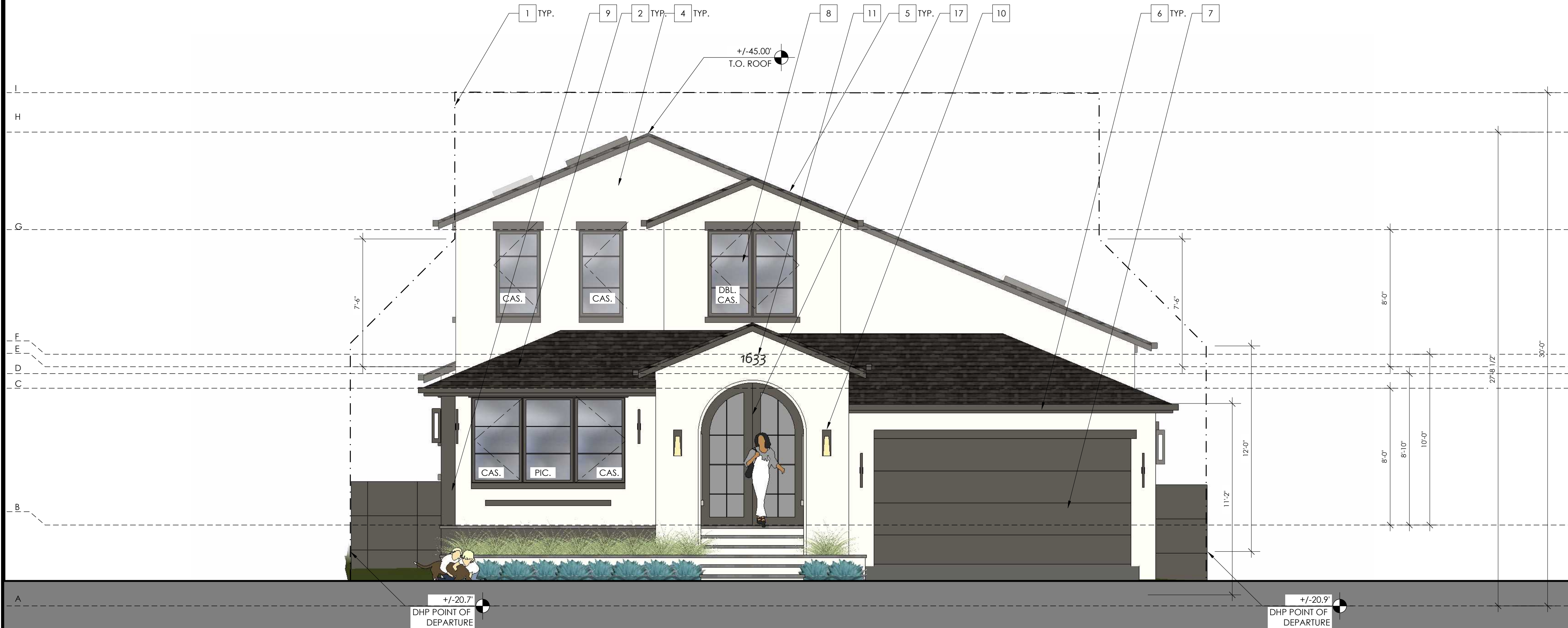
- NOTES:
- SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 - SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
 - SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
 - SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
 - EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3a FOR 3D MODEL VIEWS

- # = NUMBER OF KEYNOTE BELOW
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 - SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
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 - FACTORY-FINISHED ALUMINUM GARAGE DOOR--SEE DOOR SCHEDULE FOR MORE INFO
 - WINDOW/DOOR OPENING WITH SIMULATED DIVIDED LITES: GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO [HAVE [X]] [PAINT GRADE WOOD/STAIN GRADE WOOD/PAINTED FIBER CEMENT/PVC] TRIM/BE TRIMLESS] TYPICAL, U.N.O.
 - STRUCTURAL WOODEN POST
 - EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING ; STYLE: CONTEMPORARY; COLOR: BLACK BRONZE --<https://www.build.com/hinkley-lighting-1668/s11433549uid=2736587&searchid=81U3B416>
 - PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET-- HEIGHT: 5" or 7" ; STYLE: LUMA-NUMBERS, BACKLIT LED ADDRESS NUMBERS; FINISH: STAINLESS STEEL BLACK--www.modernlights.com-- PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
 - STUCCO LOW WALL
 - OUTDOOR KITCHEN--OWNER TO PROVIDE SPECS
 - GLASS RAILING
 - CRAWLSPACE VENT--SEE CRAWLSPACE VENT CALCS ON A2.1 FOR MORE INFO
 - HARDSCAPE--SEE SITE PLAN AND FINISH FLOOR PLAN FOR MORE INFO
 - WEATHERSTRIP, STEEL PAINTED ENTRY DOOR, SIMULATED DIVIDED LITES

KEYNOTES

-

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PROPOSED NORTH-WEST ELEVATION (FRONT)

1/4"

1

ELEVATION GRID LINE KEY -- EXISTING BUILDING
A AVERAGE TOP OF CURB FOR DETERMINING BUILDING HEIGHT = +/- 17.28'
B 1ST FLOOR TOP OF STRUCTURE = +/- 22.053'
C 1ST FLOOR PLATE HEIGHT (U.N.O.) = +/- 30.053'
Dx EXISTING BUILDING HEIGHT= +/- 34.11'

ELEVATION GRID LINE KEY -- PROPOSED BUILDING
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G 2ND FLOOR PLATE HEIGHT (U.N.O.) = +/- 39.30'
H PROPOSED BUILDING HEIGHT = +/- 45.00'
I MAX BUILDING HEIGHT ALLOWED = 30'-0" +/- 47.28'

ELEVATION GRID LINE KEY

-

-

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RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

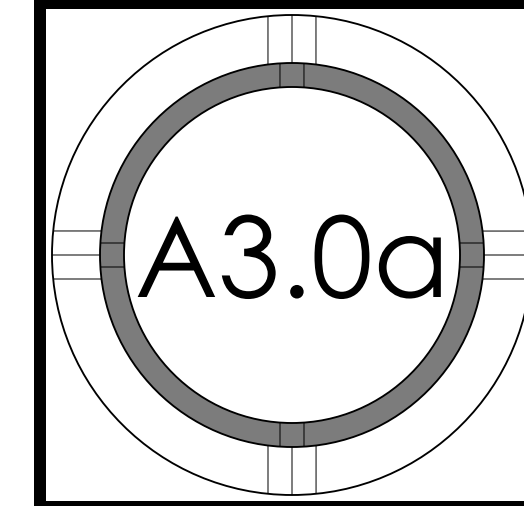
Burlingame, 1633 Westmoor road

Shruti & Satya Awadhare

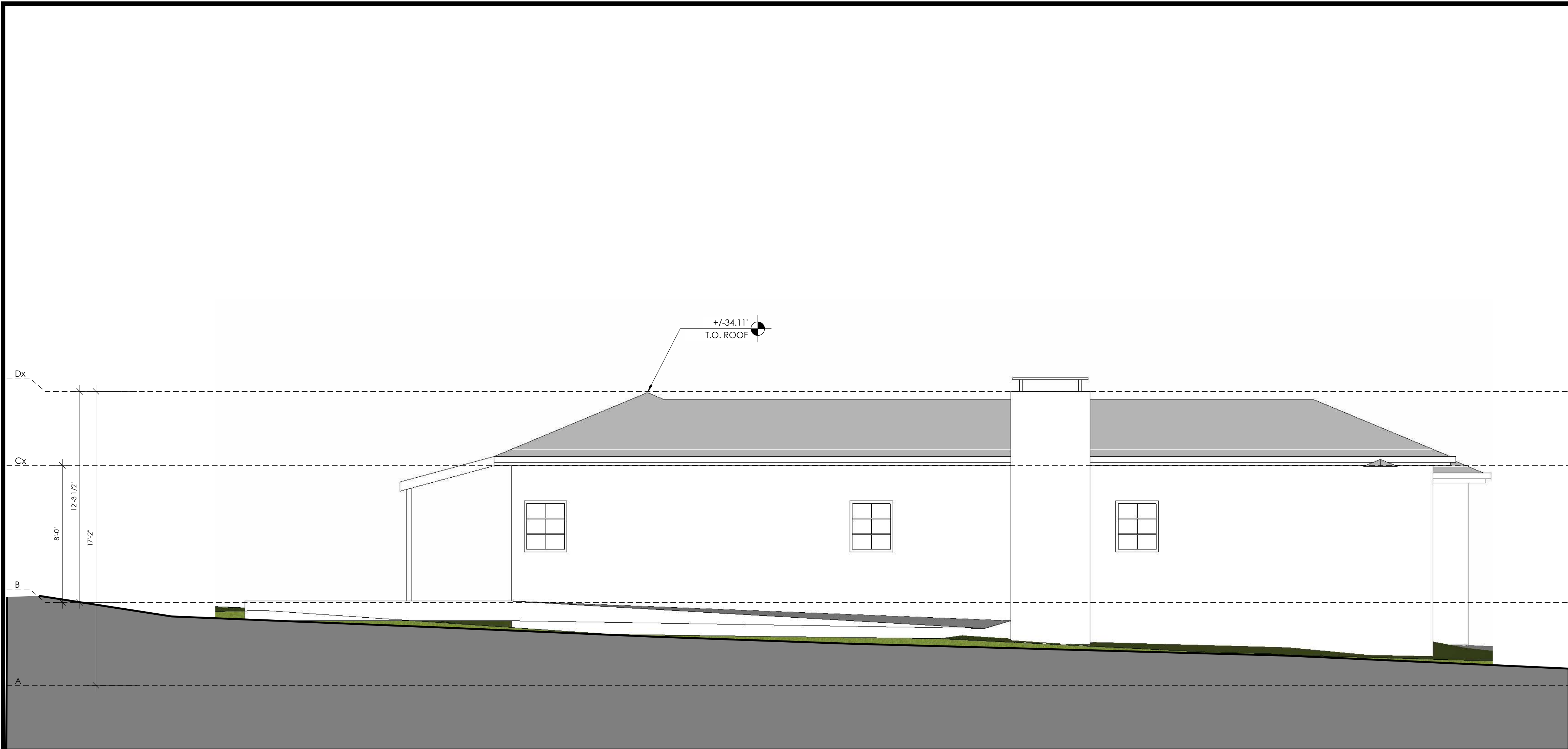


| PROJECT NO. | REVISION | DATE | DESCRIPTION | DRAWN BY |
|-------------|----------|------------|-----------------------|----------|
| | | 2024.12.12 | PLANNING PACKAGE | MBD |
| | | 2024.04.01 | PLANNING SUBMITTAL 02 | MBD |
| | | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD |
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EXTERIOR
ELEVATIONS



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EXISTING SOUTH-EAST ELEVATION (LEFT)

1/4"

2



PROPOSED SOUTH-EAST ELEVATION (LEFT)

1/4"

2

= NUMBER OF KEYNOTE BELOW

1. DAYLIGHT PLANE AS DEFINED BY JURISDICTION
2. ASPHALT COMP SHINGLE ROOFING--SEE ROOF PLAN FOR MORE INFO
3. SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
4. PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--SEE DETAILS [XX/XX]--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
5. PAINTED CEMENT FIBER TRIM--2x6 BARGEBOARD AND 1x2 DRIP EDGE
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14. GLASS RAILING
15. CRAWLSPACE VENT--SEE CRAWLSPACE VENT CALCS ON A2.1 FOR MORE INFO
16. HARDSCAPE--SEE SITE PLAN AND FINISH FLOOR PLAN FOR MORE INFO

NOTES:

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2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
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KEYNOTES

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ELEVATION GRID LINE KEY

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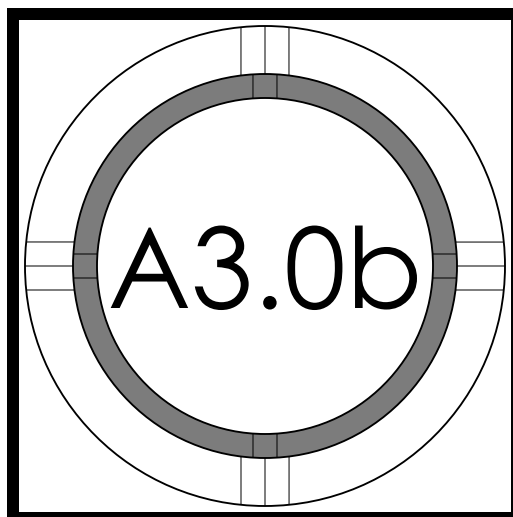
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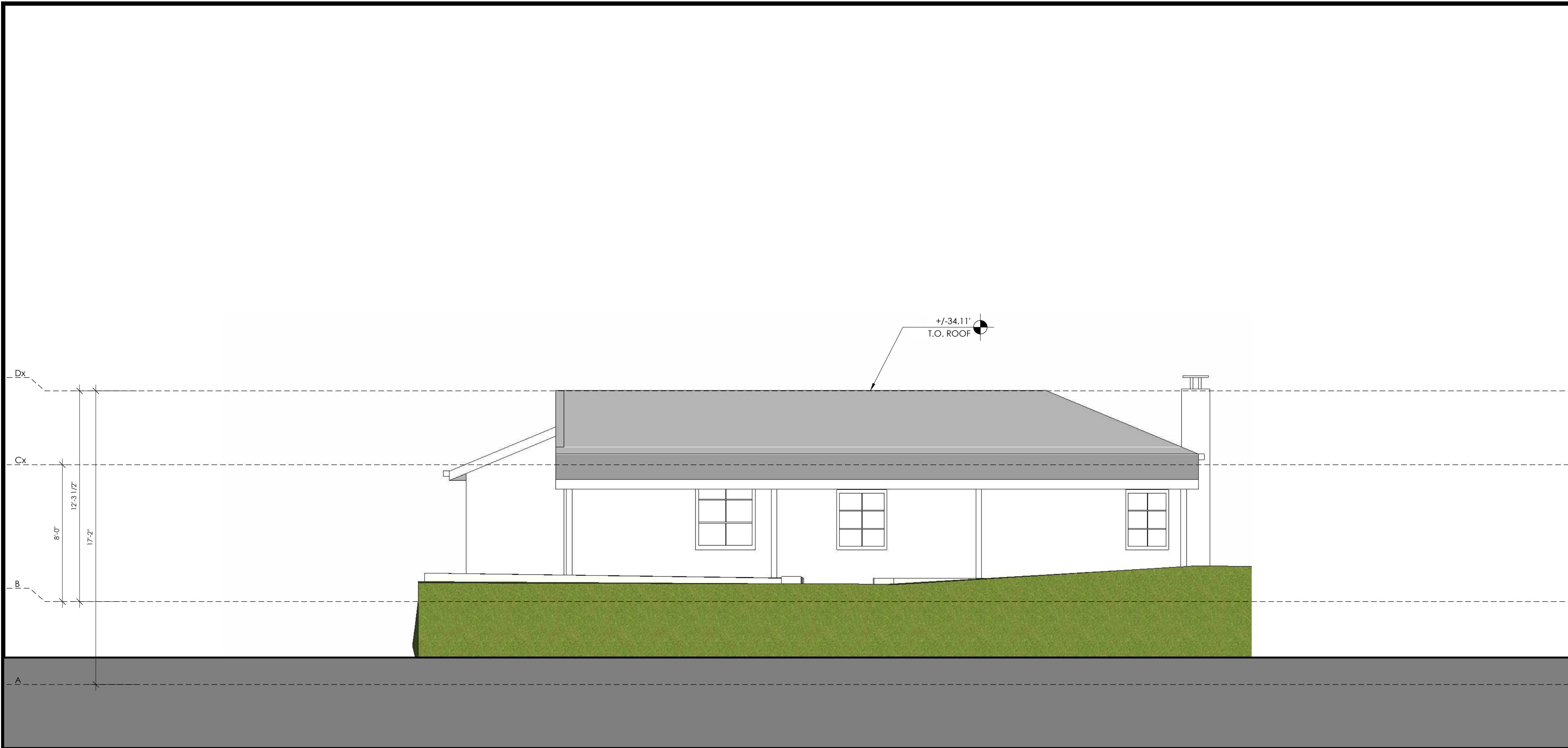
Shruti & Satya Awadhare



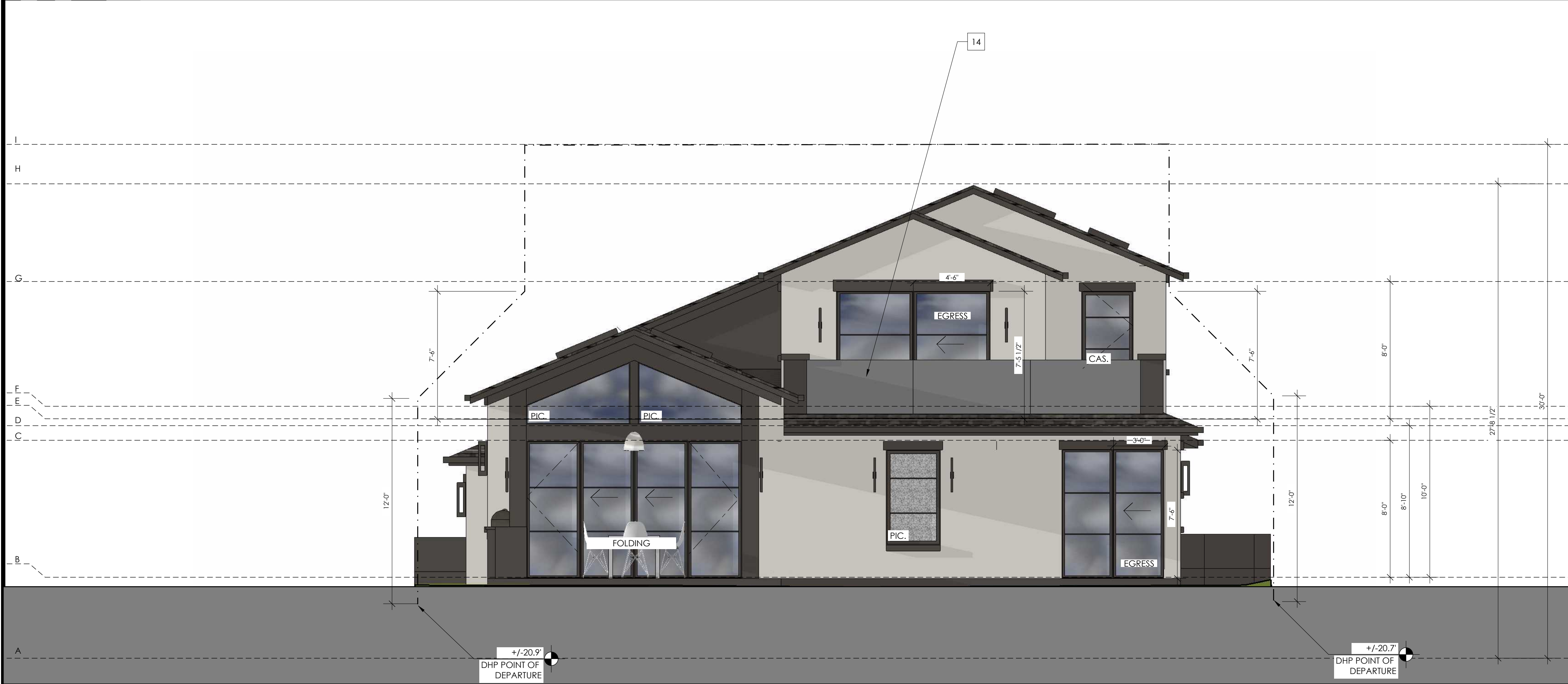
| PROJECT NO. | | MATCH CAD TITLE BLOCK | |
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| REVISION | DATE | DESCRIPTION | DRAWN BY |
| | 2024.12.12 | PLANNING PACKAGE | MBD |
| | 2024.04.01 | PLANNING SUBMITTAL 02 | MBD |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD |
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EXTERIOR
ELEVATIONS





EXISTING SOUTH-WEST ELEVATION (REAR) 1/4" 1



PROPOSED SOUTH-WEST ELEVATION (REAR) 1/4" 2

- # = NUMBER OF KEYNOTE BELOW
1. DAYLIGHT PLANE AS DEFINED BY JURISDICTION
 2. ASPHALT COMP SHINGLE ROOFING--SEE ROOF PLAN FOR MORE INFO
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KEYNOTES - -

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A AVERAGE TOP OF CURB FOR DETERMINING BUILDING HEIGHT = +/- 17.28'

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ELEVATION GRID LINE KEY -- PROPOSED BUILDING

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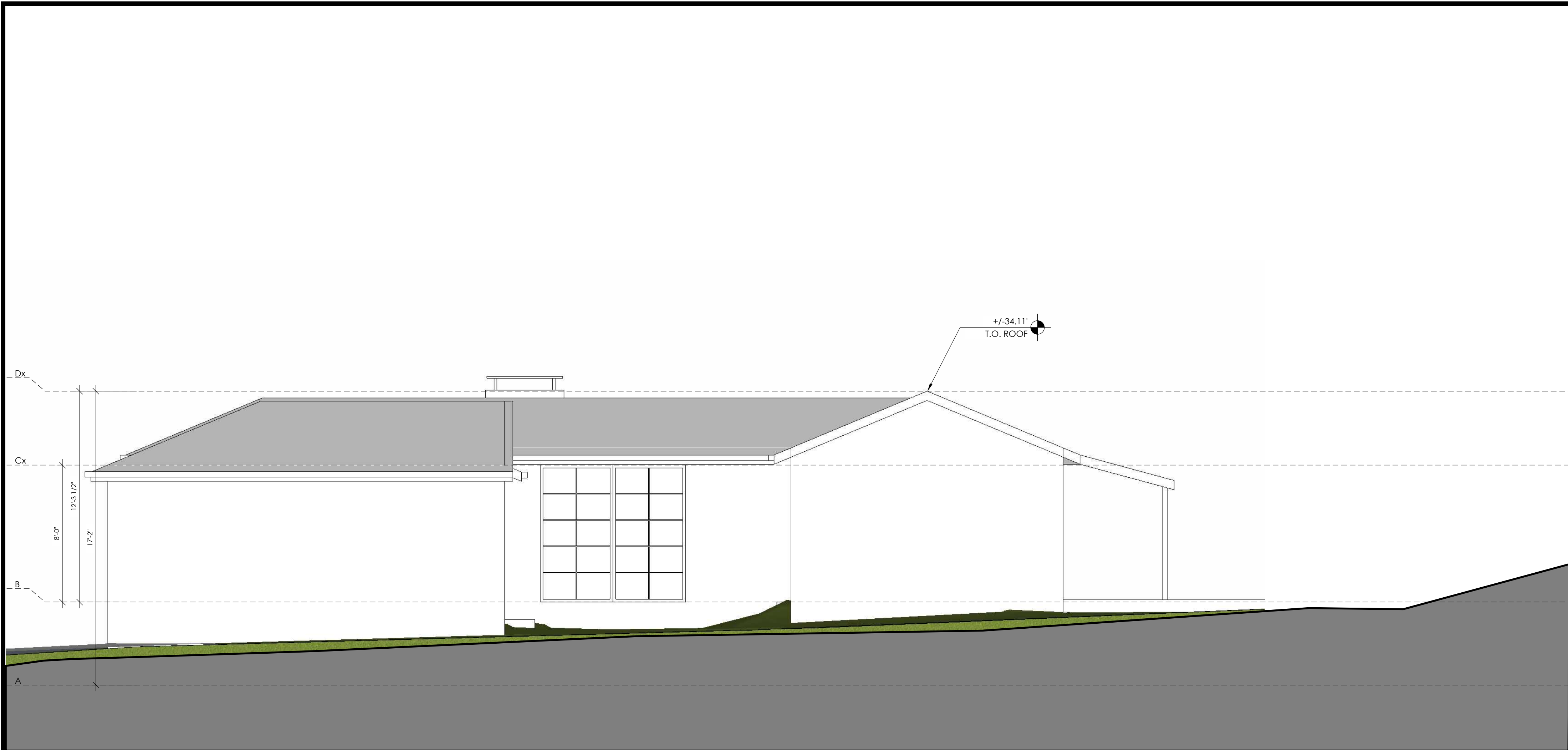
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ELEVATION GRID LINE KEY - -

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| | | 2024.12.12 | PLANNING PACKAGE | MBD |
| | | 2024.04.01 | PLANNING SUBMITTAL 02 | MBD |
| | | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD |
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EXISTING NORTH-WEST ELEVATION (RIGHT) 1/4" 1

- # = NUMBER OF KEYNOTE BELOW
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- NOTES:
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 5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3a FOR 3D MODEL VIEWS

KEYNOTES - -



PROPOSED NORTH-WEST ELEVATION (RIGHT) 1/4" 2

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- B 1ST FLOOR TOP OF STRUCTURE = +/- 22.053'
- Cx 1ST FLOOR PLATE HEIGHT (U.N.O.) = +/- 30.053'
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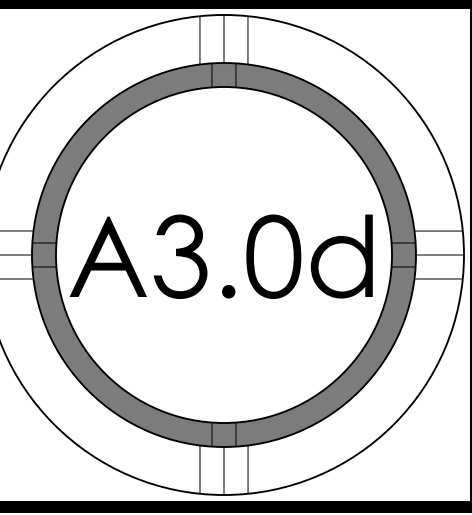
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ELEVATION GRID LINE KEY - -



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| REVISION | DATE | DESCRIPTION | DRAWN BY | DATE | DESCRIPTION | DRAWN BY | |
| | 2024.12.12 | PLANNING PACKAGE | MBD | | | | |
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| | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD | | | | |
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EXTERIOR
ELEVATIONS





PERSPECTIVE EXTERIOR REAR - 4



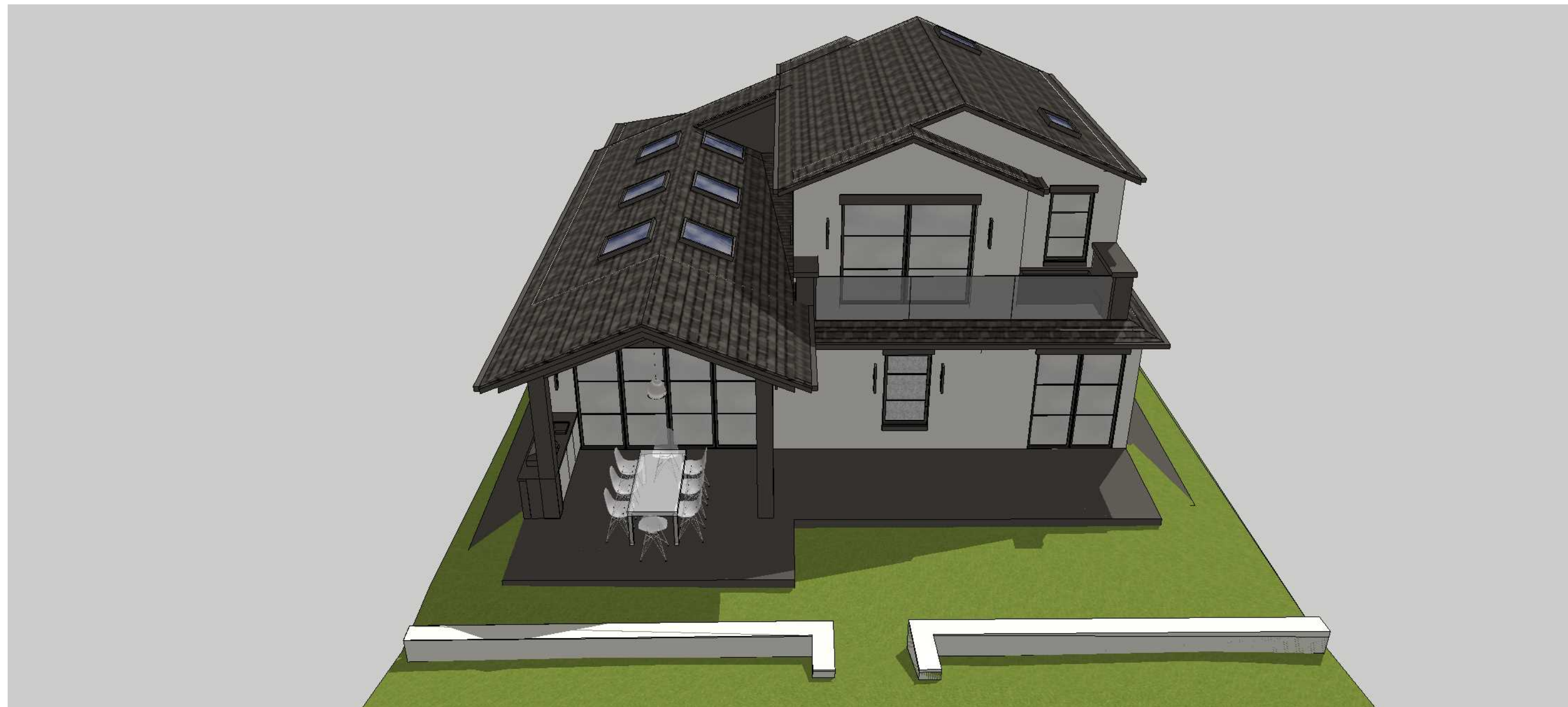
PERSPECTIVE EXTERIOR FRONT RIGHT - 1



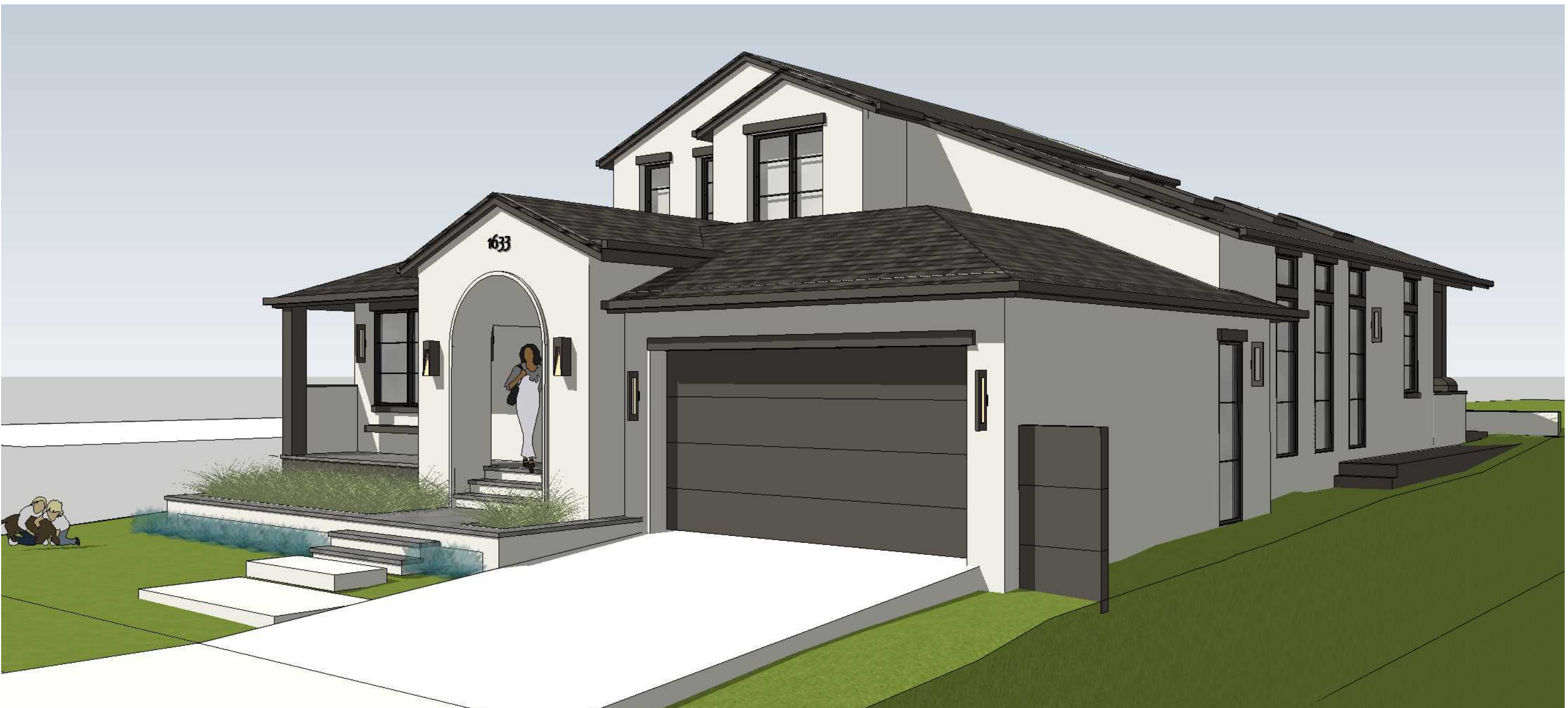
PERSPECTIVE EXTERIOR FRONT HIGH - 5



PERSPECTIVE EXTERIOR FRONT LEFT - 2



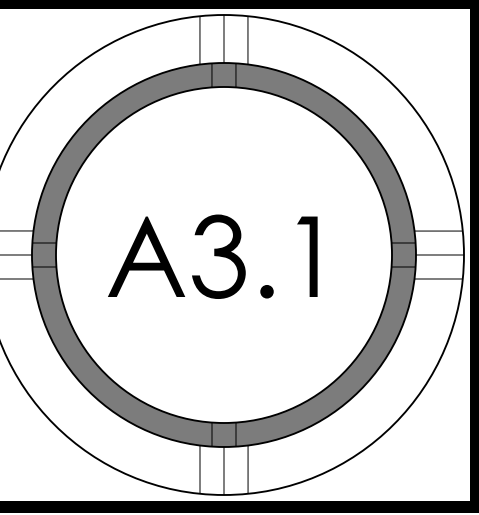
PERSPECTIVE EXTERIOR REAR HIGH - 6



PERSPECTIVE EXTERIOR FRONT RIGHT - 3



| PROJECT NO. | REVISION | DATE | DESCRIPTION | MATCH CAD TITLE BLOCK |
|-------------|----------|------------|-----------------------|-----------------------|
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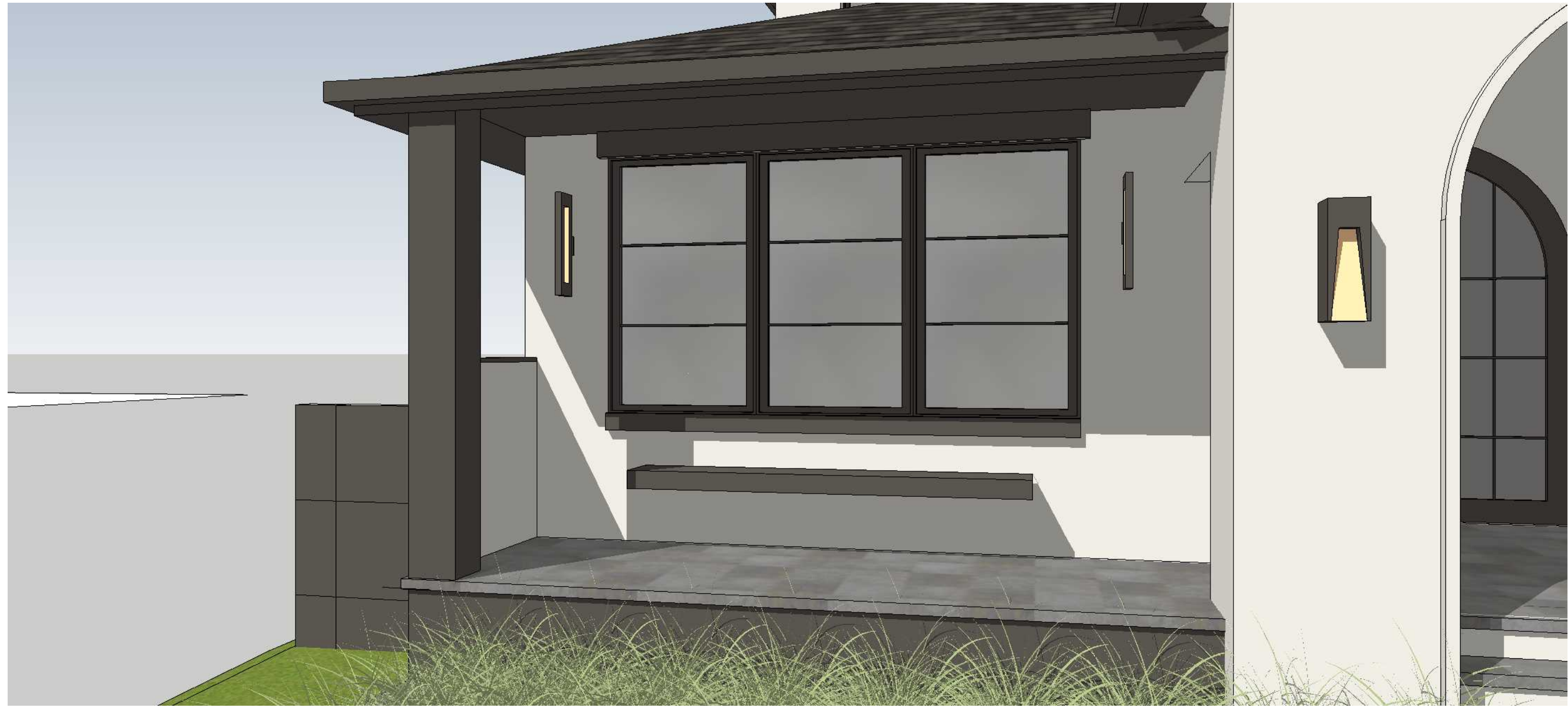




PERSPECTIVE EXTERIOR REAR PATIO -- OUTDOOR KITCHEN - 4



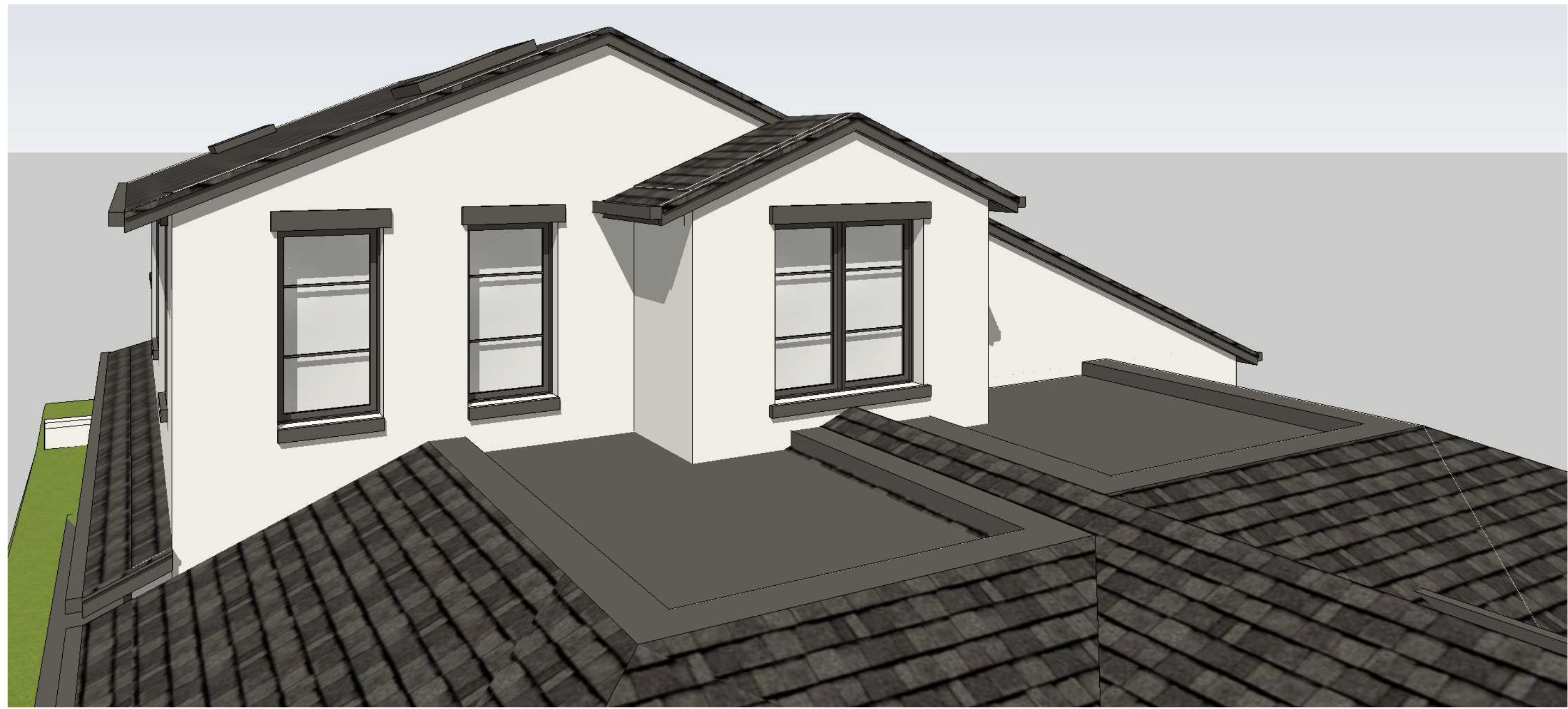
PERSPECTIVE EXTERIOR FRONT ENTRY - 1



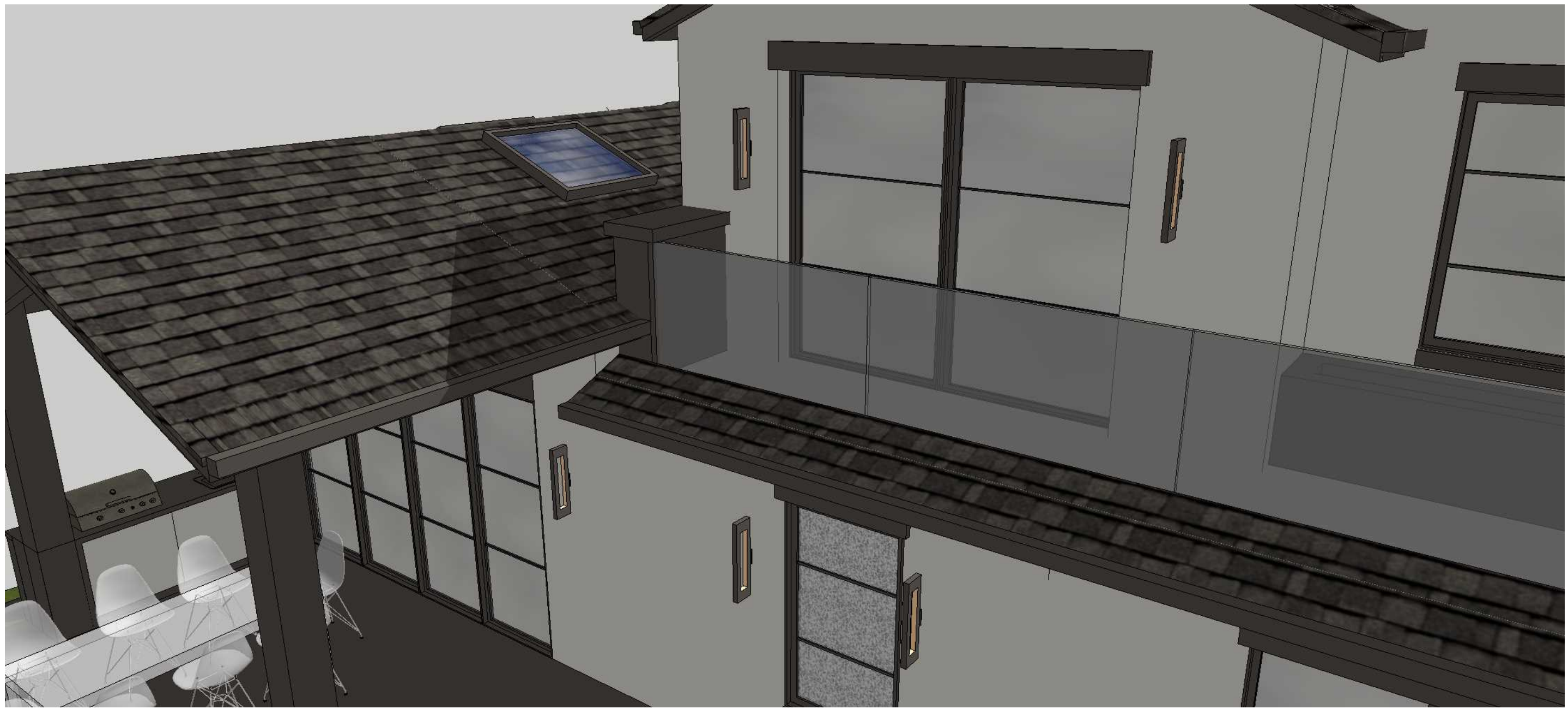
PERSPECTIVE EXTERIOR FRONT PORCH - 5



PERSPECTIVE EXTERIOR REAR PATIO - 2



PERSPECTIVE EXTERIOR -- 2ND FLOOR VIEW - 6



PERSPECTIVE EXTERIOR -- REAR BALCONY - 3

S-SQUARED

s-squared.com
1000 S Winchester Blvd
San Jose, CA 95128

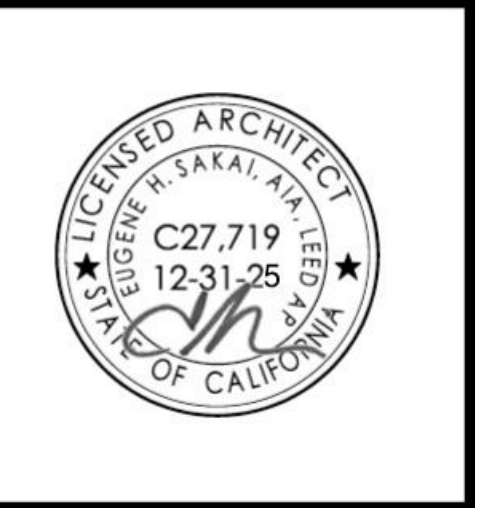
Architecture.
Interiors.
Landscapes.

AWADHARE Residence

RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

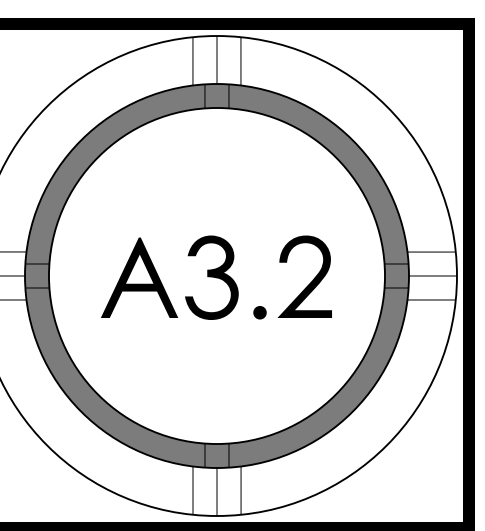
Burlingame, 1633 Westmoor road

Shruti & Satya Awadhare



| PROJECT NO. | DATE | DESCRIPTION | DRAWN BY |
|-------------|------------|-----------------------|----------|
| REVISION | 2024.12.12 | PLANNING PACKAGE | MBD |
| | 2024.04.01 | PLANNING SUBMITTAL 02 | MBD |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD |
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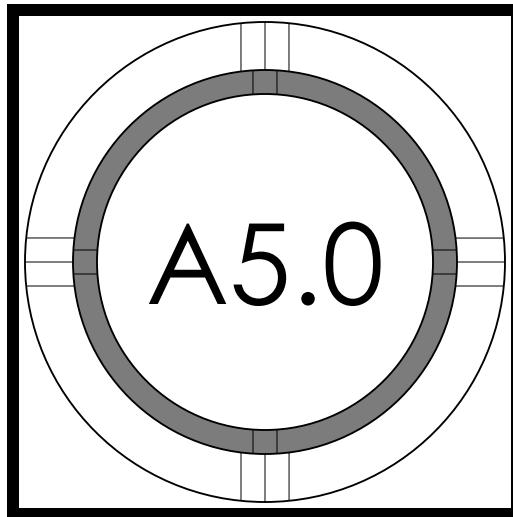
EXTERIOR
PERSPECTIVES

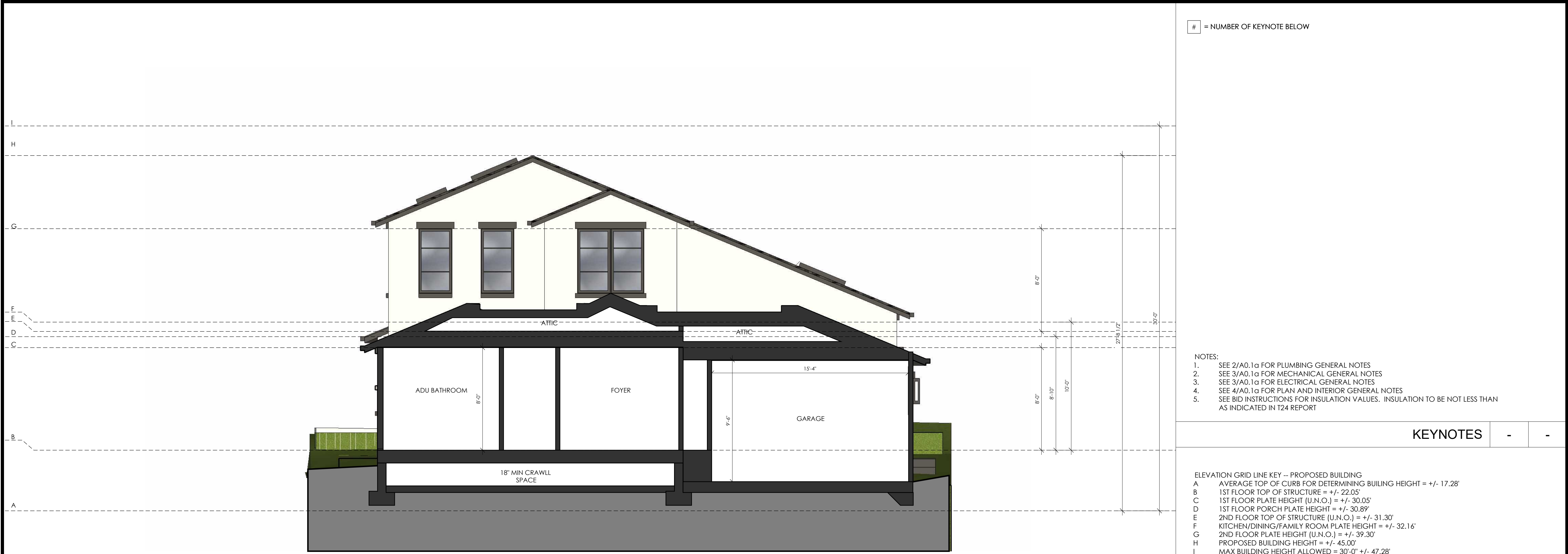




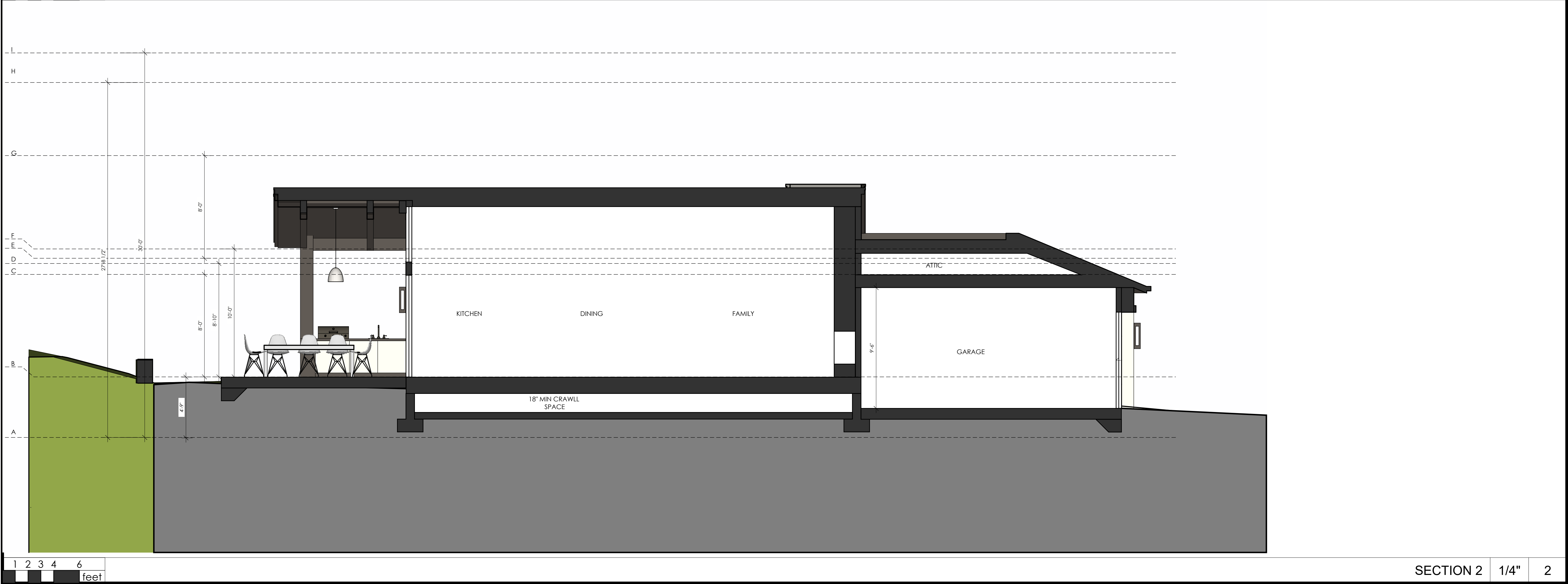
| PROJECT NO. | DATE | DESCRIPTION | DRAWN BY |
|-------------|------------|-----------------------|----------|
| REVISION | 2024.12.12 | PLANNING PACKAGE | MBD |
| | 2024.04.01 | PLANNING SUBMITTAL 02 | MBD |
| | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD |
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SECTIONS





SECTION 1 1/4" 1 ELEVATION GRID LINE KEY - -

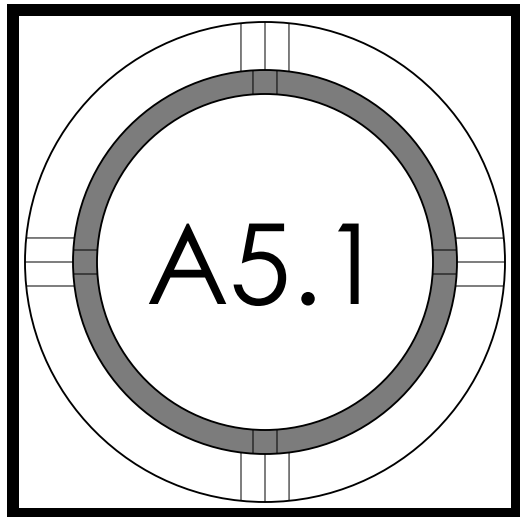


SECTION 2 1/4" 2



| PROJECT NO. | DATE | DESCRIPTION | DRAWN BY |
|-------------|------------|-----------------------|----------|
| 1 | 2024.12.12 | PLANNING PACKAGE | MBD |
| 2 | 2024.04.01 | PLANNING SUBMITTAL 02 | MBD |
| 3 | 2025.05.22 | PLANNING SUBMITTAL 03 | MBD |
| 4 | | | |
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| 7 | | | |
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| 9 | | | |
| 10 | | | |

SECTIONS



September 26, 2024

Attn: Shruti & Satyashil Awadhare
Site: 1633 Westmoor Rd, Burlingame, CA 94010

Subject: Pre-report for Tree Protection at 1633 Westmoor Rd, Burlingame, CA 94010

Dear Shruti & Satyashil Awadhare,
I am pleased to report that the anticipated site visit has been conducted as per schedule. Kielty Arborists Services LLC has executed a thorough inspection and successfully collected all necessary data. We are currently working diligently to draft the Tree Protection Plan report based on the data collected.

To ensure the accuracy and completeness of this report, we require the site plan as discussed earlier, which is to be furnished by you, the architect. This site plan is integral to our understanding of the layout and will significantly aid us in finalizing our Tree Protection Plan report to include specifics as to your site plan. Upon receiving this vital document, we will be able to swiftly conclude the report, thereby providing you with our thorough findings and tailored recommendations.

As an additional resource to facilitate the design process, we have compiled a survey along with a Definitions and Distances section. This information serves to illustrate the key concepts related to tree protection zones, potential minimum distances, and critical root zones. We believe that this will be beneficial to your understanding and will contribute meaningfully to the overall project design.

I am at your service for any further information or clarifications you may require. Please do not hesitate to get in touch with me at any time. It would be my pleasure to discuss any aspect of the project or to provide additional insights as needed.

Thank you for entrusting Kielty Arborists Services LLC with this project. We look forward to wrapping up this phase and delivering the comprehensive Tree Protection Plan report as promptly as possible.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

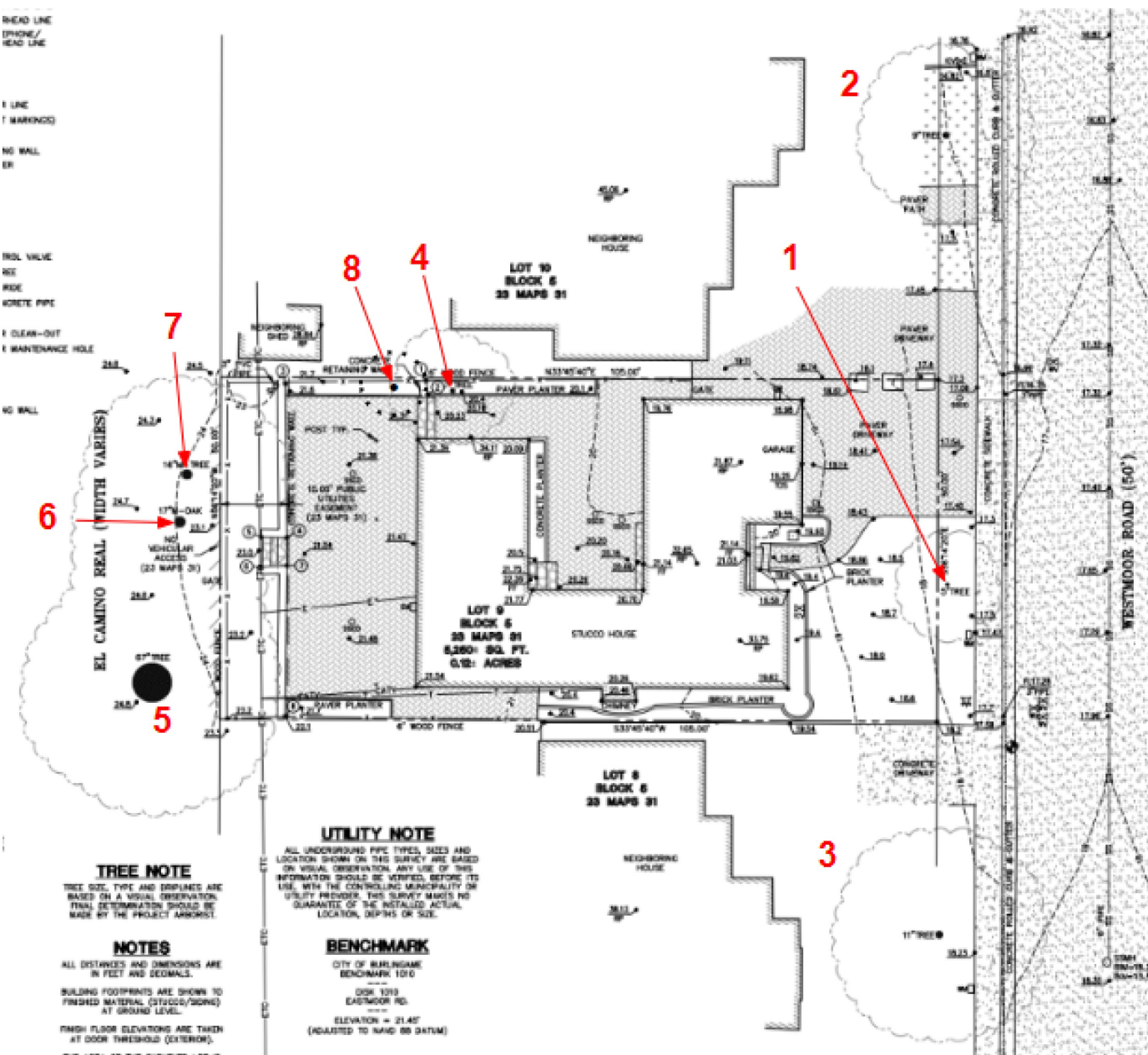
Sincerely,

David Beckham
Signature of Consultant
David Beckham
Certified Arborist
WE#10724A TRAQ Qualified
September 19, 2024



Kielty Arborist Services LLC Arborist Report

TREE MAP



Kielty Arborist Services LLC Arborist Report

TREE INVENTORY

| Tree Tag # | Protected Tree | Preserve or Remove | Common Name / Scientific Name | Trunk (in.) | Height (ft.) / Canopy Spread (ft.) | Health Rating | Structural Rating | Form Rating | Suitability for Preservation | Overall Condition (0-100%) | Summary | Tree Picture #1 |
|------------|----------------|--------------------|---|-------------|------------------------------------|---------------|-------------------|-------------|------------------------------|----------------------------|--|-----------------|
| 1 | Yes | (P) | red maple <i>Acer rubrum</i> | 5 | 20/5 | Good | Good | Good | Good | 60 | Street tree. Young tree. 5 feet from sidewalk. | |
| 2* | Yes | (P) | Ornamental pear <i>Pyrus calleryana</i> | 12 | 30/25 | Good | Fair | Good | Good | 65 | Street tree. Neighboring tree. In front lawn. | |
| 3* | Yes | (P) | red maple <i>Acer rubrum</i> | 11 | 35/20 | Good | Good | Fair | Good | 60 | Street tree. Neighboring tree. In front lawn. | |
| 4 | No | (P) | common pear <i>Pyrus communis</i> | 6,7 | 20/10 | Good | Fair | Fair | Good | 55 | At property boundary, 6 inches from patio hardscape. Codominant at 4.5 feet. Topped in past. | |
| 5 | Yes | (P) | Red iron bark eucalyptus <i>Eucalyptus sideroxylon</i> | 53 | 65/55 | Good | Poor | Fair | Fair | 45 | Behind property. In easement adjacent to El Camino Real. | |
| 6 | Yes | (P) | coast live oak <i>Quercus agrifolia</i> | 6,5,4,4,3 | 25/12 | Good | Poor | Fair | Good | 45 | Behind property. In easement adjacent to El Camino Real. | |

Kielty Arborist Services LLC Arborist Report

| Tree Tag # | Protected Tree | Preserve or Remove | Common Name / Scientific Name | Trunk (in.) | Height (ft.) / Canopy Spread (ft.) | Health Rating | Structural Rating | Form Rating | Suitability for Preservation | Overall Condition (0-100%) | Summary | Tree Picture #1 |
|------------|----------------|--------------------|---|-------------|------------------------------------|---------------|-------------------|-------------|------------------------------|----------------------------|---|-----------------|
| 7 | Yes | (P) | common cotoneaster <i>Cotoneaster insignimus</i> | 1"x14 | 25/12 | Fair | Poor | Fair | Good | 45 | Behind property. In easement adjacent to El Camino Real | |
| 8 | Yes | (P) | European plum <i>Prunus domestica</i> | 4,7 | 20/15 | Fair-Poor | Poor | Poor | Fair | 35 | 6 inches from patio hardscape. Codominant at 3.5 feet. Deadwood. Covered in ivy vine. Turkey tail fungi on lateral limbs. Die back. Topped in past. | |

An (*) next to the tree tag number indicates a neighboring tree.

AWADHARE Residence
RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

Burlingame, 1633 Westmoor Road

Shruti & Satya Awadhare

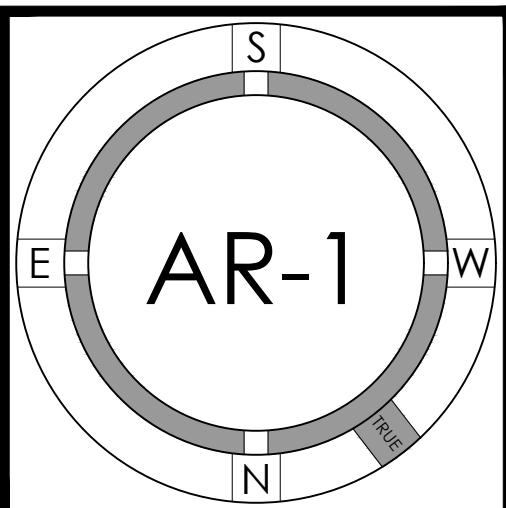


FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

| PROJECT NO. | DATE | DESCRIPTION | DRAWN BY |
|-------------|------------|------------------|----------|
| 24-029 | 2024.12.12 | PLANNING PACKAGE | AF/MBL |
| REVISION | | | |
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ARBORIST

REPORT



DEFINITIONS AND DISTANCES

The Tree Protection Zone (TPZ) refers to a radius spanning from the external surface of the trunk measured at 54" above grade. It is possible to find many, but certainly not all, of the tree's roots in this area, which are essential for its biological functioning and structural stability. Any activity occurring in the TPZ or within the confines of the Tree Protective Zone (TPZ) needs to adhere to the work scheme endorsed by the Project Arborist. This may necessitate the Arborist's supervision. The TPZ is determined by multiplying the diameter of the trunk by ten (10 X DBH / 12).

The Arborist Minimum Distance (AMD) denotes a radius calculated from the trunk measured at 54" above grade. This zone is likely to house a significant portion of the tree's roots, which are crucial for its biological and structural support. This is deemed "Arborist Minimal Distance" pending agreement by the Project Arborist and/or City Arborist. All activities within the AMD must conform to the work plan approved by the Project Arborist, which might include the Arborist's supervision. The AMD is determined by multiplying the trunk diameter by six ($6 \times \text{DBH} / 12$) for a cut made on just one side of the tree, ensuring the remaining roots are undisturbed and uncut. The Project Arborist must supervise all activities within the AMD when roots equal to or larger than 2 inches in diameter ($\geq 2"$) are encountered.

The Critical Root Zone (CRZ) is a radius measured from the trunk measured at 54" above grade. It likely houses the majority of the tree's supportive roots responsible for its physical stability. The CRZ is calculated as the trunk diameter multiplied by three ($3 \times \text{DBH} / 12$) for a cut made along one side of the tree. Any activities within the CRZ are not advised.

METHOD OF INSPECTION

The inspections were conducted from the ground without climbing the trees. No tissue samples or root crown inspections were performed. The trees under consideration were identified based on the provided site plan. To assess the trees, their diameter at 54 inches above ground level (DBH or diameter at breast height) was measured using a D-Tape. For the surveying of multi-trunk trees, our methodology aligns with city ordinances. In cases where the city does not offer specific guidelines for measuring multi-trunk trees, we adhere to the standards outlined in the "Guide for Plant Appraisal, 10th Edition, Second Printing" by the Council of Tree and Landscape Appraisers. Additionally, the protected trees were evaluated for their health, structure, form, and suitability for preservation with the following explanation of the ratings:

ASSUMPTIONS AND LIMITING CONDITIONS

- **Legal Descriptions and Titles:** The consultant/arbtorist assumes the accuracy of any legal description and titles provided. No responsibility is assumed for any legal due diligence. The consultant/arbtorist shall not be held liable for any discrepancies or issues arising from incorrect legal descriptions or faulty titles.
- **Compliance with Laws and Regulations:** The property is assumed to be in compliance with all applicable codes, ordinances, statutes, or other government regulations. The consultant/arbtorist is not responsible for identifying or rectifying any non-compliance.
- **Reliability of Information:** Though diligent efforts have been made to obtain and verify information, the consultant/arbtorist is not responsible for inaccuracies or incomplete data provided by external sources. The client accepts full responsibility for any decisions or actions taken based on this data.
- **Testimony or Court Attendance:** The consultant/arbtorist has no obligation to provide testimony or attend court regarding this report unless mutually agreed upon through separate written agreements, which may incur additional fees.
- **Report Integrity:** Unauthorized alteration, loss, or reproduction of this report renders it invalid. The consultant/arbtorist shall not be liable for any interpretations or conclusions made from altered reports.
- **Restricted Publication and Use:** This report is exclusively for the use of the original client. Any other use or dissemination, without prior written consent from the consultant/arbtorist, is strictly prohibited.
- **Non-disclosure to Public Media:** The client is prohibited from using any content of this report, including the consultant/arbtorist's identity, in any public communication without prior written consent.
- **Opinion-based Report:** The report represents the independent, professional judgment of the consultant/arbtorist. The fee is not contingent upon any predetermined outcomes, values, or events.
- **Visual Aids Limitation:** Visual aids are for illustrative purposes and should not be considered precise representations. They are not substitutes for formal engineering, architectural, or survey reports.
- **Inspection Limitations:** The consultant/arbtorist's inspection is limited to visible and accessible components. Non-invasive methods are used. There is no warranty or guarantee that problems will not develop in the future.

ARBORIST DISCLOSURE STATEMENT

Arborists specialize in the assessment and care of trees using their education, knowledge, training, and experience.

- **Limitations of Tree Assessment:** Arborists cannot guarantee the detection of all conditions that could compromise a tree's structure or health. The consultant/arborist makes no warranties regarding the future condition of trees and shall not be liable for any incidents or damages resulting from tree failures.
- **Remedial Treatments Uncertainty:** Remedial treatments for trees have variable outcomes and cannot be guaranteed.
- **Considerations Beyond Scope:** The consultant/arborist's services are confined to tree assessment and care. The client assumes responsibility for matters involving property boundaries, ownership, disputes, and other non-arboricultural considerations.
- **Inherent Risks:** Living near trees inherently involves risks. The consultant/arborist is not responsible for any incidents or damages arising from such risks.

EVALUATION FIELDS:

| | |
|---|--|
| Tree Tag #: Identification number for individual trees. | Protected Tree: Specifies whether the tree is protected by the city or county ordinance. |
| Height (ft.) / Canopy Spread (ft.): Measures both the height of the tree and the spread of its canopy. | Trunk (in.): Measures the primary trunk's diameter at the required height. |
| Comments: Any additional notes or observations about the tree. | Tree Picture: A photograph of the tree for visual assessment and record-keeping. |
| Preserve or Remove: Indicates the recommended action based on the tree's condition. | Common Name / Scientific Name: Specifies the name of the tree, both in common terms and scientific nomenclature. |
| If more than 1 Trunks, Total Diameter: If the tree has multiple trunks, this field indicates the combined diameter of all trunks. | 6-8, 10 Times the Diameter (ft.): Provides calculations based on the diameter to assist in various tree protection requirements. |

Appraised Value:

An unbiased estimate of the tree's worth is performed in accordance with the current edition of the Guide for Plant Appraisal by the Council of Tree and Landscape Appraisers.

*Note that not all fields may be provided for every tree. Some might be left blank due to various reasons, such as lack of accessibility to the tree, incomplete data, or the parameter not being applicable for a particular tree.

| | |
|---|---|
| <p>Tree Structure Ratings:</p> <p>Poor: Major uncorrectable structural flaws present; significant dead wood, decay, or multiple trunks; potentially hazardous lean.</p> <p>Fair: Structural flaws exist but less severe; issues like slight lean and crowding on trunk; some uncorrectable issues through pruning.</p> <p>Good: Minor flaws; mainly upright trunk, well-spaced branches; flaws correctable through pruning; symmetrical or mostly symmetrical canopy.</p> | <p>Tree Health Ratings:</p> <p>Poor: Minimal new growth; significant dieback and pest infestation expected not to reach natural lifespan.</p> <p>Fair: Moderate new growth; canopy density 60-90%; potential external threats; not in decline but vulnerable.</p> <p>Good: Vigorous growth; healthy foliage; 90-100% canopy density; expected natural lifespan.</p> |
| <p>Suitability for Preservation:</p> <p>Poor: Adds little to landscape; poor health and potential hazards; unlikely to survive construction impacts.</p> <p>Fair: Contributes to landscape; survival possible with protection during minor construction impacts.</p> <p>Good: Valuable landscape asset; likely survival during minor to moderate construction impacts with protection.</p> | <p>Tree Form Ratings:</p> <p>Poor: Highly asymmetric or abnormal form; visually unappealing; little landscape function.</p> <p>Fair: Significant asymmetries; deviation from species norm; compromised function or aesthetics.</p> <p>Good: Near ideal form; minor deviations; consistent aesthetics and function in landscape.</p> |

| Overall Condition Ratings: | |
|----------------------------|--------|
| Very Poor | 1-29 |
| Poor | 30-49 |
| Fair | 50-69 |
| Good | 70-89 |
| Excellent | 90-100 |

The trees were assigned a condition rating based on a combination of existing tree health, tree structure, and tree form using the following scale.

- **Client's Responsibility:** The client is responsible for considering the information and recommendations provided by the consultant/arborist and for any decisions made or actions taken.

The client acknowledges and accepts these Assumptions and Limiting Conditions and Arborist Disclosure Statement, recognizing that reliance upon this report is at their own risk. The consultant/arborist disclaims all warranties, express or implied.

CERTIFICATION

I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.

David Beckham
Signature of Consultant
David Beckham
Certified Arborist
WE#10724A TRAQ Qualified
September 26, 2024



FOR PERMIT REVIEW ONLY--NOT FOR CONSTRUCTION

S-SQUARED

Architecture.
Interiors.
Landscape.

AWADHARE Residence

RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

Burlingame, 1633 Westmoor Road

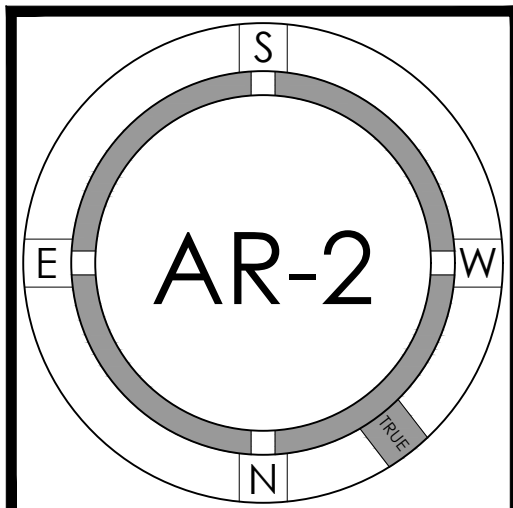
Shruti & Satya Awadhare



| PROJECT NO. | | DATE | DESCRIPTION | 24-029 |
|-------------|--|------------|------------------|--------------------|
| REVISION | | 2024.12.12 | PLANNING PACKAGE | DRAWN BY AF/MBD |
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ARBORIST

REPORT



LEGEND AND NOTES

| | |
|------------|---|
| --- | BOUNDARY LINE |
| ---CATV--- | CABLE TV OVERHEAD LINE |
| --- | ELECTRICAL OVERHEAD LINE |
| --- | TELEPHONE OVERHEAD LINE |
| --- | ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE |
| --- | EASEMENT |
| --- | FENCE LINE |
| --- | FLOW LINE |
| SS | SANITARY SEWER LINE |
| G | GAS LINE (PAINT MARKINGS) |

| | |
|--------|---------------------------------|
| BW | BENCHMARK |
| EM | BOTTOM RETAINING WALL |
| FF | ELECTRICAL METER |
| FF | FINISH FLOOR |
| FF | FIRE HYDRANT |
| FL | FLOW LINE |
| GM | GAS METER |
| INV | INVERT |
| ICV | IRRIGATION CONTROL VALVE |
| M | MULTI-TRUNK TREE |
| PVC | POLYVINYL CHLORIDE |
| RCP | REINFORCED CONCRETE PIPE |
| RP | ROOF PEAK |
| SSCO | SANITARY SEWER CLEAN-OUT |
| SSMH | SANITARY SEWER MAINTENANCE HOLE |
| SP | STAND PIPE |
| TC | TOP OF CURB |
| TOS | TOP OF SLAB |
| TW | TOP OF RETAINING WALL |
| WM | WATER METER |
| WV | WATER VALVE |
| XXX.XX | SPOTGRADE |

| |
|----------|
| ASPHALT |
| BRICK |
| CONCRETE |
| LAWN |
| PAVERS |
| STONE |

RETAINING WALL SPOTGRADES

| | | | |
|---|---------|---|---------|
| 1 | 21.61TW | 5 | 23.48TW |
| 2 | 20.41BW | 6 | 22.98BW |
| 3 | 21.63TW | 7 | 23.52TW |
| 4 | 20.43BW | 8 | 22.92BW |
| 5 | 23.43TW | | |
| 6 | 21.63BW | | |
| 7 | 23.48TW | | |
| 8 | 21.63BW | | |

FEMA FLOOD NOTE

FLOOD ZONE: X (SHADED)

AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH DEPTHS OF LESS THAN 1 FOOT OR DRAINAGE AREAS LESS THAN 1 SQUARE MILE

FEMA FLOOD INSURANCE RATE MAP
NO.: 06081C0134F
EFFECTIVE DATE: APRIL 5, 2019

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY STEWART TITLE COMPANY
ORDER NO. 2259296
DATED FEBRUARY 9, 2024.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS 5,250± SQUARE FEET / 0.12± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

BENCHMARK

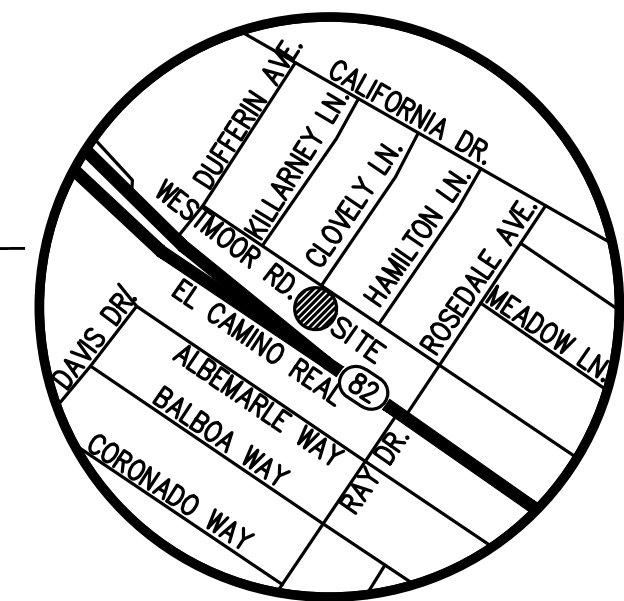
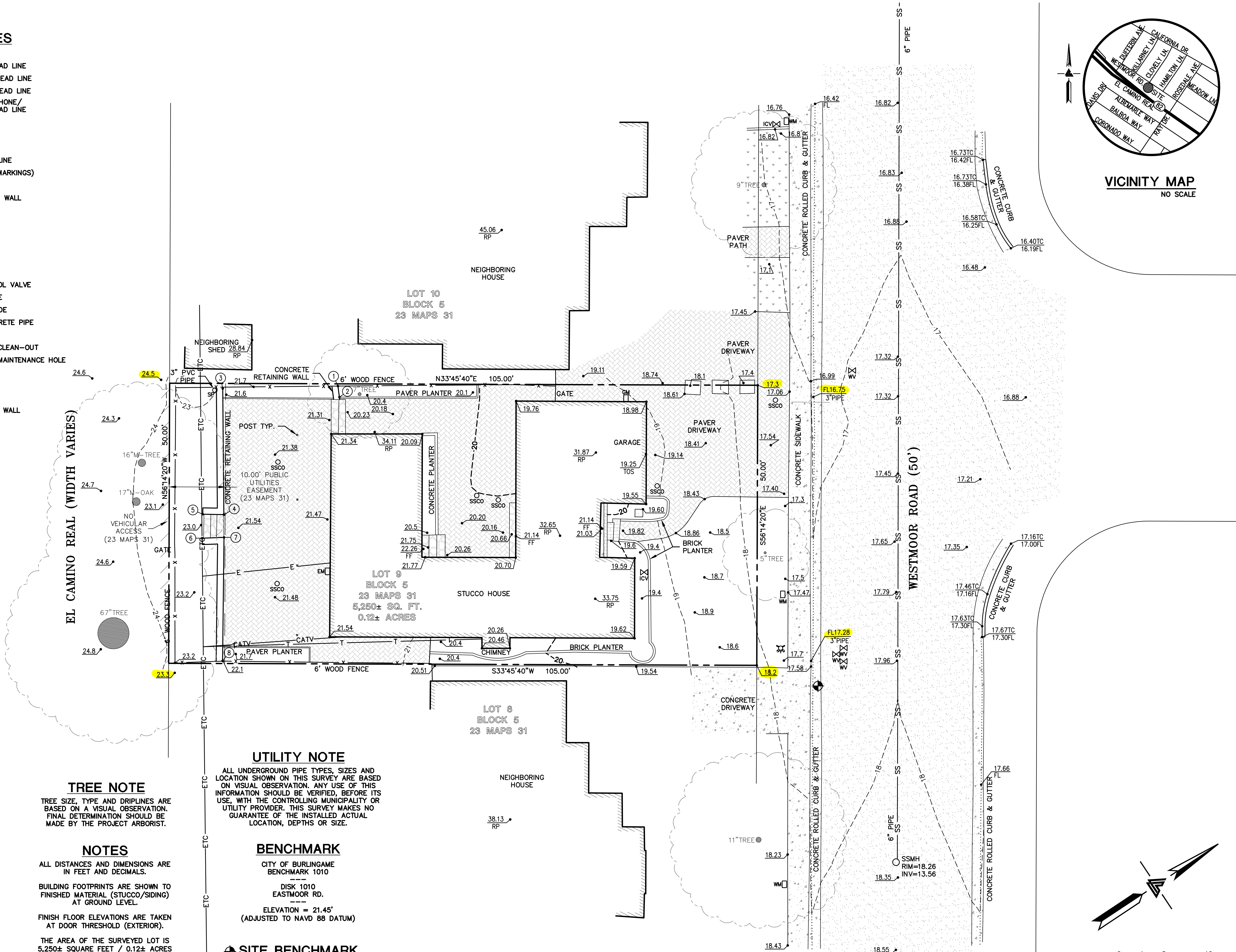
CITY OF BURLINGAME
BENCHMARK 1010

DISK 1010
EASTMOOR RD.

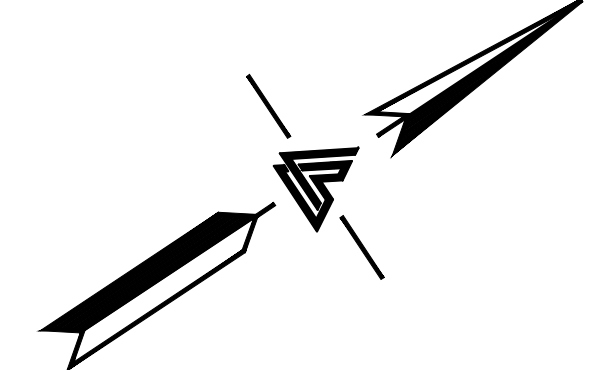
ELEVATION = 21.45'
(ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

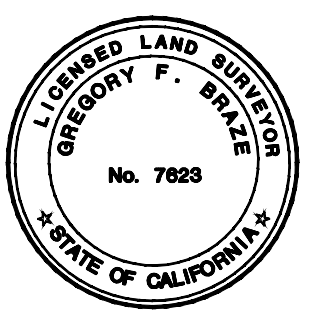
SURVEY CONTROL POINT
CUT CROSS IN CONCRETE
ELEVATION = 17.42'
(ADJUSTED TO NAVD 88 DATUM)



VICINITY MAP
NO SCALE



0 4 8 16
SCALE: 1" = 8'



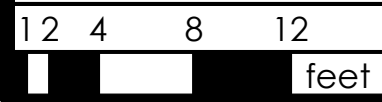
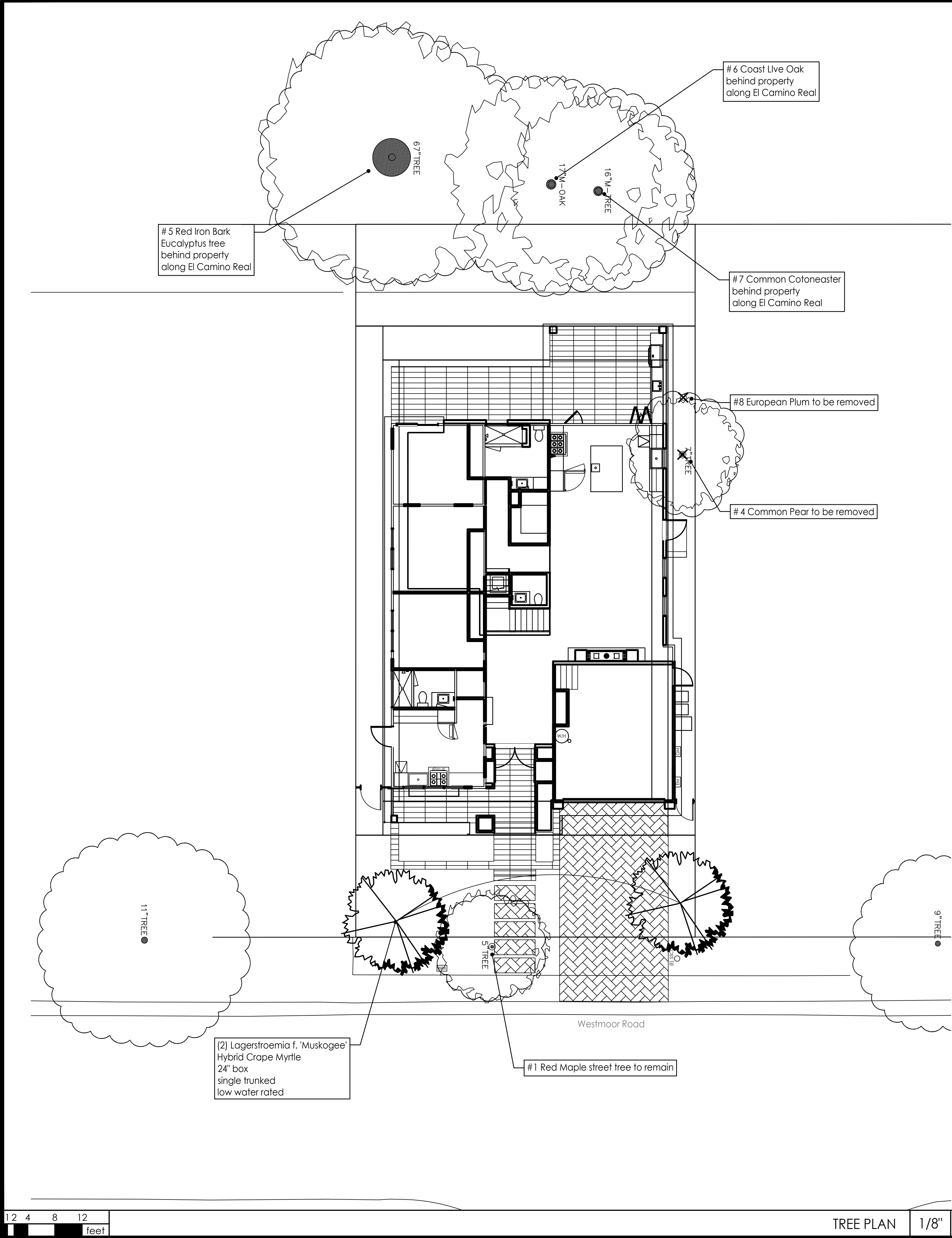
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
MAIN OFFICE: 2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4066
WWW.LEABRAZE.COM

1633 WESTMOOR ROAD
BURLINGAME
CALIFORNIA

TOPOGRAPHIC SURVEY

| | |
|-----------|---------|
| REVISIONS | BY |
| JOB NO: | 2241658 |
| DATE: | 8-30-24 |
| SCALE: | 1"=8' |
| BNDY BY: | KR |
| FIELD BY: | JC |
| DRAWN BY: | KF |
| SHEET NO: | |

SU1



TREE PLAN 1/8" 1

See arborist report by Kielty Arborists Services, LLC for existing trees.

Tree Planting

As recommended by City of Burlingame

Dig the planting hole: Before digging locate all underground utilities and pipes such as water, gas and electrical. The planting hole needs to be only as deep as the container of the tree allowing for the root ball to sit 1 to 2 inches above the finished grade. The bottom of the hole should be compacted to ensure root ball will not settle. The hole should be at least twice the diameter of the container and the sides should be scored or sloped rather than vertical.

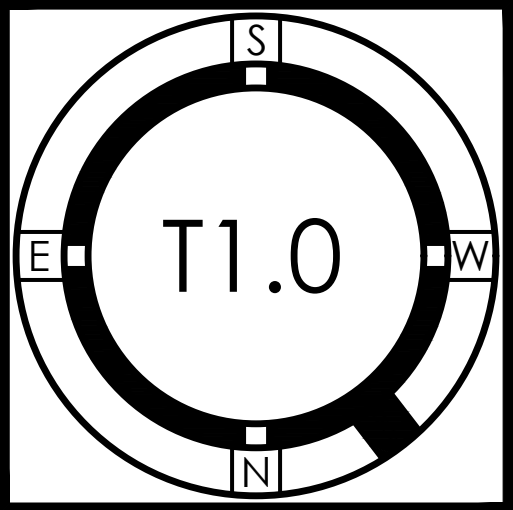
Tree Preparation: The tree purchased should be of good quality. Inspect the container before purchase for girdling, circling or twisted roots. Remove tree from container and prune any broken, circling or girdling roots. Roots matted along the sides and bottom of a container can be cut and spread apart. Remove any dead limbs and correct any structural defects such as multiple leaders.

Planting: Lightly compact bottom of the hole to avoid settling. Place tree in the hole and check depth to make sure that the final height of the root ball is 1 to 2 inches above grade. Check that the trunk is straight.

Backfilling: Soil from the hole should be satisfactory for backfill. If it is of poor quality, amendments may be added. Amended soil has not shown any significant benefits from native soil. Place backfill evenly around root ball and lightly compact and add water to eliminate air pockets. Any excess soil can be used to form a berm around the edge of the hole to hold in water.

Staking: Staking a newly planted tree protects the trunk, anchors the roots and supports the crown. Use a 2-inch round lodge pole stake (3 inch for 24" box size trees) and if possible, place it on the windward side of the tree for support. The stake should be place outside the root ball and 2 to 3 inch rubber ties should be installed with a twist and nailed back to the stake. Staking the tree too loosely will not support the tree; staking to tightly will not allow the tree to flex in the wind and develop a taper to support the tree. Staking is only a temporary treatment and the stake should be removed after 1 to 2 years.

Mulching: Place 3 to 4 inches of organic mulch around the tree to retain moisture. Avoid piling on mulch against the trunk of the tree.



TREE PLAN

| PROJECT NO. | | DATE | DESCRIPTION | DATE | REVISION |
|-------------|--|------------|------------------|------|----------|
| 24-029 | | 2024.12.12 | PLANNING PACKAGE | | |
| DRAWN BY | | | | | |
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AWADHARE Residence

RENOVATION / ADDITION TO EXISTING SINGLE FAMILY HOUSE

Burlingame, 1633 Westmoor Road

Shruti & Satya Awadhare

S-SQUARED

Architecture.
Interiors.
Landscape.

s-squared.com
1000 S Winchester Blvd
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