

# ECC FEATURES SUMMARY

## ECC FEATURE SUMMARY:

- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD
- MINIMUM AIRFLOW
- VERIFIED SEER/SEER2
- VERIFIED REFRIGERANT CHARGE
- FAN EFFICACY WATTS/ CFM
- VERIFIED HSPF2
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- DUCT LEAKAGE TESTING

## ABBREVIATIONS

&	And	EXH	Exhaust	PBD	Particle Bd.
d	Penny	EXP	Expansion	PFB	Prefabricate(d)
∠	Angle	EXPO	Exposed	PL	Plate (line)
@	At	EXT	Exterior	PLAS	Plaster
C	Center line	FBO	Furnished by	PLYWD	Plywood
O	Dia. or round	Owner	PNL	Panel(ing)	
⊥	Perpendicular	FDN	Foundation	PNT	Paint(ed)
#	Pound or No.	FIN	Finish	PR	Pair
		FL	Floor (line)	PRCST	Pre Cast
AB	Anchor Bolt	FLASH	Flashing	PT	Pressure Treated
ABV	Above	FLOUR	Fluorescent		
AC	Asphalt Conc.	FLX	Flexible	QT	Quarry Tile
ACOUS	Acoustical	FOC	Face of Conc.		
ADH	Adhesive	FOF	Face of Fin.	R	Riser
ADJ	Adjustable	FOX	Face of Stud	RAD	Radius
AGG	Aggregate	FO	Finished Opening	REINF	Reinforce
AL	Aluminum	FPL	Fireplace	RELO	Relocate
AP	Access Panel	FTG	Footing	REMO	Remove
APX	Approximate	FURR	Furring	REQD	Required
		FUT	Future	RESIL	Resilient
				RO	Rough Opeing
				RWD	Redwood
BD	Board	GA	Gauge		
BEL	Below	GALV	Galvanized		
BLK	Block(ing)	GB	Grab Bar	SSD	See Struct. Dwg.
BM	Beam	GI	Grab Iron	SH	Shelf
BOT	Bottom	GL	Glass/Glazing	SHR	Sheathing
BRK	Brick	GR	Grade (Ground)	SIM	Similar
BS	Both Sides	GY	Gypsum	SLR	Sealer
BTWN	Between			SPEC	Specification
				SQ	Square
				SLD	Standard
				S. STL	Stainless Steel
CAB	Cabinet	HBD	Hard Board		
CEM	Cement	HD	Heavy Duty		
CER	Ceramic	HDR	Header		
CI	Cast Iron	HWD	Hardware		
CLG	Caulking	HOR	Horizontal	SUSP	Suspended
CLKG	Caulking			SYM	Symmetrical
CLR	Clear	INT	Interior		
CMU	Conc. Mas. Unit	INSUL	Insulation	T	Tread
CNTR	Counter			TB	Towel Bar
COL	Column	JST	Joist	TEMP	Tempered
COMPO	Composition	JT	Joint	T&G	Tougue & Groove
CONC	Concrete			THRU	Through
CONN	Connect(ion)	LAM	Laminate	TOS	Top of Surface
CONST	Construction	LT	Light	TPD	Toilet Paper
CONT	Continuous	LVR	Louver		
CPT	Carpet			TYP	Typical
		MAS	Masonry		
		MC	Medicine Cabinet	UON	Unless Otherwise
DBL	Double	MECH	Mechanical	MECH	Noted
DEMO	Demolish	MEMB	Membrane	UNF	Unfinished
DF	Douglas Fir	MFR	Manufacturer		
DIA	Diameter	MIR	Mirror	VERT	Vertical
DIAG	Diagonal	MNT	Mount(ed)	VG	Vert. Grain
DN	Down	MTL	Metal		
DR	Door			WB	White Brothers
DS	Down Spout			WD	Wood
DRA	Drawer	NIC	Not in	WDW	Window
		NTS	Not to Scale	WI	Wrought Iron
EA	Each			W/O	With (out)
EL	Elevation			WP	Waterproof
ELEC	Electrical	O/	Over	WR	Water Resistant
ENCL	Enclosure	OC	On Center	WSCT	Wainscot
EQ	Equal	OPNG	Opening		
EQPT	Equipment	OPP	Opposite		
EW	Each Way				
(EX)	Existing	P	Plastic		
		PAR	Parallel		

## REFERENCE SYMBOLS

	GRID LINE REFERENCE
	BLDG & WALL SECTION REFERENCE
	EXTERIOR ELEVATION REFERENCE
	INTERIOR ELEVATION REFERENCE
	TITLE SYMBOLS
	EXT. DOOR & WINDOW SYMBOL
	INTERIOR DOOR SYMBOL
	REVISION SYMBOLS
	COLOR / MATERIAL SYMBOL
	ROOM REFERENCE
	MATCH LINE, SHADED SIDE IS CONSIDERED
	PROPERTY LINE
	SETBACK LINE
	EXISTING CONTOURS
	NEW OR FINISHED CONTOURS
	TOP OF WALL
	TOP OF CURB
	TOP OF PAVEMENT
	FIXTURE OR EQUIPMENT SYMBOL

## ELECT/MECH SYMBOLS

	Duplex convenience outlet & plate
	Floor convenience outlet
	GFI duplex convenience outlet
	Fourplex outlet
	Duplex conv. outlet, 1/2 hot, 1/2 switched
	220V amerage as per equipment
	GFI/W.P. weatherproof outlet
	Flush mounted floor & ceiling outlet
	Junction box
	Television outlet
	Telephone outlet & plate
	Flood light
	Ceiling fixture
	Wall light
	Porcelain receptacle w/ pull chain
	Indirect cove lighting
	Recessed ceiling can lights
	4" recessed low voltage w/ directional trim
	Recessed ceiling light
	Waterproof ceiling fan/light & plate
	Recessed waterproof exterior up light
	Single pole switch
	3 way switch
	Switch w/ dimmer
	Door activated switch
	Motion detector
	Timer (switch)
	Vacancy sensor w/ dimmer "manual on"
	Vacancy sensor "manual on"
	Weatherproof switch
	Countertop air switch
	Doorbell pushbutton
	Chime
	Smoke detector
	Thermostat
	Special outlet
	Instant start florescent light
	Landscape light
	Electrical panel board
	Existing
	Delete existing
	Replace existing
	Gas outlet
	Hose bib
	Ceiling/floor supply register
	Ceiling/floor return register
	Wall diffuser
	T.V./Computer Outlet
	Central vacuum inlet
	Automatic garage door switch
	Alarm control keypad

## BUILDING DATA

APN #: :026-033-100

LOT AREA: : 6,000 SQ.FT.

MAX ALLOWABLE FAR =  
 FAR = (LOT SIZE X 32%) + 1,100 SQ.FT. = MAX FAR SQ.FT.  
 (6,000 SQ.FT. X 32%) + 1,100 SQ.FT. = MAX FAR SQ.FT.  
 (1,920 SQ.FT.) + 1,100 SQ.FT. = 3,020 SQ.FT.

(E/N) FAR  
 (E/N) 1ST FLOOR = 1,513 SQ.FT.  
 (N) 2ND FLOOR = 1,429 SQ.FT.  
 (E) GARAGE (NOT COUNTED) = 305 SQ.FT.  
 (N) ADU (NOT COUNTED) = 537 SQ.FT.  
 TOTAL : = 2,942 SQ.FT.

MAX ALLOWABLE FAR 3,020 SQ.F.T  
 MAX ALLOWABLE LOT COVERAGE =  
 (LOT SIZE X 40%) = MAX LOT COVERAGE  
 (6,000 SQ.FT. X 40%) = 2,400 SQ.FT.

LOT COVERAGE  
 (E) GARAGE = 305 SQ.FT.  
 (E) / (N) HOME = 1,513 SQ.FT.  
 (N) PORCH = 15 SQ.FT.  
 (N) SECOND FLOOR WINDOWS = 18 SQ.FT.  
 TOTAL : = 1,851 SQ.FT.

MAX LOT COVERAGE 2,400 SQ.F.T

USE OF BUILDING: RESIDENTIAL  
 OCCUPANCY: R3  
 TYPE OF CONST.: V-B  
 NUMBER OF (E) STORIES: 1-STORY (N) 2-STORY  
 (E) NUMBER OF DWELLINGS: 1  
 PARKING: (N + E) 1- STALL + (1) OUTDOOR  
 SPRINKLERED: (N) FIRE SPRINKLER TO BE INSTALLED

### CONSULTANTS

DESIGNER <b>FORM + ONE DESIGN</b> CONTACT: <b>TIM RAUENZ</b> 4843 SILVER SPRINGS DRIVE PARK CITY, UT 84098 PHONE: 415-819-0304 TIM@FORMONEDSIGN.COM	SURVEY SAVIOR P. MICALLEF LAND SURVEYING 421 WILDWOOD DR. S. SAN FRANCISCO, CA. 94080 P. 805.709.2423 KIELTY ARBORISTS DAVID BECKHAM P.O. BOX 6187 SAN MATEO, CA. 94403 P. 650.532.4418 AS BUILT FOG CITY AS BUILTS CELO GIORGIO BAY AREA, CA. P. 415.287.6034 celo@fogcityasbuilts.com
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STRUCTURAL ENGINEER  
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PO BOX 371022  
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PHONE: 650-722-0219

## SHEET INDEX

(\*\*\*) = FUTURE BUILDING SHEETS

T1.0	TITLE PAGE	
GN	GENERAL NOTES	
(***) COA	CONDITIONS OF APPROVAL	
CG	CAL GREEN	S-1
SW	CONSTRUCTION BEST MANAGEMENT PRACTICES	S-2
SW2	SW DETAILS	S-3
AR2	ARBORIST REPORT	S-4
AR3	ARBORIST REPORT (CONT.)	S-5
AR4	ARBORIST REPORT (CONT.)	S-6
FAR	PROPOSED FAR	
1 OF 1	SURVEY	
A1.0	PROPOSED SITE PLAN	
A1.1	DRAINAGE PLAN	
A1.2	LANDSCAPE CONCEPT PLAN	

ARCHITECTURAL DRAWINGS	
AB2.0	EXISTING FLOOR PLANS
A2.0	PROPOSED FLOOR PLANS
A2.1	PROPOSED ROOF PLAN
A3.0	PROPOSED FRONT + REAR ELEVATIONS
A3.1	PROPOSED LEFT + RIGHT ELEVATIONS
ADU	EXISTING + PROPOSED ADU
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A4.0	PROPOSED BUILDING SECTIONS
A5.0	CONSTRUCTION DETAILS
A5.1	CONSTRUCTION DETAILS (CONT.)
A9.0	FINISH SCHEDULE
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ME2.0	MECH. + ELECT. PLANS
ME3.0	MECH. + ELECT CUTSHEETS
ME4.0	TITLE-24
ME4.1	TITLE-24 (CONT.)



## BUILDING + PUBLIC WORKS NOTES:

- PUBLIC WORKS REQUIRES A SEWER BACKWATER PROTECTION CERTIFICATE **PRIOR TO PERMIT BEING ISSUED**. PLEASE CONTACT PUBLIC WORKS @ 650.558.7230.
- STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT IS REQUIRED. **NOTE: AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).**
- RECYCLING + WASTE REDUCTION FORM WILL NEED TO BE SUBMITTED + APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT, CONTACT JOE MCCLUSKEY OUR RECYCLING SPECIALIST @ 650-558-7273.**
- A GRADING PERMIT IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.**

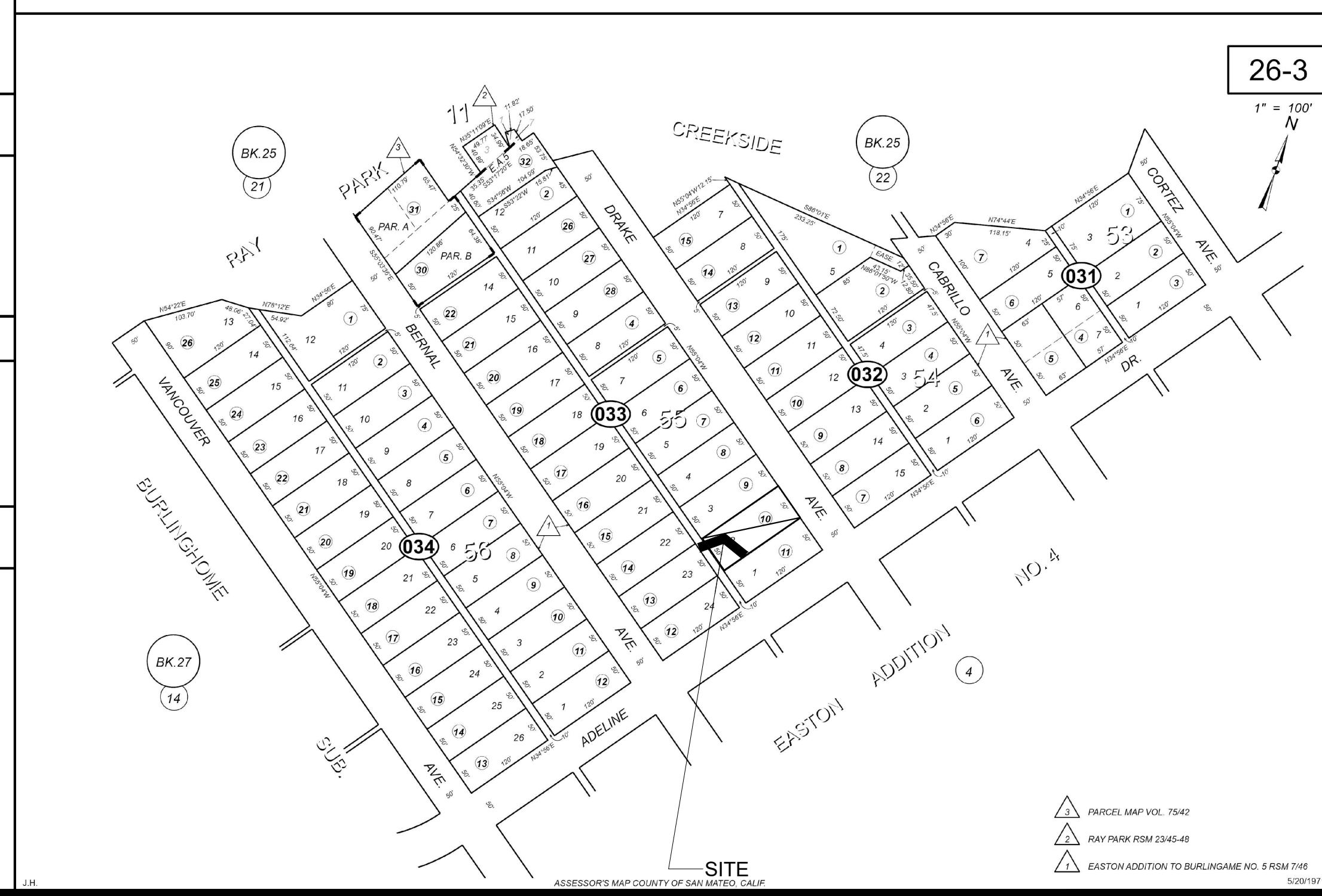
## FIRE DEPARTMENT NOTES

- AN AUTOMATIC SPRINKLER SYSTEM IS **REQUIRED** THROUGHOUT THE ENTIRE MAIN HOUSE, **UNDER A SEPARATE PERMIT**.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST W/ THEIR BACKGROUND.
- PROVIDE A BACKFLOW PREVENTION DEVICE-USC APPROVED DOUBLE CHECK VALVE ASSEMBLY FOR FIRE LINE. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE VALVE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- A SCHEMATIC OF THE DOMESTIC/FIRE PROTECTION WATER LINE SHALL BE SHOWN ON THE SITE PLAN/CIVIL DRAWINGS PAGE OF THE BUILDING PLANS. THIS SCHEMATIC SHALL DETAIL THE LINE FROM THE WATER METER TO STRUCTURE AND INDICATE THE LOCATION OF THE DOUBLE BACKFLOW PREVENTION DEVICE ON THE FIRE PROTECTION LINE AFTER THE SPLIT BETWEEN DOMESTIC AND FIRE PROTECTION LINES.
- FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX IIIA. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 3,600 SQ. FT. SHALL BE PROVIDED AT 1,000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%
- MIN. 1" WATER METER REQUIRED.
- IF AN ELECTRONIC GATE CROSSES THE DRIVEWAY**, PROVIDE A KNOX KEY SWITCH CONNECTED TO THE GATE TO ALLOW FOR FIRE DEPARTMENT EMERGENCY ACCESS.

## SCOPE OF WORK

- REMODEL + ADDITIONS TO (E) 1- STORY RESIDENCE
- REMODEL OF (E) GARAGE (TO MATCH UPDATES TO (E) HOUSE)
- (E) GARAGE W/ (N) ADU ADDITION (**SHOWN ONLY FOR REFERENCE**)

## VICINITY MAP



## MATERIAL SYMBOLS

	Bituminous paving		Metal		Sand/ Mortar/ Plaster
	Batt insulation		Metal Lath		Wood frame construction
	Brick Veneer		Marble / tile		Existing construction
	Stone Veneer		Earth		Existing const. removed
	Concrete		Wood		Precast concrete
	Concrete Block		Steel		Rigid insulation
	Gravel / Rock fill		Plywood		Gypsum board

## APPLICABLE CODES

- 2025 California Building Code
- 2025 California Residential Code
- 2025 California Plumbing Code
- 2025 California Mechanical Code
- 2025 California Electric Code
- 2025 California Energy Code
- 2025 California Fire Code
- CITY OF BURLINGAME MUNICIPAL CODE
- 2025 California Green Building Standards Code
- CAL GREEN BUILDING CODE CHECKLIST: Single Family to be attached to jobsite building set

## CAL GREEN BUILDING MEASURE

- A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION + DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME ORDINANCE + 2025 CGC § 4.400
- AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2025 CGC § 4.410.1
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2025 CODE REQUIREMENT. 2025 CGC § 7003.1
- AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC 4.504.1).

## HIDDEN CONDITION NOTES

- Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning commission.

## CONSTRUCTION HOURS

- NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS LISTED BELOW.
- |                       |                       |
|-----------------------|-----------------------|
| CONSTRUCTION HOURS    |                       |
| WEEKDAYS:             | 8:00 A.M. - 7:00 P.M. |
| SATURDAYS:            | 9:00 A.M. - 6:00 P.M. |
| SUNDAYS AND HOLIDAYS: | NO WORK ALLOWED       |
- (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)
- CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

## EXTERIOR FINISHES

- WALL FINISH: (N) WESTERN RED CEDAR SIDING (DARK STAIN), BRICK VENEERS, & STUCCO  
 ROOF: CLASS A, ARCHITECTURAL ASPHALT SHINGLES  
 WINDOWS: (N) ALUMINUM CLAD WINDOWS  
 SIERRA PACIFIC W/ S.D.L. OR EQ. (PUTTY)

## DEFERRED SUBMITALS

- FIRE SPRINKLER PLAN
- PRE-MANUFACTURED ROOF TRUSSES (CBC 1603.1)
- (SUPPLEMENTAL) DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT
- PV SYSTEM (UNDER SEPARATE PERMIT), PER CODE: 4.02 KW (FUTURE BUILDING SUB.)

## DUE BEFORE ISSUANCE

- STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT (PRIOR TO PERMIT ISSUANCE) (INITIAL FIELD IS REQUIRED BEFORE START OF CONSTRUCTION)
- SEWER BACKWATER PROTECTION CERTIFICATE (FINISHED BEFORE ISSUANCE)
- RECYCLING + WASTE REDUCTION FORM (FINISHED BEFORE ISSUANCE)
- SEWER LATERAL TEST ENCROACHMENT PERMIT (FINISHED BEFORE ISSUANCE)
- BAAQMD J-NUMBER (FINISHED BEFORE ISSUANCE)
- PRE-MANUFACTURED ROOF TRUSSES (CBC 1603.1)
- AT TIME OF BUILDING SUBMITTAL: AN EROSION CONTROL PLAN AND STIPULATE ON DRAWINGS THE REMOVAL AND REPLACEMENT OF SIDEWALK, CURB, GUTTER, SEWER LATERAL, + WATER LINE TO THE PUBLIC WORKS DEPART.
- SUPPLEMENTAL DEMOLITION PERMIT APPLICATION (IF REQUIRED) WILL BE SUBMITTED AT TIME OF BUILDING SUBMITTAL. **NOTE: THE DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR PROJECT.**
- RE-EVALUATION OF STORM DRAIN FEE MAY BE REQUIRED.

Revisions

Rev.	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/17/26
004	Response to Comments	2/27/26
005	Response to Comments	
006	Response to Comments	

Contractor: \_\_\_\_\_

Owner: **FORM + ONE DESIGN**  
 4843 SILVER SPRINGS DRIVE  
 PARK CITY, UT 84098  
 PH: 415.819.0304  
 E-MAIL: TIM@FORMONEDSIGN.COM

YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,000 SQ. FT.

APN#: 026-033-100

**form + one**  
 DESIGN ■ PLANNING

Title: TITLE PAGE  
 Project: SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

Job No.: 25\_38  
 Drawn: TIM RAUENZ  
 Date: 09.08.25

Sheet  
 Scale: See Details

**T1.0**

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**MECHANICAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY OTHER FOR SPECIFIC INFORMATION.
3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS NOT TO INTERFERE WITH USEABLE ATTIC STORAGE SPACE.
4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY.
5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.
6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE (CMC)
7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE AND SHALL NOT BE OBSTRUCTED.
8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE UPPER AND LOWER THIRD OF THE UNIT.
9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS, TYPICAL OF INTERIOR CONDITIONED SPACES.
10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.
12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
13. AT NEW FORCED AIR FURNACE INSTALLATIONS PROVIDE 3" MIN. WORKING SPACE ALONG EACH SIDE (WITH A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED), BACK AND TOP OF FURNACE.
14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

**PLUMBING NOTES:**

1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY OWNERS.
3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.
4. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAINBOARD, WHICHEVER IS HIGHER
5. (E) ON-DEMAND SYSTEM, CONFIRM WITH OWNER

**ELECTRICAL NOTES:**

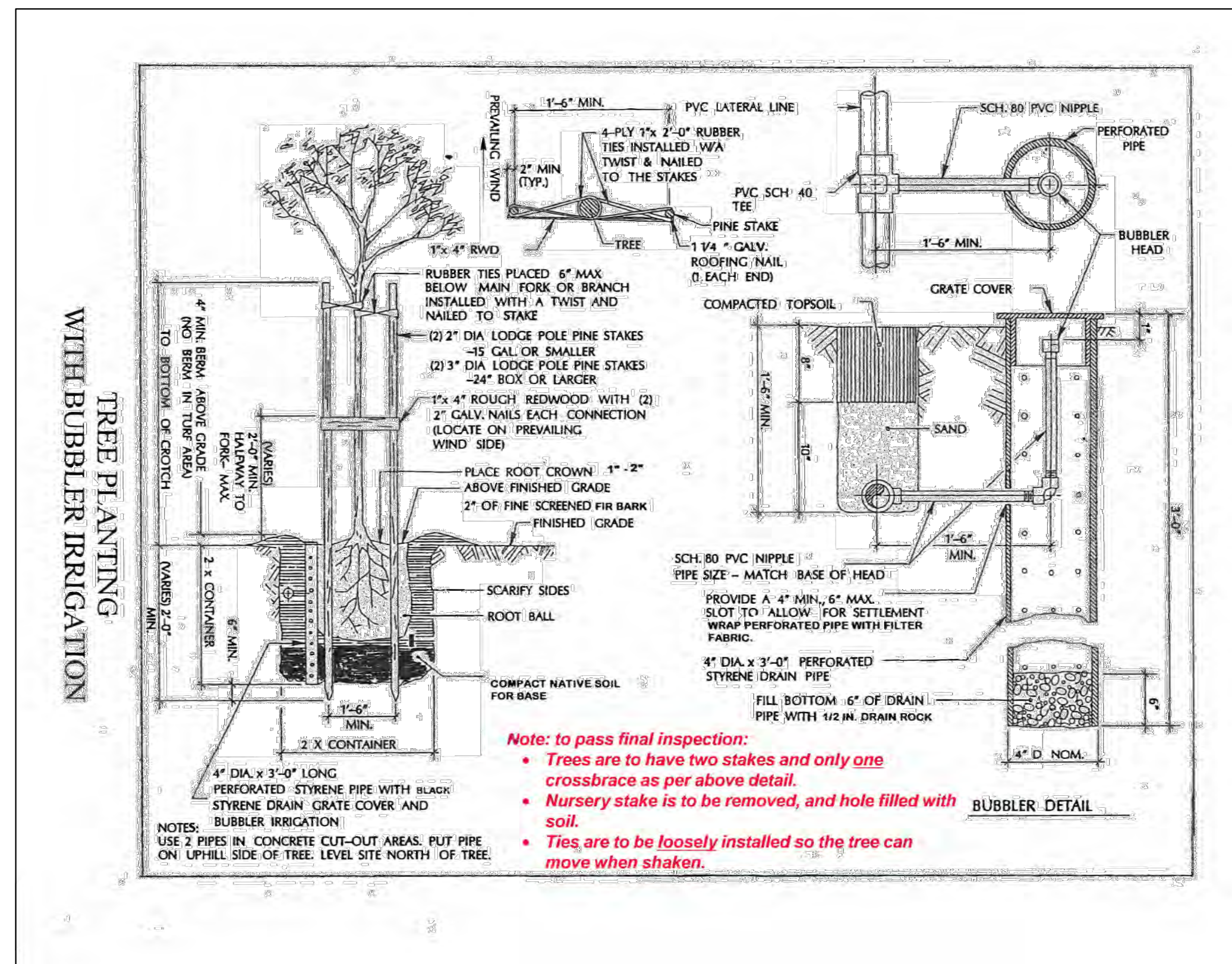
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED AT CRAWL SPACES AT OR BELOW GRADE, AND OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.) PROTECTION.
3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF A MULTI-STORY DWELLING, INCLUDING BASEMENT LEVELS. IN SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS \$1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION, REPAIRS, OR ADDITIONS REGULATED AS OUTLINED ABOVE.
4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE OUTLETS WITH OWNER PRIOR TO INSTALLATION.
5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL.
7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.
8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:  
A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12"  
B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9.
9. ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING NECESSARY TEMPORARY POWER.
10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL.
11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER 2022 CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.
14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES, STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS.

**GENERAL NOTES:**

1. ALL WORK SHALL COMPLY W/ THE 2022 EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING:  
**2022 CALIFORNIA PLUMBING CODE**  
**2022 CALIFORNIA MECHANICAL CODE**  
**2022 CALIFORNIA ELECTRICAL CODE**
2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK.
3. THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH STANDARDS EXISTS.
4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT.
5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC.
6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.
7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED. (U.O.N.)
8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM THE DESIGNER.
9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN.
11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITIES, INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITIES ARE TO REMAIN FULLY OPERATIONAL.
12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
13. CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO PROTECT ADJACENT SPACES AND EXISTING FINISHES. CONTRACTOR OS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.

14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS. MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.
15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL.
16. TOTAL THICKNESS OF NEW WALLS SHALLMATCH THAT OF ADJACENT WALLS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
18. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR, SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE PREMISE.
19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION.
20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL.
21. THE AMERICANS WITH DISABILITIES ACT (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY OTHERS.



**TREE PLANTING DETAIL** 1 GN  
Scale: NA

**Revised 2022 BURLINGAME REACH CODE CHECKLIST**  
SINGLE FAMILY NEW CONSTRUCTION

**USE THIS FORM FOR SINGLE FAMILY NEW CONSTRUCTION**

PROJECT ADDRESS: 1505 DRAKE  
APN: 026-033-100 APPLICANT NAME: TIM RADUENZ

- 1. ELECTRIFICATION THE GAS BAN HAS BEEN RESCINDED**
  - Install a photovoltaic system with a capacity of at least 4.02 kW(DC). The number of Kilowatts required is calculated by the energy report, the CF1R-PRF-01.
- 2. ENERGY EFFICIENCY**
  - Exceed the standard EDR1 compliance margin by at least 9 points, as shown in the CF1R-PRF-01.
    - Exception 1: Some or all of the PV can be offset by shared community solar.
    - Exception 2: A building with a conditioned floor area less than 1,500 square feet shall achieve an EDR1 margin of 4 or greater.
    - Exception 3: A building with a conditioned floor area less than 625 square feet can appeal to the CBO to reduce the margin to between 0 and 4.
- 3. GREEN BUILDING**

A completed 2022 Burlingame CALGreen checklist is included on the plans: <https://ca-burlingame.civicplus.com/DocumentCenter/View/124/2022-CALGREEN-Mandatory-Measures---Residential-Checklist-PDF>.
- 4. ELECTRIC VEHICLE (EV) CHARGING**
  - At least one parking space per dwelling unit has an EV Level 2 Ready Circuit: a parking space equipped with a raceway, wiring, receptacle, and electrical capacity to the EV charging station. A minimum 208V/240V, 40 Amp circuit with receptacle labeled "EV Vehicle Outlet" or, electrical vehicle supply equipment with a minimum output of 30 Amps
  - If there is a second parking space it is an EV Level 1 Ready Space: a parking space equipped with a raceway, wiring, receptacle, and electrical capacity to the EV charging station. A minimum 110V, 20 Amp circuit with receptacle labeled "EV Vehicle Outlet" or, electrical vehicle supply equipment
- 5. VERIFICATION**

This form has been completed by TIM RADUENZ (name) of FORM+ONE (company), the qualified DESIGNER (architect, designer, energy consultant) for the above listed project, who verifies that it accurately represents the project plans.

Signature: *Tim Raduenz* Date: 10/13/25  
Version 4.0, September 2025

**REACH CODE** 2 GN  
CONFIRM DURING BUILDING IF REQUIRED Scale: NA

**Revisions**

Rev. #	Description	Date
001		
002		
003		
004		
005		
006		

Contractor: \_\_\_\_\_

Owner: \_\_\_\_\_  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

YEAR BUILT: 1974  
ZONING: RESIDENTIAL  
LOT SIZE: 6,100 SQ. FT.

**BUILDING SET PLANNING SET**

APN#: 026-033-100

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMNEDESIGN.COM

**form+one**  
DESIGN ■ PLANNING

*Tim Raduenz*

**General Notes**

Title: \_\_\_\_\_  
Project: **SUCHITRA / DESIKAN**  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No.: 25\_38  
Drawn: TIM RADUENZ  
Date: 09.08.25

Sheet  
Scale: See Details

**GN**

## GREEN BUILDING MEASURE:

1. A MINIMUM OF 65% OF THE NON- HAZARDOUS CONSTRUCTION AND DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME AND 2022 CGC §4.408  
 2. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2022 CGC §4.410.1  
 3. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2022 CODE REQUIREMENT. 2022 CGC §703.1  
 4. AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC 4.504.1).

## CAL GREEN SITE DEVELOPMENT:

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). A BMP PAGE IS SUFFICIENT. 2022 CGC 4.106.2  
 2. PLANS SHALL INDICATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. 2022 CGC 4.106.3  
 3. ELECTRICAL VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS 2022 REACH CODE

## GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, (15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5.  
 2. PROVIDE MIN. SHOWER AREA - 1,024 SQ. IN., CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6.  
 3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE.  
 4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER AND DISHWASHER, ETC., PER CPC  
 5. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.



### 2022 CALIFORNIA GREEN BUILDING CODE RESIDENTIAL CHECKLIST

*New Residential Buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing Residential Buildings which increase the building's conditioned area, volume, or size. These requirements only apply to the specific area of addition or alteration.* 2022 CGC §301.1.1

Permit Number: \_\_\_\_\_ Project Address: 1505 Drake

**Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.**

Green Building Measure	Plan Sheet, and Details
<b>ENERGY EFFICIENCY(2022 CEC §150.0)</b> (2022 California Building Energy Efficiency Standards)	
2022 Energy Code performance (CF1R) compliance documentation must be provided digitally in 8-1/2" X 11" format, and, must be replicated on the plans. 2022 CEC §150.1	me4.0, 4.1...
<b>SITE DEVELOPMENT (2022 CGC §4.106)</b>	
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2022 CGC §4.106.3	A1.1
Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. 2022 CGC §4.106.4	ME2.0
<b>INDOOR WATER USE (2022 CGC §4.303)</b>	
Standards for Plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. 2022 CGC §4.303.3	A2.0, PLUMB NOTES
<b>OUTDOOR WATER USE (2022 CGC §4.304)</b>	
Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWUELO) checklist. 2022 CGC §4.304.1	landscape sheets
<b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (2022 CGC §4.406)</b>	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2022 CGC §4.406.1	ME2.0 #47
<b>CONSTRUCTION WASTE MANAGEMENT (2022 CGC §4.408)</b>	
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2022 CGC §4.408.1	T1.0 CG #1

1

Green Building Measure	Plan Sheet, and Details
<b>BUILDING MAINTENANCE AND OPERATION (2022 CGC §4.410)</b>	
An operation and maintenance manual will be provided at final inspection. 2022 CGC §4.410.1 Where 5 or more multi-family dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on site and are identified for the depositing, storage, and collection of nonhazardous materials for recycling, including paper, corrugated cardboard, glass, plastics, organic waste and metals, or, meet local ordinance, if more restrictive. 2022 CGC §4.410.2	T1.0
<b>FIREPLACES (2022 CGC §4.503)</b>	
Any installed gas fireplaces will be direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA NSPS emission limits. 2022 CGC 4.503.1 GAS IS NOT ALLOWED FOR NEW CONSTRUCTION BASED ON BURLINGAME'S REACH CODE.	T1.0
<b>POLLUTANT CONTROL (2022 CGC §4.504)</b>	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution component openings will be covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris that may enter the system. 2022 CGC §4.504.1	ME2.0 #48
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2022CGC §4.504.2.1	A2.0 POL CTRL #7
Paints and coatings will comply with VOC limits. 2022CGC §4.504.2.2	A2.0 POL CTRL #8
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2022 CGC §4.504.2.3	A2.0 POL CTRL #6
Documentation shall verify compliance for VOC finish materials. 2022 CGC §4.504.2.4	A2.0 POL CTRL #2
Carpet systems will meet CALGREEN testing and product requirements. 2022 CGC §4.504.3	A2.0 POL CTRL #3
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2022 CGC §4.504.4	A2.0 POL CTRL #4
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2022 CGC §4.504.5	A2.0 POL CTRL #5
<b>INTERIOR MOISTURE CONTROL (2022 CGC §4.505)</b>	
A capillary break will be installed if a slab on grade foundation system is used. 2022 CGC §4.505.2.1	A2.0 #20
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2022 CGC §4.505.3	A2.0 #21
<b>INDOOR AIR QUALITY AND EXHAUST (CGC §4.506)</b>	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo). 2019 CGC §4.506.1 Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2022 CGC §4.506.2	ME2.0 #49

2

Green Building Measure	Plan Sheet, and Details
<b>ENVIRONMENTAL COMFORT (2022 CGC §4.507)</b>	
The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equal; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2022 CGC §4.507.	ME2.0 #51
<b>VERIFICATION (2022 CGC §703)</b>	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2022 Code requirements. 2022 CGC	T1.0 CG #3
<b>Responsible Designer's Declaration Statement</b>	
I hereby certify that this project has been designed to meet the requirements of the 2022 Green Building Code.	
Name:	TIM RADUENZ
Address:	4843 SILVER SPRINGS DRIVE
City/State/Zip Code:	PARK CITY, UT, 84098
Signature:	
Date:	10/13/25
<b>Contractor's Declaration Statement</b>	
I hereby certify, as the builder or installer, that this project will be constructed to meet the requirements of the 2022 Green Building Code.	
Name:	
Address:	
City/State/Zip Code:	
Signature:	
Date:	

3

Revisions

Rev. #	Description	Date
001		
002		
003		
004		
005		
006		

Contractor:

Owner: J. HERRMAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

YEAR BUILT: 1974  
2019FJF RESIDENTIAL  
LOT SIZE: 6,100 SQ. FT.

BUILDING SET  
PLANNING SET

APN#: 026-033-100

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM



Title: Cal Green

Project: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No.: 25\_38  
Drawn: TIM RADUENZ  
Date: 09.08.25

CG

Sheet  
Scale: See Details

All drawings & specifications provided as instruments of service are the property of the designer, whether the project is executed or not. It is unlawful for any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.

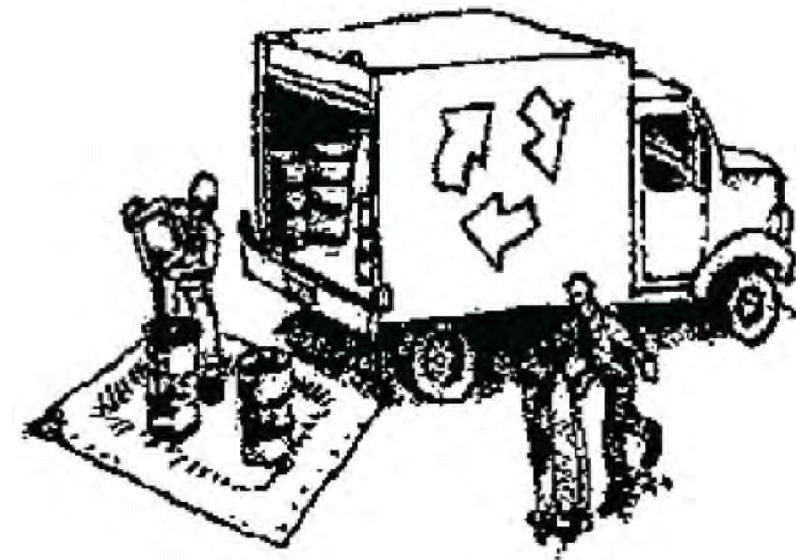


SAN MATEO COUNTYWIDE  
**Water Pollution Prevention Program**  
 Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



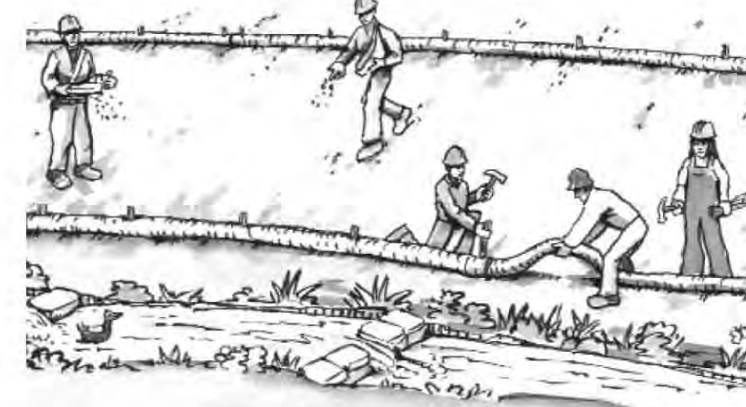
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



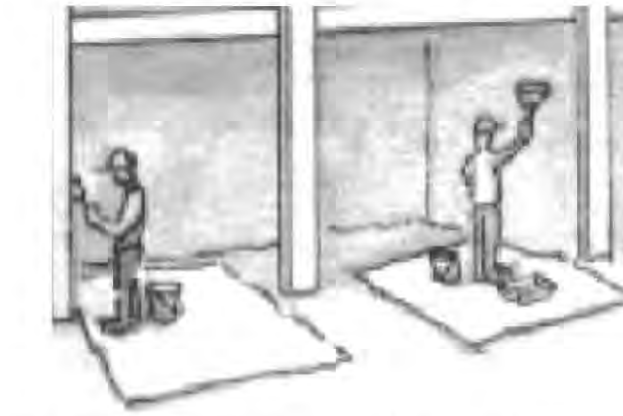
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

All drawings & specifications provided as instruments of service are the property of the designer, whether the project is executed or not; it is unlawful for any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.

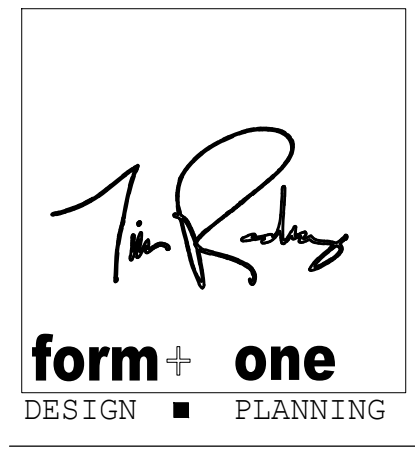
Revisions

Rev. #	Description	Date
001		
002		
003		
004		
005		
006		

Contractor:

Owner: **FORM ONE**  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010  
 YEAR BUILT: 1974  
 2000 SF RESIDENTIAL  
 LOT SIZE: 6,100 SQ. FT.

4643 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDSIGN.COM



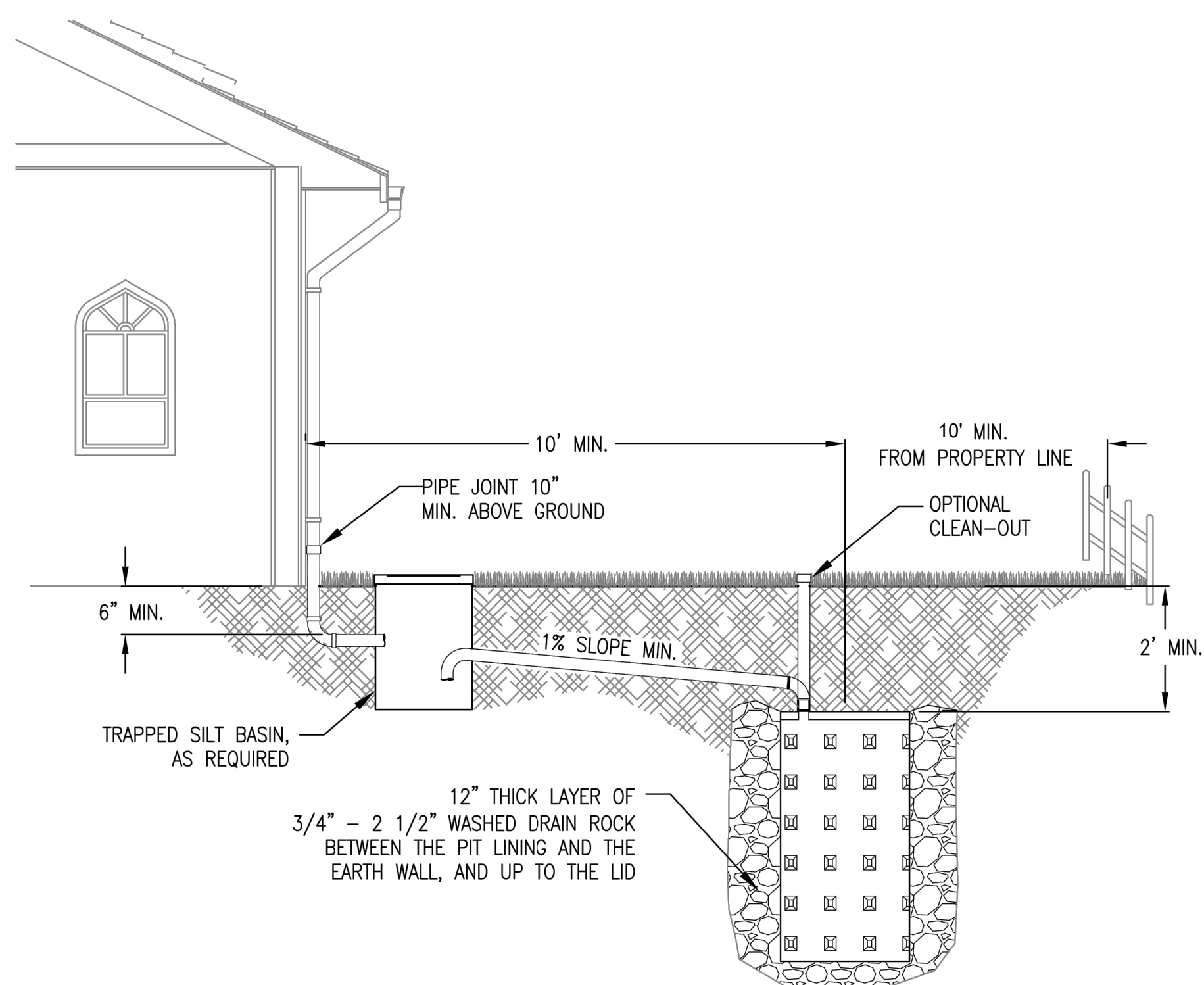
Title: **BMP'S & Pollution Prevention**  
 Project: **SUCHITRA / DESIKAN**  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010  
 Job No.: 25\_38  
 Drawn: TIM RAGUENZ  
 Date: 09.08.25

**SW**  
 Sheet  
 Scale: See Details

BUILDING SET  
 PLANNING SET

APN#: 026-033-100

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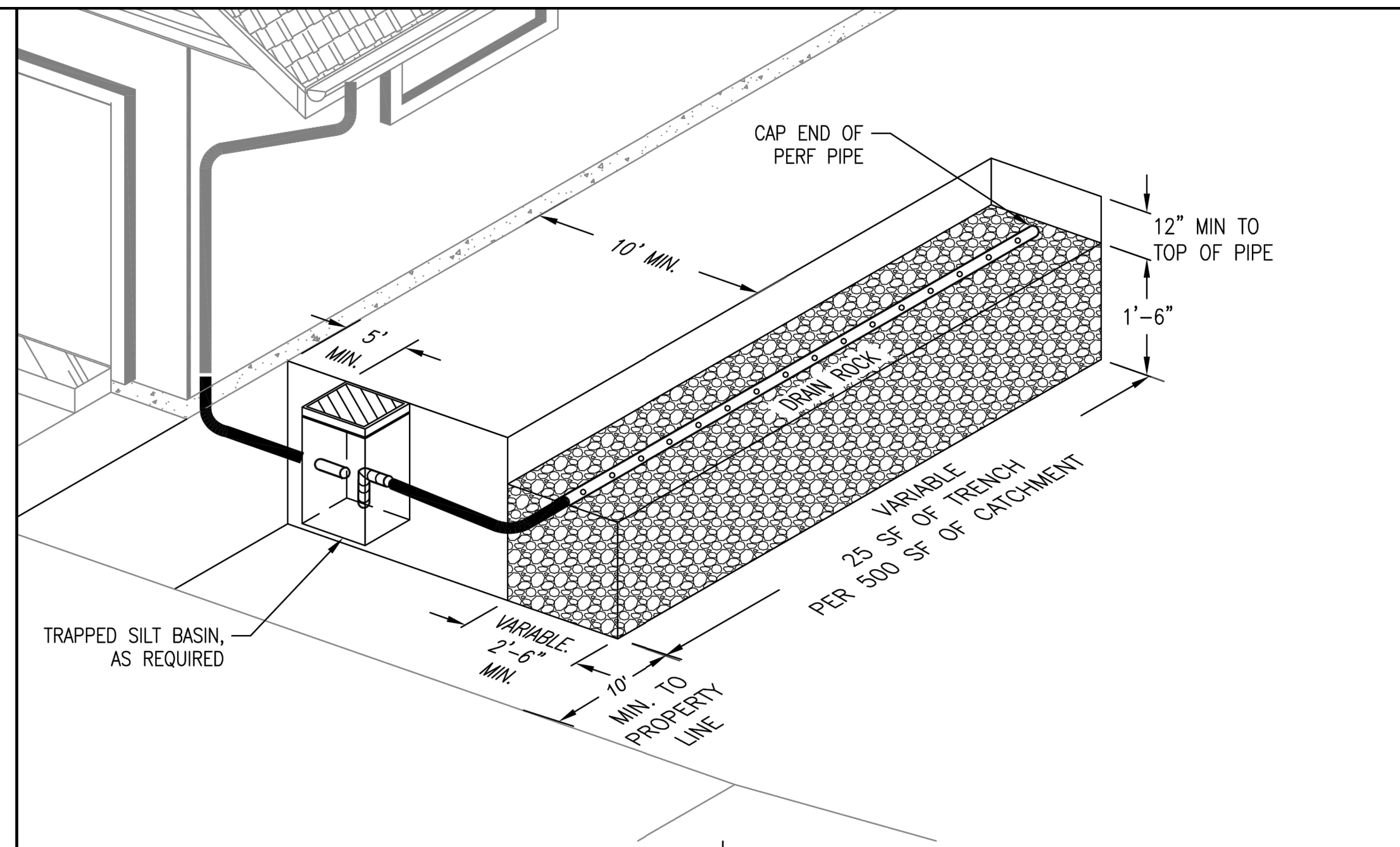
- Sizing: See adjacent table to size the drywell(s) based on impervious area.
- Siting Criteria: The base of the drywell must be at least 5' above seasonal high groundwater.
- Setbacks: Measured from the center, the drywell must be 10' from foundations and 10' from property lines except next to the right-of-way where no setback is required between the edge of the drywell drain rock and the property line. The foundation setback is 8" for plastic mini-drywells.
- Access: In residential settings, an access cleanout is optional but highly recommended.
- Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for drywells managing roof runoff and runoff from pedestrian-only areas.
- The top of the perforated drywell sections must be lower than neighboring foundations.

Drywell Depth	Maximum Catchment Area Managed by One Drywell	
	28" diameter	48" diameter
5'	1000 sf	2500 sf
10'	2500 sf	4500 sf
15'	3500 sf	5000 sf
2x2 plastic mini-drywell (maximum of 2 drywells per catchment)	500 sf	

**CONSTRUCTION REQUIREMENTS**

Smearing the soil surface during excavation can limit infiltration rates. If smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.

**DRYWELL (RECOMMENDED DETAIL)** 1 SW2  
Scale: N.A.

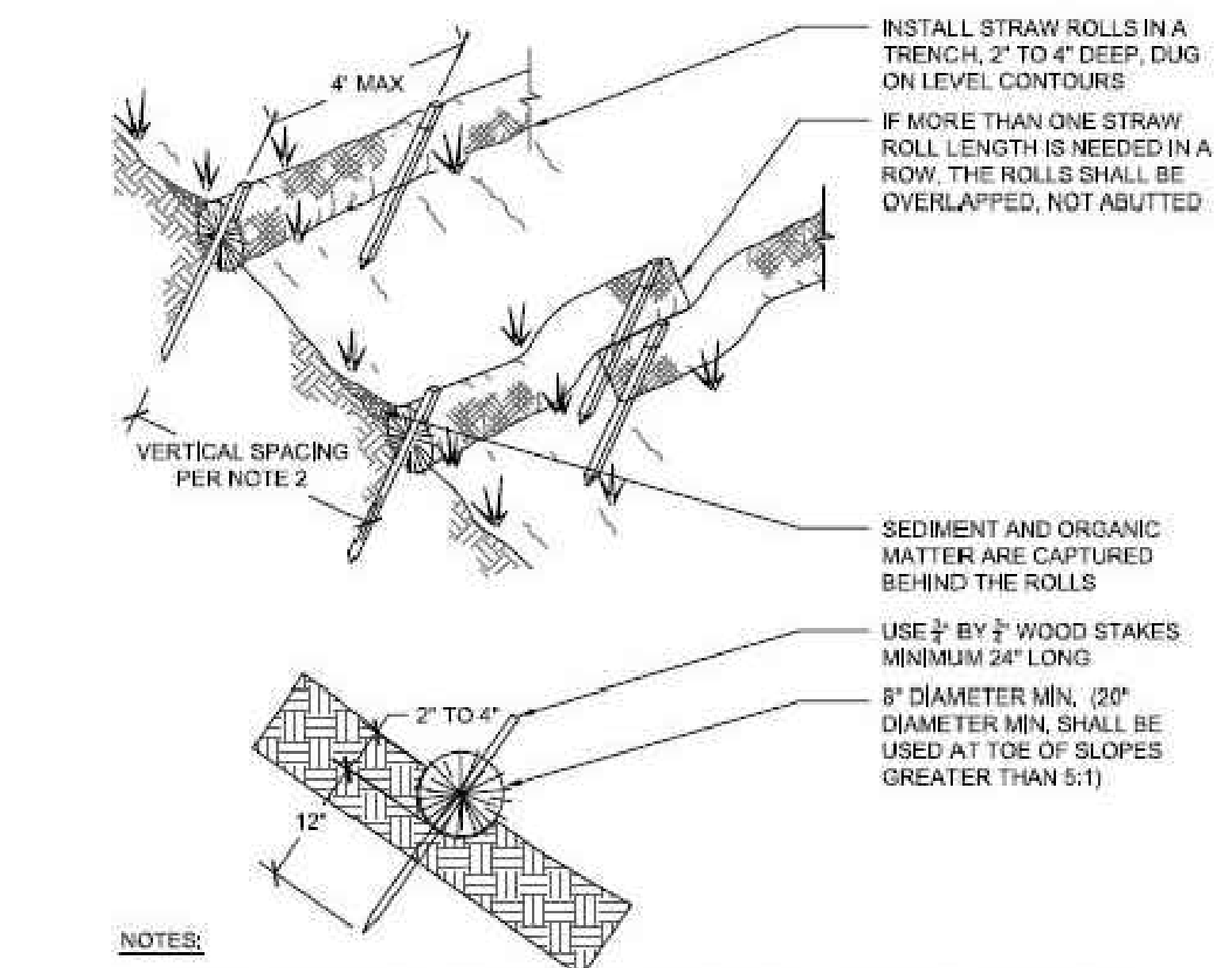


- Siting Criteria: The base of the soakage trench must be at least 5' above seasonal high groundwater.
- Sizing: 1'-6" tall, 2'-6" wide minimum. 25 square feet of trench per 500 square feet of catchment area.
- Setbacks: Measured from the edge, the soakage trench must be 10' from foundations and 10' from property lines, except next to the right-of-way.
- Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for soakage trenches managing roof runoff and runoff from pedestrian-only areas.
- The top of the soakage trench must be lower than foundations, including basements within 10 feet of the soakage trench.

**CONSTRUCTION REQUIREMENTS**

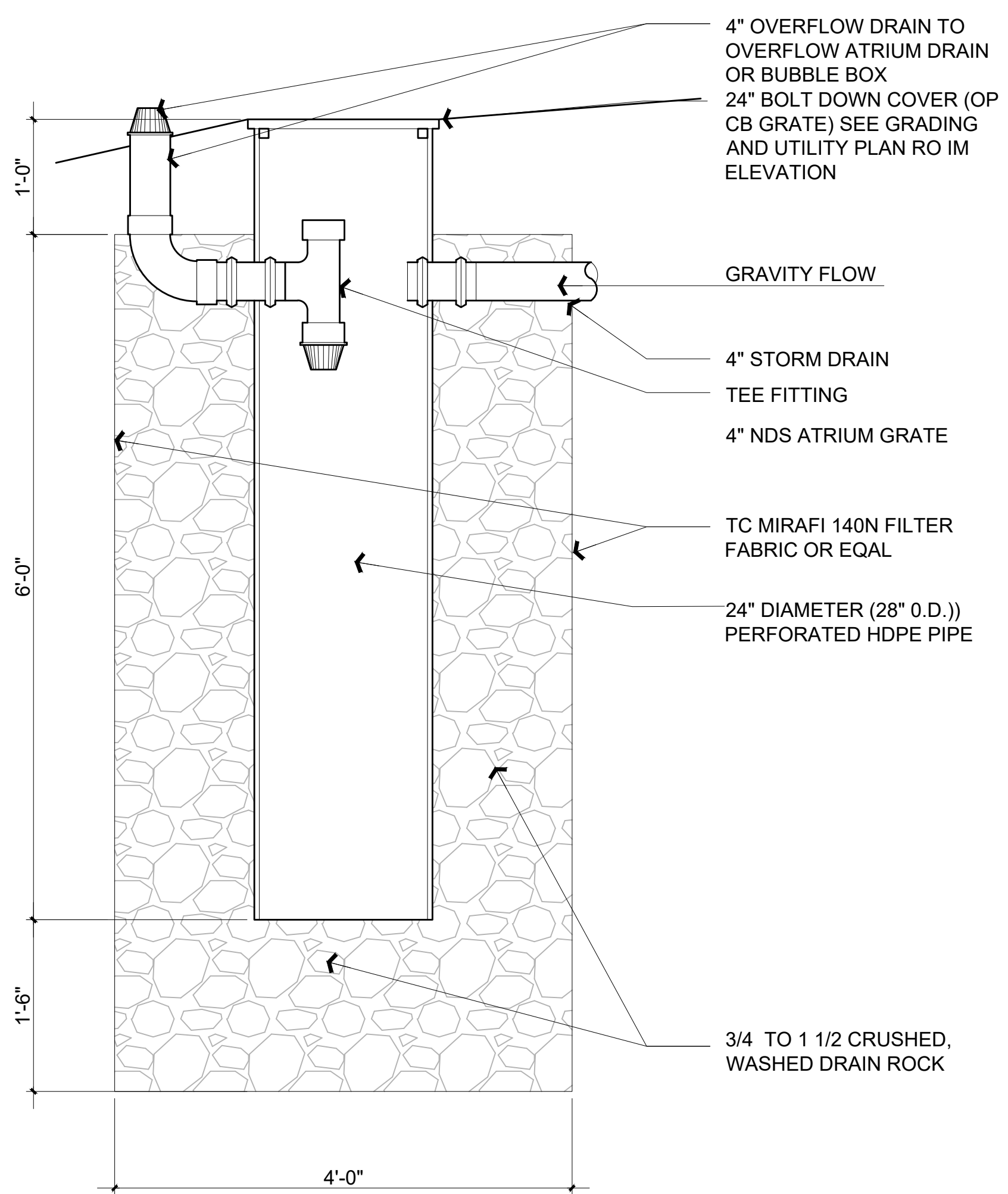
The outline of the facility must be clearly marked before site work begins to avoid soil disturbance. Use of heavy equipment should be minimized within 10 feet of soakage trench areas. The bottom of the soakage trench and the perforated pipe must be level. Clay check dams may be used to prevent water from collecting near the downstream end. Smearing the soil surface during excavation can potentially limit infiltration rates; if smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.

**SOAKAGE TRENCH** 2 SW2  
Scale: N.A.



- NOTES:**
- INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
  - SPACE STRAW ROLLS AS FOLLOWS:
    - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
    - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
    - SLOPE OF 2:1 OR GREATER = 10 FEET APART
  - INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
  - IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

**STRAW ROLL DETAIL** 3 SW2  
Scale: N.A.



**DRYWELL WITH STANDPIPE** 4 SW2  
Scale: N.A.

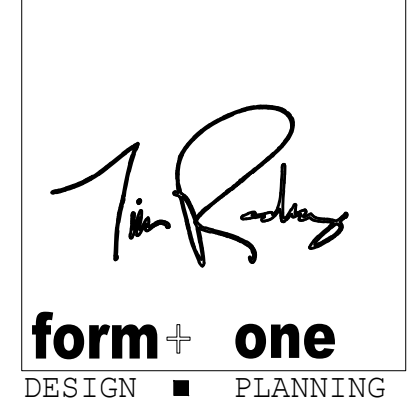
Revisions	Date
Rev. 1	Description
001	
002	
004	
005	
006	

Contractor:

Owner: **form + one**  
 4843 SILVER SPRINGS DRIVE  
 PARK CITY, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDSIGN.COM

Year Built: 1974  
 Soil: RESIDENTIAL  
 Lot Size: 6,100 sq. ft.

APN#: 026-033-100



Title: **Stormwater Management Details**

Project: **SUCHITRA / DESIKAN**  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

Job No.: 25\_38  
 Drawn: TIM RAJURENZ  
 Date: 09.08.25



Prepared For:  
**Tim Raduenz**

Site: 1505 Drake Avenue  
Burlingame, CA

Submitted by:  
**David Beckham**  
Certified Arborist  
WE#10724A  
TRAQ Qualified

Date: January 6th, 2026

Attn: Tim Raduenz  
Site: 1505 Drake Avenue, Burlingame, CA  
Subject: Tree protection plan

**INTRODUCTION AND OVERVIEW**

Kiely Arborists Services LLC conducted a site visit at 1505 Drake Avenue, Burlingame, CA, on 9/30/25 to evaluate existing trees in relation to the proposed construction. The purpose of this assessment is to document tree conditions, identify protected trees as defined by applicable municipal ordinances, and evaluate potential construction-related impacts in order to inform permitting and tree protection requirements.

This report is based on field observations and a review of architectural drawing A1.0 dated 12/3/25. Tree identification, general health and structural condition, and proximity to proposed improvements were evaluated to determine preservation feasibility, required protection measures, and anticipated impacts. Unless otherwise stated, observations were limited to ground-based visual inspection, and no invasive testing, aerial inspection, or plant tissue analysis was performed.

**Data Summary:**

Total Trees	Total Street Trees	Neighboring Trees	Protected Trees		Non-Protected Trees		Overall Condition Rating		
			Total	Proposed for Removal	Total	Proposed for Removal	<50%	50%-69%	70-100%
7	1	0	1	6	6	6	0	7	0

A total of 7 trees were surveyed. Of these, tree #1, a London plane street tree, meets the size and species thresholds to qualify as a protected tree under the applicable ordinance. This tree is to be retained. Non-protected trees #2-7 are proposed for removal due to documented decline or unavoidable conflicts with proposed project features. No neighboring trees were found overhanging the site. Woody plants observed on site that do not meet the minimum diameter or definition of a regulated tree, including shrubs, vines, or sub-threshold stems, may be noted for site context only and may not be subject to tree protection ordinance requirements. Protected trees should be retained and protected as detailed in the recommendations below. With proper protection and cultural practices, all retained trees are expected to survive during and after construction.

**ASSIGNMENT**

At the request of Tim Raduenz, Kiely Arborists Services LLC conducted a site visit on 9/30/25 to prepare a Tree Inventory Report and Tree Protection Plan for the proposed construction project at 1505 Drake Avenue, Burlingame, CA. This report has been prepared to support plan review and permitting requirements for the City of Burlingame and is intended to inform municipal decision-making related to tree preservation, protection, and tree removal.

The assignment consisted of identifying and evaluating trees within the project area that may be affected by the proposed development, determining the extent of anticipated construction-related impacts, and providing arboricultural recommendations to minimize adverse effects. Evaluations focused on tree size, species, general health, structural condition, and proximity to proposed improvements, with particular attention given to potential root disturbance, soil compaction, and crown impacts associated with grading, excavation, foundations, and access.

Based on these findings, this report establishes tree protection measures and preservation strategies intended to maintain tree viability during and after construction, while aligning the proposed improvements with applicable municipal tree protection regulations. Where impacts are unavoidable, the report identifies removal recommendations and associated considerations consistent with local ordinance requirements.

The sections that follow provide detailed documentation of tree conditions, anticipated impacts, and recommended protection measures to guide construction activities and support compliance throughout the duration of the project.

**LIMITS OF THE ASSIGNMENT**

This assessment is based on a ground-based visual inspection of trees conducted from accessible areas at the time of the site visit. The evaluation did not include aerial inspection of the upper crown, detailed root crown excavation, subsurface root investigation, resistograph testing, or plant tissue, soil, or laboratory analysis, unless explicitly stated otherwise in this report. As such, conditions that are not externally visible, including internal decay, root defects, or latent disorders, may not have been detected. No tree risk assessments, hazard ratings, or failure probability determinations were performed as part of this assignment unless specifically identified elsewhere in the report.

The scope of this work is limited to tree identification, general health and structural observations, and evaluation of potential impacts associated with the proposed construction activities, including grading, excavation, and proximity to improvements. Trees located on neighboring properties were observed visually from accessible vantage points only. No access was obtained to off-site properties, and no detailed inspection, testing, or monitoring of neighboring trees was performed unless expressly noted.

Any observations regarding neighboring trees are provided for context and impact evaluation purposes and should not be construed as a complete condition assessment. This report does not assign or imply an appraised monetary value for any tree. Where neighboring trees are discussed, any reference to condition or potential impact is preliminary in nature and not intended to support valuation, compensation, or damage claims. Tree appraisal, if requested, would require a separate assignment and a more comprehensive level of inspection consistent with industry standards. The findings and recommendations presented herein reflect

recommended for removal are designated with an (R) on the tree inventory. Trees identified for removal are not included in the Tree Protection Plan and are assumed to be prepared for removal under a separate approval process.

**Common Name / Botanical Name:**

Identifies the tree species using commonly accepted common names and scientific nomenclature based on visual characteristics observed at the time of inspection. Species identification is made to the best of the arborist's professional judgment using available field indicators. In some cases, environmental conditions, seasonal characteristics, or limited access may affect definitive identification, and nomenclature should be considered an informed professional opinion rather than a guarantee.

**Trunk Diameter at Breast Height (DBH, inches):**

Represents the trunk diameter, defined by the applicable ordinance. DBH measurements are obtained using a diameter tape where the trunk is accessible. Where direct measurement is not feasible due to site constraints, obstructions, or limited access, DBH values are estimated based on visible trunk dimensions and professional judgment. For trees located on neighboring properties, DBH values are derived from available topographic or tree survey data when provided. Estimates may vary by approximately one to two inches or more from actual measurements.

**Individual Trunk Diameters (for Multi-Trunk Trees):**

For trees with multiple trunks, individual stem diameters are measured at the required height where the trunks meet ordinance criteria. Total diameter is calculated by using the diameter of the largest trunk and adding one half of the diameter of each additional qualifying trunk, unless a different calculation method is specifically required by the applicable city or county ordinance. Measurement methodology is consistent with guidance outlined in current International Society of Arboriculture references and standard arboricultural practice.

**6, 8, 10 Times the Diameter (ft.):**

Represents calculated distances derived from the tree's trunk diameter to illustrate applicable tree protection and construction setback zones as defined by local ordinances and project requirements. Distances are calculated by converting the trunk diameter from inches to feet by dividing the DBH by twelve, then multiplying by the applicable factor of six, eight, or ten. These values are provided to assist with planning, fencing layout, and evaluation of proposed improvements in relation to protected root zones and are based on measured or estimated trunk diameters at the time of inspection.

**Tree Height (ft.) / Canopy Spread (ft.):**

Represents estimated measurements of the tree's overall height and average canopy spread at the time of inspection. Heights are visually estimated based on field observation, and canopy spread is approximated by walking off the dripline extent on site to determine average horizontal canopy dimensions. These values are provided to characterize general tree size and form and are not intended to represent survey-grade measurements.

**Overall Health Assessment:**

The overall health rating reflects the tree's physiological condition and vigor based on visible indicators at the time of inspection. Trees rated Poor show minimal new growth, significant dieback, pest or disease pressure, and are not expected to reach a normal species-specific lifespan. Trees rated Fair exhibit moderate new

growth, canopy density generally ranging from approximately sixty to ninety percent, and may show signs of stress or vulnerability, though they are not actively declining. Trees rated Good demonstrate vigorous growth, healthy foliage, canopy density typically exceeding eighty percent, and are expected to reach a normal lifespan under favorable conditions.

**Structural Integrity Assessment:**

The structural integrity rating reflects the presence and severity of structural defects observed at the time of inspection and the tree's ability to maintain stability over time. Trees rated Poor exhibit major, largely uncorrectable structural defects, which may include extensive dead wood, advanced decay, multiple competing trunks, or pronounced lean that presents an elevated risk. Trees rated Fair display identifiable structural deficiencies that are less severe but may include moderate lean, trunk crowding, or defects that are only partially correctable through pruning or mitigation. Trees rated Good exhibit minor structural flaws only, with an upright or generally stable trunk, well-spaced scaffold branches, and defects that are largely correctable through standard arboricultural practices, resulting in a balanced or mostly symmetrical canopy.

**Form and Aesthetic Quality Assessment:**

The form and aesthetic quality rating evaluates the tree's overall structure and visual contribution to the landscape relative to species norms. Trees rated Poor exhibit highly asymmetric, distorted, or abnormal form that significantly limits aesthetic or functional value. Trees rated Fair show noticeable asymmetries or deviations from typical species form that compromise appearance or function to a moderate degree. Trees rated Good display near-ideal form with only minor deviations, maintaining consistent aesthetic value and functional contribution to the landscape.

**Preservation Suitability Rating:**

The preservation suitability rating evaluates the tree's overall ability to be successfully retained within the proposed development context. Trees rated Poor contribute limited functional or aesthetic value to the landscape, exhibit compromised health or structure, and are unlikely to tolerate construction-related impacts even with protective measures. Trees rated Fair provide moderate landscape value and may be retained where impacts are minor and appropriate protection measures are implemented. Trees rated Good are considered valuable landscape assets with a high likelihood of successful retention during minor to moderate construction impacts when protected in accordance with recommended measures.

**Overall Condition Score (0-100%):**

The overall condition rating is derived from a weighted evaluation of three core attributes: structural integrity, physiological health, and form. Each attribute is assigned a qualitative rating of Poor, Fair-Poor, Fair, or Good based on observed conditions at the time of inspection. These qualitative ratings are internally converted to an ordinal numeric scale to allow consistent comparison across trees, with Poor representing the lowest condition and Good representing the highest.

Structural integrity is weighted at fifty percent of the overall score due to its direct relationship to risk and long-term retention potential. Physiological health contributes thirty-five percent, reflecting the tree's current vigor and ability to respond to stressors. Form and aesthetic quality contribute fifteen percent and are considered secondary to safety and biological function. The combined weighted score is normalized to a percentage scale and conservatively capped so that even trees rated Good across all categories do not reach a full 100 percent rating. This cap is intentional and reflects professional judgment that no tree is without

**Arborist Observations and Tree Notes:**

Summarizes field observations recorded at the time of inspection based on a ground-based visual assessment. Notes reflect observed tree condition, structural characteristics, site context, and construction-related considerations visible at the time of the site visit. Observations are limited to conditions apparent from accessible areas and do not include aerial inspection or invasive evaluation unless otherwise stated. Field notes are documented contemporaneously and may contain minor spelling or grammatical inconsistencies, which do not affect the intent or substance of the observations.

*\*Note: Not all data fields are applicable to every tree. Certain fields may be left blank where measurements were not accessible, where site conditions limited observation, where sufficient information was not available, or where the parameter is not relevant to the evaluation or regulatory status of a particular tree. All information presented is based on conditions observed at the time of inspection and reflects the defined scope of work for this assignment. Tree conditions and site circumstances may change over time. Condition ratings and scores are intended as comparative planning tools to support preservation and impact evaluation and should not be interpreted as tree risk assessments or predictions of future performance.*

**TREE INVENTORY SURVEY**

Tree Tag Number	Preservation Status	Common Name / Botanical Name	Tree Diameter at Breast Height (DBH, inches)	Six Times Tree Diameter (ft.)	Eight Times Tree Diameter (ft.)	Ten Times Tree Diameter (ft.)	Tree Height (ft.) / Canopy Spread (ft.)	Overall Health Assessment	Structural Integrity Assessment	Form and Aesthetic Quality Assessment	Preservation Suitability Rating	Overall Condition Score (0-100%)	Arborist Observations and Tree Notes		Tree Picture #
													Arborist Observations and Tree Notes	Tree Picture #	
1	Yes (P)	LONDON PLANE TREE <i>Platanus x hispanica</i>	15.7	7.9	10.5	13.1	30/30	Fair-Poor	Fair	Fair-Poor	Poor	55%	Street tree, in small planting pit, filling sidewalk, colonnade at 10 feet, under utility lines, pruned for utility line clearance, unbalanced canopy.	1	
2	No (R)	ORANGE <i>Citrus sinensis</i>	6	3.0	4.0	5.0	10/8	Fair	Fair	Fair	Fair	60%	Fruit tree	2	
3	No (R)	ORANGE <i>Citrus sinensis</i>	6	3.0	4.0	5.0	10/8	Fair	Fair	Fair	Fair	60%	Fruit tree	3	
4	No (R)	ORANGE <i>Citrus sinensis</i>	3	1.5	2.0	2.5	8/8	Fair	Fair	Fair	Fair	60%	Fruit tree	4	
5	No (R)	AFRICAN FERN PINE <i>Azopagus falcatu</i>	4	2.0	2.7	3.3	12/10	Good	Fair	Fair	Fair	65%	Prune as a hedge, screening Tree	5	
6	No (R)	AFRICAN FERN PINE <i>Azopagus falcatu</i>	4	2.0	2.7	3.3	12/10	Good	Fair	Fair	Fair	65%	Prune as a hedge, screening Tree	6	
7	No (R)	ENGLISH LAUREL <i>Prunus laurocerasus</i>	4	2.0	2.7	3.3	10/10	Fair	Fair	Fair	Fair	60%	Prune as a hedge	7	

conditions observed at the time of inspection and are based on the information available. Tree condition and site circumstances may change over time due to construction activity, environmental conditions, or other factors beyond the control of the arborist.

**METHOD OF INSPECTION**

The tree inspections were conducted from the ground without climbing the trees and were limited to visual observations from accessible areas at the time of the site visit. No tissue samples or root crown inspections were performed, and no subsurface or invasive testing was undertaken unless otherwise stated. The trees under consideration were identified based on the provided site plan and field verification where feasible.

To assess the trees, their diameters were measured using a D-Tape, where access allowed. Where site constraints limited direct measurement, trunk diameters were estimated based on visible conditions and professional judgment. For the surveying of multi-trunk trees, our methodology aligns with city ordinances. In cases where the city does not offer specific guidelines for measuring multi-trunk trees, we adhere to the standards outlined in the Guide for Plant Appraisal, 10th Edition, Second Printing by the Council of Tree and Landscape Appraisers.

Additionally, the trees were evaluated for their health, structure, form, and suitability for preservation based on conditions observed at the time of inspection and in relation to the proposed construction. These evaluations are intended to support planning, impact assessment, and tree protection recommendations and should not be interpreted as detailed diagnostic evaluations or tree risk assessments. The following section provides definitions and explanations of the rating categories used in this report.

**EVALUATION FIELDS**

**Tree Tag Number:**

An identification number assigned to each tree inventoried and evaluated as part of this report. Tree tag numbers correspond to the numbering shown on the site map. Physical tagging of trees is performed where site access allows and where trees are located within the project site. Trees located in inaccessible areas or on neighboring properties are not physically tagged and, where referenced, are identified by number for documentation and impact evaluation purposes only.

**Protected Tree Status:**

Identifies whether a tree meets the size and species thresholds to qualify as a regulated or protected tree under the applicable city or county ordinance at the time of inspection. Trunk diameter measurements reflect conditions observed on the inspection date. Trees are living organisms and continue to grow over time, and depending on species, site conditions, and project duration, a tree that does not qualify as protected at the time of inspection may reach the protected size threshold during or after construction. We display Protected with a (YES) in green on the tree inventory survey.

**Preservation or Removal Recommendation:**

Indicates the recommended disposition of each tree based on observed condition, regulatory status, and relationship to the proposed improvements. Trees recommended for preservation are designated with a (P) on the tree inventory and are subject to the protection measures outlined in the Tree Protection Plan. Trees

limitations or future risk, particularly within managed urban environments and active construction contexts. As a result, the overall condition rating spans from zero to eighty percent, with higher values indicating stronger preservation suitability within the defined range from Poor to Good.

**Poor (approximately 0-24%)**

Trees plotting at the bottom of the scale fall near zero percent and reflect Poor condition across structure, health, and form. These trees exhibit significant limitations to retention, reduced functional capacity, or elevated long-term risk.

**Fair-Poor (approximately 25-49%)**

As the score rises into the lower-middle portion of the scale, trees fall within the Fair-Poor range. These trees retain some functional value but display notable defects, stress indicators, or structural concerns that limit preservation suitability.

**Fair (approximately 50-69%)**

Trees in the middle-to-upper portion of the scale represent Fair condition. These trees are generally serviceable, structurally stable, and physiologically functional, with issues that are considered manageable through standard arboricultural practices.

**Good (approximately 70-100%)**

The upper end of the scale represents Good condition. These trees exhibit strong structural integrity, acceptable health, and functional form. Scores are intentionally capped at eighty percent to reflect professional judgment that no urban tree is without limitations or future risk, particularly within managed landscapes and construction environments.

**Appraised Value:**

Where provided, appraised value represents an estimate of tree value prepared in general accordance with the current edition of the Guide for Plant Appraisal published by the Council of Tree and Landscape Appraisers. Appraisals are limited to the scope and level of inspection performed as part of this assignment. Trees located on neighboring properties were not fully inspected and, where referenced, any value shown is preliminary in nature. Appraised values are provided for planning and informational purposes only and are not intended for use in legal proceedings, insurance claims, or damage valuation without additional assessment.

**Tree Picture:**

Photographs were taken in the field at the time of inspection using an iPhone or equivalent mobile device and are intended to document general tree condition and site context. Images were captured from the best available vantage point where access allowed. In some cases, photographs may include multiple trees within a single image or may be partially obstructed due to surrounding vegetation, structures, or limited access. Trees located on neighboring properties may not be fully visible from accessible viewpoints.

Rev. #	Description	Date
001	Response to Comments	12/3/25
002		
003		
004		
005		
006		

Owner : J. BECKHAM  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM



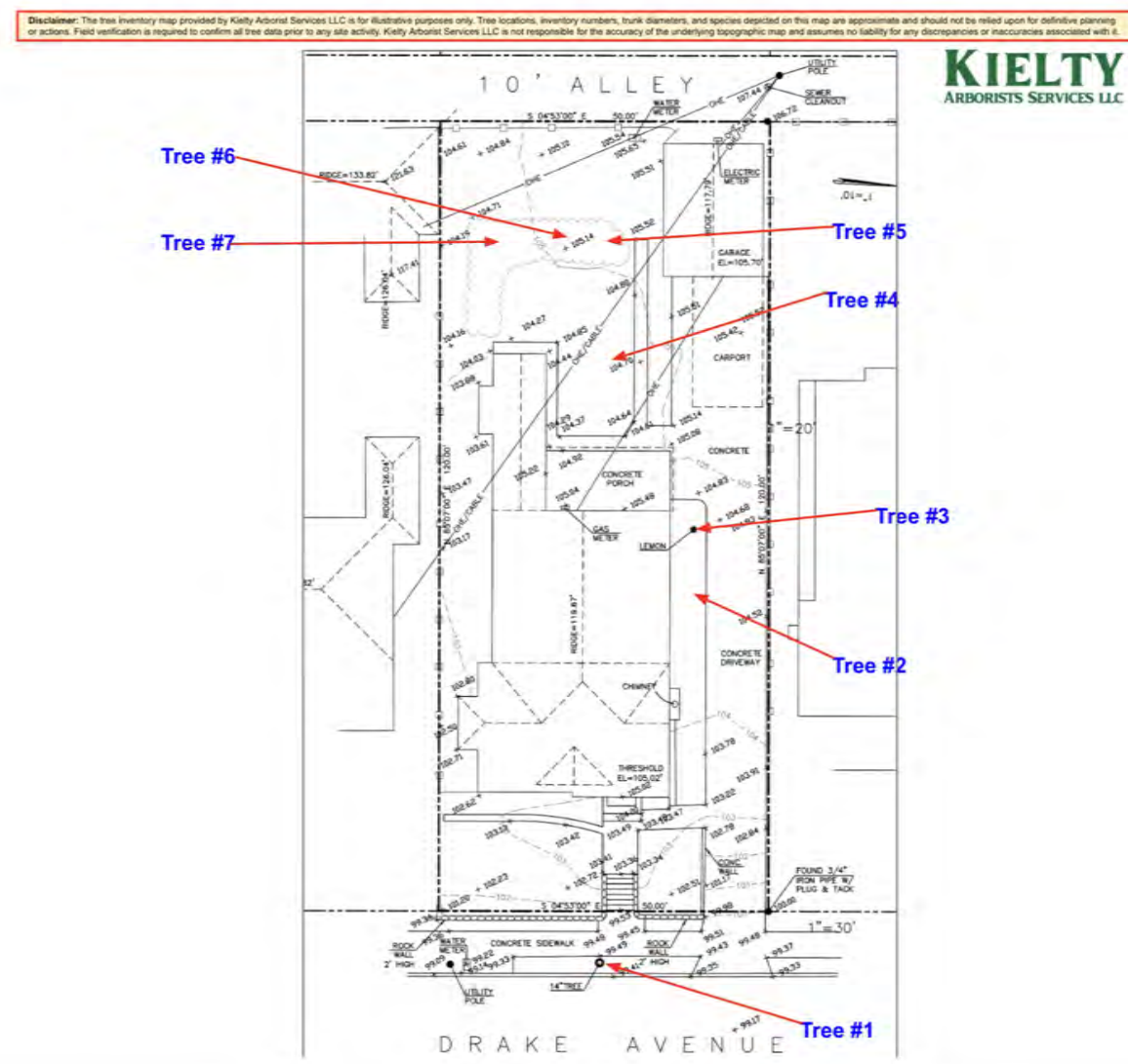
Title : Arborist Report  
Project : SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No. : 25\_38  
Drawn : TIM RADUENZ  
Date : 09.08.25

BUILDING SET  
PLANNING SET

APN# : 026-033-100

**TREE MAP**



**OBSERVATIONS**

**Site Conditions**  
The subject property is currently developed with a single-family residence, driveway, detached garage and landscaped areas. Existing hardscape, foundations, and utilities have resulted in varying degrees of soil disturbance and compaction across the site. These conditions are expected to influence root distribution, particularly adjacent to existing structures and paved areas.

**Species Composition:**  
LONDON PLANE TREE (*Platanus x hispanica*) qty1 (PROTECTED)

ORANGE (*Citrus sinensis*) qty3 (non-protected)

AFRICAN FERN PINE (*Azadirachta indica*) qty3 (non-protected)

**General Tree Condition**  
All of trees evaluated are in fair overall condition and are considered suitable for retention with appropriate protection measures during construction.

**Construction Sensitivities**  
Trees located near existing and proposed improvements may be subject to root disturbance, soil compaction, or canopy conflicts if construction activities are not properly managed. These sensitivities are addressed through the recommended tree protection measures and construction methodologies outlined in this report.

**TREES PROPOSED FOR REMOVAL**

**Trees Proposed For Removal:**  
Trees #2-7 are proposed for removal. These trees are all small non-protected trees and do not require a tree removal permit.

Total Removed Trees	Significant / Protected Trees	Non-Protected Trees
6	0	6



Showing orange trees #2-4



Showing African fern pine trees #5 and #6 (left and middle) and English laurel #7 (right)

**Replacement Tree Plan:**  
Five 24" box trident maple trees are proposed on site to improve site screening and to conform with city standards.

**PROJECT PLAN REVIEW**

The following report's recommendations are contingent upon the contractor adhering to the stated responsibilities. It is the contractor's responsibility to contact the project arborist to schedule all required inspections promptly. Failure to schedule these inspections as needed may result in fines or stop work orders from the city.



**Street Tree #1**  
London plane street tree #1 is within the planting strip at the front of the property boundary and is in fair condition. A new curb, gutter, driveway, and sidewalk is proposed. This work will take place within the tree's tree protection zones. The primary potential risk is root damage, soil compaction and mechanical injury from vehicular traffic or construction equipment. The removal of the curb, gutter, driveway, and sidewalk will need to be done by hand under the direction of the project arborist when working within 13.1' from the tree. All concrete material must be removed by breaking the material with a jackhammer and then being removed by hand. Any excavation needed for new base rock material must be done by hand in combination with an air knife. If possible existing baserock shall be reused. All encountered roots during this process including demolition must be kept moist by wrapping/covering roots in layers of wetted down burlap. It is the contractor's responsibility to wet down the burlap daily while exposed. Roots observed within the new baserock layer must be retained within the new baserock layer. Base rock shall be hand tamped around tree roots with the new concrete poured on top of the root zones without the need to cut tree roots. If roots are to be cut for any reason they shall first be showed to the project arborist for documentation and direction. Impacts are expected to be minor to moderate. The landscape strip where the tree is located shall be irrigated every other week during the dry season with enough clean water to penetrate the top 18" of soil. By providing supplemental irrigation to the trees, impacts will be mitigated.

Showing street tree #1

**Pre And Post-Construction Care:**

If the project is approved, a comprehensive soil test is recommended to assess and address any nutrient deficiencies for trees where construction is to be located within the tree protection zones. The soil test shall take place before the start of construction.

**Pre-Construction Care:**

In the pre-construction phase, it is critical to prepare the trees for the upcoming stress and disturbances. Implementing a deep watering schedule is foundational, ensuring trees receive adequate moisture deep within their root zones. Depending on the recommended soil test analysis, fertilizing may be needed. Within the tree protection zones, it is recommended that an inline drip emitter system be installed in a grid-like manner to provide deep irrigation during the dry season. The irrigation system should be placed on top of the existing grade and require no excavation. The irrigation system shall be turned on by the project arborist as seen fit during the required monthly inspections. Regardless of the soil test results, the use of NutriRoot is still strongly advisable for trees that will be impacted by construction activities. The stresses caused by construction, such as root disturbance, soil compaction, and changes in water availability, can severely affect a tree's health. NutriRoot provides essential nutrients, promotes root growth, and enhances water management, helping trees withstand and recover from these stresses. Importantly, NutriRoot is low in macronutrients, which means it should not cause issues associated with over-fertilization, such as nutrient runoff or root burn. This makes it a safe and effective option for supporting the resilience and vitality of trees during and after construction, ensuring their long-term health and stability.

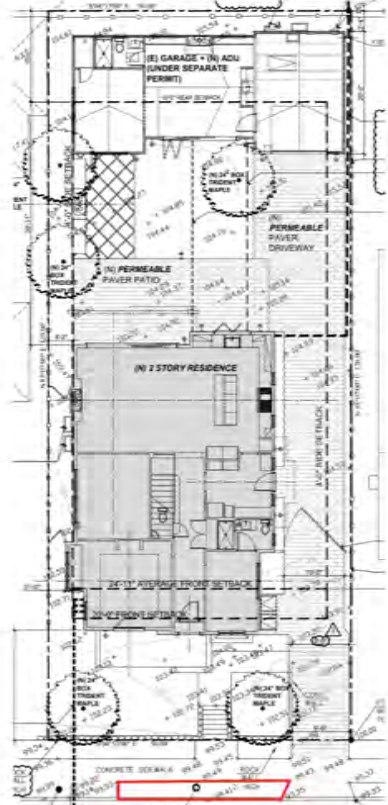
**Post-Construction Care:**

Following the completion of construction activities, it's vital to continue supporting the trees' recovery and growth. Annual inspections by a Certified Arborist are recommended to ensure the tree remains in good health. Maintaining the deep watering schedule will ensure that trees remain adequately hydrated. A post-construction application of NutriRoot is advised to sustain soil moisture control and support ongoing root health. It is also pertinent to reintroduce microbial inoculants to restore beneficial microbial communities that may have been disrupted during construction. Additional applications of soil amendments like Biochar and Hydrafume will continue to enhance soil structure, fertility, and water-holding capacity, supporting the trees' long-term health and resilience. Employing air spading techniques can also be advantageous to aerate the soil and gently introduce these amendments without causing root damage.

By adopting this dual-phase approach (pre- and post-construction), leveraging a combination of deep watering, nutritional support, and soil health enhancement, the strategy aims to not only protect the trees during construction but also promote their recovery and thriving in the post-construction landscape. This holistic care plan underscores a commitment to sustainable tree management, ensuring that the trees remain a valuable and vibrant part of the ecosystem for years to come.

**TREE PROTECTION PLAN**

**Detailed Tree Protection Plan:**  
For the aforementioned tree protection plan, this detailed guide has been designed by Kiely Arborists Services LLC. The following section offers an in-depth perspective on the recommended tree preservation guidelines. The aim is to ensure the conservation, vitality, and beauty of trees during construction and developmental endeavors, mitigating any potential detrimental effects. Adherence to these guidelines is essential to uphold both the ecological significance and visual allure of trees within the designated project vicinity. Effective tree protection during construction or development projects requires the use of fencing to demarcate and protect sensitive areas around trees. Should you have any questions or require further clarification, please contact Kiely Arborists Services directly.



The red line indicates type 2 tree protection fencing for street tree #1

**Fencing Specifications:**

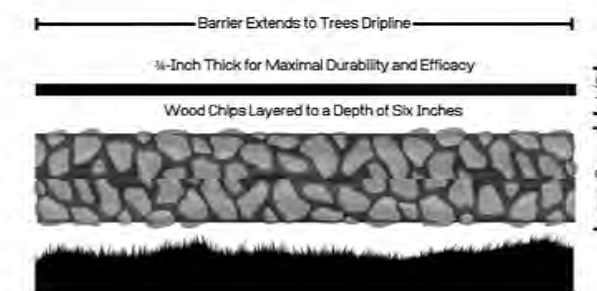
The tree protection fencing should be established and maintained throughout the entire length of the project. It's essential that no equipment, materials, or debris are stored or cleaned inside these protection zones. The zones should remain free from human activity unless explicitly authorized. The choice of fencing type depends on the tree's location and the nature of the surrounding environment.

**Type II Tree Protection:**

**Description:** This fencing type is specifically designed for trees located within narrow planting strips generally between a sidewalk and street.  
**Application:** It is best suited for urban areas where trees are sandwiched between sidewalks and roads, allowing pedestrian and vehicular movement while protecting the tree.  
**Specifications:** The fencing specifications shall be identical to those of Type I in terms of the material used and installation method. The 6-foot-tall metal chain link fence should be installed in a way that completely encloses the planting strip between the sidewalk and street when within the TPZ. This will keep the sidewalk and street open for public use. Tree #1 is to be protected by Type II tree protection fencing.

**Landscape Barrier Zone**

If for any reason a smaller tree protection zone is needed for access, a landscape buffer should be used, composed of wood chips layered to a depth of six inches, complemented by plywood atop the wood chips where tree protection fencing would typically be situated. The plywood should be 3/4-inch thick for maximal durability and efficacy. This landscape buffer plays a crucial role in mitigating soil compaction within the tree's vulnerable root zone. For optimum stability, it is advisable to securely join the plywood boards, thus preventing any unwanted shifts in the plywood or underlying wood chips.



Landscape Barrier Zone

**Staging:**

All tree protection measures must be in place before the start of construction. An inspection prior to the start of construction is often required by the city. All vehicles must remain on paved surfaces if possible. Existing pavement should remain and should be used for staging. If vehicles are to stray from paved surfaces, 6 inches of chips shall be spread, and plywood shall be laid over the mulch layer. This type of landscape buffer will help reduce the compaction of desired trees. Parking will not be allowed off the paved surfaces.

**Root Cutting:**

If for any reason roots are to be cut, the work shall be monitored and documented. Large roots (over 2 inches in diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

**Trenching/excavation:**

Trenching or excavation for irrigation, drainage, electrical, foundation, or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near their original level, as soon as possible. Trenches to be left open for a period of time (24 hours), will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

**Grading:**

All existing grades underneath the dripline of a protected tree shall remain as is where possible. Grading within the dripline of a protected tree is required to be done under the supervision of the project arborist.

**Irrigation:**

Non-native trees- Irrigating the retained mature trees in the landscape is important to ensure their health and vitality. Proper watering can help the trees continue to thrive. Deep irrigation is recommended to take place every other week during the dry season. During the dry season, trees typically need deep, infrequent watering. Watering every 2 weeks is sufficient for the retained trees on this site. Applying water slowly and consistently until it penetrates at least 12-18 inches into the soil is recommended. Avoid spraying water directly on the trunks, as this can lead to disease and decay. Mulch is recommended to be maintained with mulch added overtime as needed. Mulch helps retain soil moisture, regulates temperature, and prevents weeds, which can compete with the tree for water. The use of soaker hoses or an inline drip emitter system set up in a grid like manner to provide deep irrigation during the dry season is recommended. The irrigation system should be placed on top of grade and require no excavation. This will help to keep the trees healthy.

Native oak trees- Native oak trees are recommended to only be irrigated during the months of May and September or if their root zones are traumatized. Frequent irrigation during dry summer months can significantly raise the risk of oak trees developing oak root fungus disease and is the leading cause of oak tree death and failure in the urban landscape.

**Tree Pruning:**

Tree pruning during construction is not just about aesthetics and safety; it's also about adhering to best practices and standards set by professional bodies like the International Society of Arboriculture (ISA) and the American National Standards Institute (ANSI A300 Pruning Standards). The ISA sets rigorous standards to ensure trees are cared for sustainably and scientifically. Under these guidelines, and for the well-being of trees during construction, it's imperative to have an expert arborist oversee any pruning. Their knowledge guarantees that only the necessary branches are removed, ensuring both safety and tree health. The guideline to prune no more than 25% of the tree's total foliage is grounded in sound arboricultural practices. This safeguards the tree's photosynthetic capability, reduces undue

Revisions

Rev. #	Description	Date
001	Response to Comments	12/3/25
002		
003		
004		
005		
006		

Contractor:

Owner: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010  
YEAR BUILT: 1974  
ZONING: RESIDENTIAL  
LOT SIZE: 6,100 SQ. FT.  
APN#: 026-033-100

4643 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDSIGN.COM



Title: Arborist Report  
Project: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010  
Job No.: 25\_38  
Drawn: TIM RODRIGUEZ  
Date: 09.08.25

Sheet  
Scale: See Details

AR3

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stress, and preserves the balance between its roots and canopy. Homeowners should be aware of these standards and ensure they are being met, trusting in the expertise of their arborist and keeping open communication about their tree care decisions. This approach not only ensures the tree's compatibility with new construction aesthetics but also its long-term health and vitality.

Traffic Within TPZs:

Strictly prohibit driving vehicles or heavy foot traffic on bare soil within the TPZs of protected trees. Such activities can crush roots directly and compact the soil, impeding oxygen and water infiltration. In areas without existing pavement, use temporary anti-compaction materials, such as wood chips covered with plywood, to prevent damage to tree roots (landscape barrier). Temporary pathways or boardwalks can be constructed to facilitate access while minimizing soil compaction within the TPZ.

Chemical and Material Handling:

Store chemicals and construction materials away from TPZs to prevent accidental spills or exposure that may harm tree health. Follow proper handling and disposal procedures for chemicals to ensure compliance with environmental regulations. Minimize the use of toxic materials near trees and opt for environmentally friendly alternatives whenever possible.

Monitoring and Inspection:

Regularly monitor and inspect the tree protection measures throughout the construction process to ensure their effectiveness and compliance with the Tree Preservation Plan. Assign a qualified individual, such as a project arborist or certified arborist, to conduct periodic inspections and provide recommendations for any necessary adjustments or improvements. Maintain detailed records of inspections, including dates, findings, and any actions taken.

Post-Construction Maintenance:

After construction is completed, continue monitoring the health and condition of preserved trees to address any potential issues promptly. Implement post-construction maintenance practices such as watering, mulching, pruning, and fertilization as needed to support the recovery and long-term health of the trees. Regularly assess the trees for signs of stress, disease, or structural instability and take appropriate measures, including consulting with a certified arborist if necessary.

Compliance with Environmental Laws:

Ensure full compliance with all applicable local, state, and federal environmental laws, regulations, and permit requirements pertaining to tree protection during construction. Familiarize yourself with specific regulations regarding tree preservation in your jurisdiction and consult with local authorities or arborists for guidance if needed.

Responsibility:

Designate a responsible person or team within the project organization to oversee the implementation and enforcement of the Tree Preservation Plan. Clearly communicate the roles and responsibilities of all parties involved in the construction project regarding tree protection.

Emergency Procedures:

Develop clear procedures to follow in the event of emergencies that may impact tree preservation, such as severe storms, accidents, or unexpected tree health issues. Ensure that emergency response plans address prompt actions to mitigate potential risks to trees and contact qualified professionals, such as arborists or tree care companies when needed.

Communication and Training:

Facilitate effective communication among all project stakeholders, including contractors, subcontractors, architects, engineers, and landscape professionals, regarding the importance of tree preservation and the specific guidelines to follow. Conduct training sessions or workshops to educate personnel.

PURPOSE & USE OF THE REPORT

This report has been prepared to inform tree management decisions associated with the proposed construction project and to provide professional recommendations intended to maximize the survival and long-term viability of retained trees. The report is based on conditions observed at the time of inspection and on the construction plans provided and reviewed as part of this assignment. It is intended to serve as a technical resource for the project owner, design professionals, contractors, and reviewing agencies to facilitate informed discussion, coordination, and implementation of tree protection measures consistent with applicable municipal requirements.

The findings, conclusions, and recommendations contained in this report are specific to the subject property, the proposed project as described, and the scope of work defined herein. This report is not intended to be relied upon for purposes other than tree protection planning, construction coordination, and permit review. It does not constitute a tree risk assessment, guarantee of tree performance, or prediction of future tree condition, nor does it establish legal responsibility for tree outcomes beyond the scope of the recommended measures.

This report may be submitted to the applicable jurisdiction as part of a development or permit application; however, use of this report by third parties without written authorization from Kiely Arborists Services LLC is not permitted. Any modifications to the project design, construction methods, or site conditions occurring after the date of inspection may invalidate the conclusions and recommendations contained herein and may require supplemental evaluation.

Tree conditions are dynamic and may change due to construction activity, environmental factors, maintenance practices, or other influences beyond the control of the arborist. Implementation of the recommendations in this report does not ensure tree survival, but reflects accepted arboricultural practices intended to reduce potential impacts within a construction environment.

TESTING & ANALYSIS

Tree evaluation was conducted using a ground-based visual assessment and standard arboricultural field methods appropriate for inventory and tree protection planning. Where trunks were accessible, trunk diameters were measured at the required height using a diameter tape. Where access was limited due to site constraints, existing structures, or vegetation, trunk diameters were visually estimated based on observable conditions and professional judgment. Trees meeting or exceeding the diameter thresholds defined by applicable city or county ordinance were included in the inventory.

Tree health evaluations were based on visible indicators observed at the time of inspection, including canopy density, vigor, presence of dieback, and signs of stress or decline. These observations were interpreted using accepted arboricultural principles and professional experience with the species present. Evaluations were qualitative in nature and intended to support planning, preservation feasibility, and construction impact analysis rather than detailed diagnostic or laboratory-based assessments.

Tree locations were documented using the site map provided for the project and were used to generate the tree inventory exhibits included in this report. Where trees were not shown on the provided site map, their locations were added based on field observations and estimated placement relative to visible site features. Tree locations shown on these exhibits are approximate and are intended for general reference and planning purposes only and may not represent survey grade precision.

TREE WORK STANDARDS AND QUALIFICATIONS

To ensure high-quality tree work, including removal, pruning, and planting, the following standards and qualifications will be adhered to:

Industry Standards:

All tree work will be performed in accordance with industry standards established by the International Society of Arboriculture (ISA). These standards encompass best practices and guidelines for tree care and maintenance.

Contractor Licensing and Insurance:

The contractor undertaking the tree work must possess a valid State of California Contractors License for Tree Service (C61-D49) or Landscaping (C-27). Additionally, they must have comprehensive general liability, worker's compensation, and commercial auto/equipment insurance coverage.

Workmanship Standards:

Contractors must adhere to the current Best Management Practices of the International Society of Arboriculture (ISA) and the American National Standards Institute (ANSI). These standards, including ANSI A300 and Z133.1, outline guidelines for tree pruning, fertilization, and safety. Compliance with these standards ensures the use of proper techniques and practices throughout the tree work process.

By adhering to these established standards and qualifications, we can ensure the provision of professional and safe tree services that meet the industry's best practices and promote the health and longevity of the trees.

SCHEDULE OF INSPECTIONS

Kiely Arborists Services LLC provides construction-related tree inspections when requested and scheduled in accordance with project needs and applicable city or county requirements. Inspections described below represent typical phases of construction where arborist involvement is commonly required; however, the responsibility to request, schedule, and coordinate required inspections rests with the property owner and/or the contractor. Kiely Arborists Services LLC may or may not have direct contractual relationship or prior communication with the contractor at the time this report is prepared. Failure by the owner or contractor to schedule required inspections may result in non-compliance with municipal conditions and is outside the control and responsibility of the arborist.

Pre-Equipment Mobilization, Delivery of Materials, Tree Removal, and Site Work:

When scheduled, the project arborist will meet with the general contractor and owner to review approved tree protection measures. This inspection may include identification and verification of tree protection zone fencing locations, review of equipment access routes and material staging areas, and evaluation of existing tree conditions to determine whether additional protective measures are warranted prior to commencement of site work.

Inspection Following Installation of Tree Protection Fencing:

Upon notification that tree protection fencing has been installed, the project arborist will inspect the site to verify that fencing and signage are consistent with the approved Tree Protection Plan. Contractor requests for access within tree protection zones, if any, will be reviewed at that time, and visible changes in tree condition since the previous inspection will be documented.

Inspection During Excavation or Work Affecting Protected Trees:

Where construction activities occur within or adjacent to designated tree protection zones, inspections may be performed when scheduled to observe work methods, document compliance with recommended protection measures, and evaluate observable changes in tree condition relative to prior inspections.

Final Site Inspection:

When requested prior to project completion, a final inspection may be conducted to evaluate the condition of retained trees and verify compliance with approved tree protection measures. Where required by the City of Burlingame a summary letter documenting observations at the time of final inspection may be provided.

All inspections are limited to conditions observed at the time of each site visit. Kiely Arborists Services LLC is not responsible for construction activities occurring outside of scheduled inspections, nor for failure by the owner or contractor to request or comply with required inspections mandated by the approving jurisdiction.

ASSUMPTIONS AND LIMITING CONDITIONS

Legal Descriptions and Titles:

The consultant/arborist assumes the accuracy of any legal description and titles provided. No responsibility is assumed for any legal due diligence. The consultant/arborist shall not be held liable for any discrepancies or issues arising from incorrect legal descriptions or faulty titles.

Compliance with Laws and Regulations:

The property is assumed to be in compliance with all applicable codes, ordinances, statutes, or other government regulations. The consultant/arborist is not responsible for identifying or rectifying any non-compliance.

Reliability of Information:

Though diligent efforts have been made to obtain and verify information, the consultant/arborist is not responsible for inaccuracies or incomplete data provided by external sources. The client accepts full responsibility for any decisions or actions taken based on this data.

Testimony or Court Attendance:

The consultant/arborist has no obligation to provide testimony or attend court regarding this report unless mutually agreed upon through separate written agreements, which may incur additional fees.

Report Integrity:

Unauthorized alteration, loss, or reproduction of this report renders it invalid. The consultant/arborist shall not be liable for any interpretations or conclusions made from altered reports.

Restricted Publication and Use:

This report is exclusively for the use of the original client. Any other use or dissemination, without prior written consent from the consultant/arborist, is strictly prohibited.

Non-disclosure to Public Media:

The client is prohibited from using any content of this report, including the consultant/arborist's identity, in any public communication without prior written consent.

Opinion-based Report:

The report represents the independent, professional judgment of the consultant/arborist. The fee is not contingent upon any predetermined outcomes, values, or events.

Visual Aids Limitation:

Visual aids are for illustrative purposes and should not be considered precise representations. They are not substitutes for formal engineering, architectural, or survey reports.

Inspection Limitations:

The consultant/arborist's inspection is limited to visible and accessible components. Non-invasive methods are used. There is no warranty or guarantee that problems will not develop in the future.

ARBORIST DISCLOSURE STATEMENT

Arborists specialize in the assessment and care of trees using their education, knowledge, training, and experience.

Limitations of Tree Assessment:

Arborists cannot guarantee the detection of all conditions that could compromise a tree's structure or health. The consultant/arborist makes no warranties regarding the future condition of trees and shall not be liable for any incidents or damages resulting from tree failures.

Remedial Treatments Uncertainty:

Remedial treatments for trees have variable outcomes and cannot be guaranteed.

Considerations Beyond Scope:

The consultant/arborist's services are confined to tree assessment and care. The client assumes responsibility for matters involving property boundaries, ownership, disputes, and other non-arboricultural considerations.

Inherent Risks:

Living near trees inherently involves risks. The consultant/arborist is not responsible for any incidents or damages arising from such risks.

Client's Responsibility:

The client is responsible for considering the information and recommendations provided by the consultant/arborist and for any decisions made or actions taken.

The client acknowledges and accepts these Assumptions and Limiting Conditions and Arborist Disclosure Statement, recognizing that reliance upon this report is at their own risk. The consultant/arborist disclaims all warranties, express or implied.

CERTIFICATION

I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.

David Beckham

Signature of Consultant  
David Beckham  
Certified Arborist  
WE#10724A TRAQ Qualified  
Date: January 6th, 2026



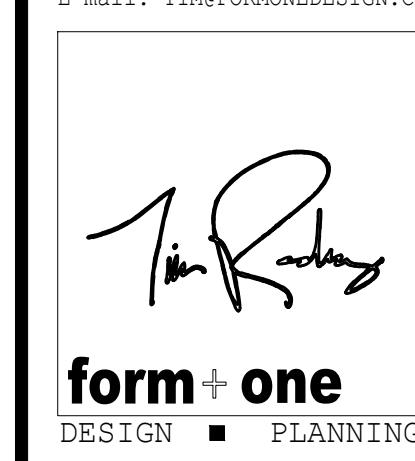
Revisions

Table with 3 columns: Rev., Description, Date. Row 1: 001, Response to Comments, 12/3/25. Row 2: 002. Row 3: 003. Row 4: 004. Row 5: 005. Row 6: 006.

Contractor:

Owner: J. BERKMAN, 1505 DRAKE AVE, BURLINGAME, CA 94010. YEAR BUILT: 1974. ZONING: RESIDENTIAL. LOT SIZE: 6,193 SQ. FT.

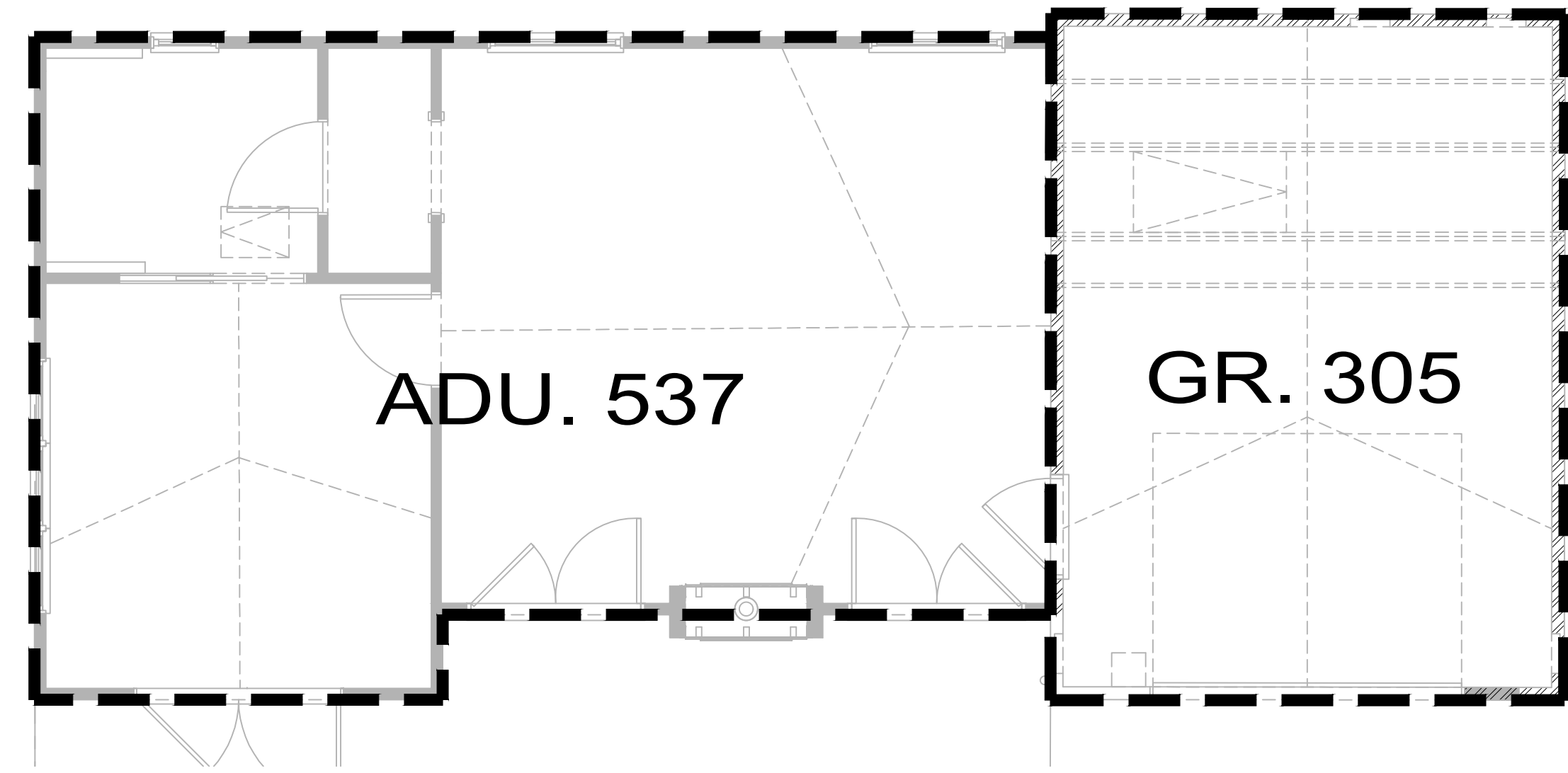
4843 SILVER SPRINGS DRIVE, Park City, UT 84098, Ph: 415.813.0304, E-mail: TIM@FORMNEDESIGN.COM



Title: Arborist Report. Project: SUCHITRA / DESIKAN, 1505 DRAKE AVE, BURLINGAME, CA 94010. Job No.: 25\_38. Drawn: TIM RABUENZ, Date: 09.08.25.

AR4. Sheet. Scale: See Details.

All drawings & specifications provided as instruments of service are the property of the designer, whether the project is executed or not. It is unlawful for any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.



**COMPLETE FAR:**

AREA	LOCATION	FAR SQ. FT.:	LOT COVERAGE SQ. FT.:	REMARKS:
1ST FLR	A	1,513	1,513	
	FRONT PORCH	-	-	FRONT PORCH, 200 ALLOWED
	CP	-	15	COVERED PORCH, 200 ALLOWED
	FP1	-	-	FIREPLACE - PER 25.30.060 + .070
2ND FLR	B	1,411	-	
	B2	9	9	BAY WINDOW
	B3	9	9	BAY WINDOW
	ADU	-	-	NEW ADU (SHOWN FOR REFERENCE ONLY)
	GR	-	305	EXISTING GARAGE (SHOWN FOR REFERENCE ONLY)
LC TOTAL:			1,851 SQ. FT.	MAX LC = 2,400 SQ. FT.
FAR TOTAL:		2,942 SQ. FT.		MAX FAR = 3,020 SQ. FT.

**DETAILS:**

APN: 026-033-100  
 LOT SIZE: 6,000 SQ. FT.

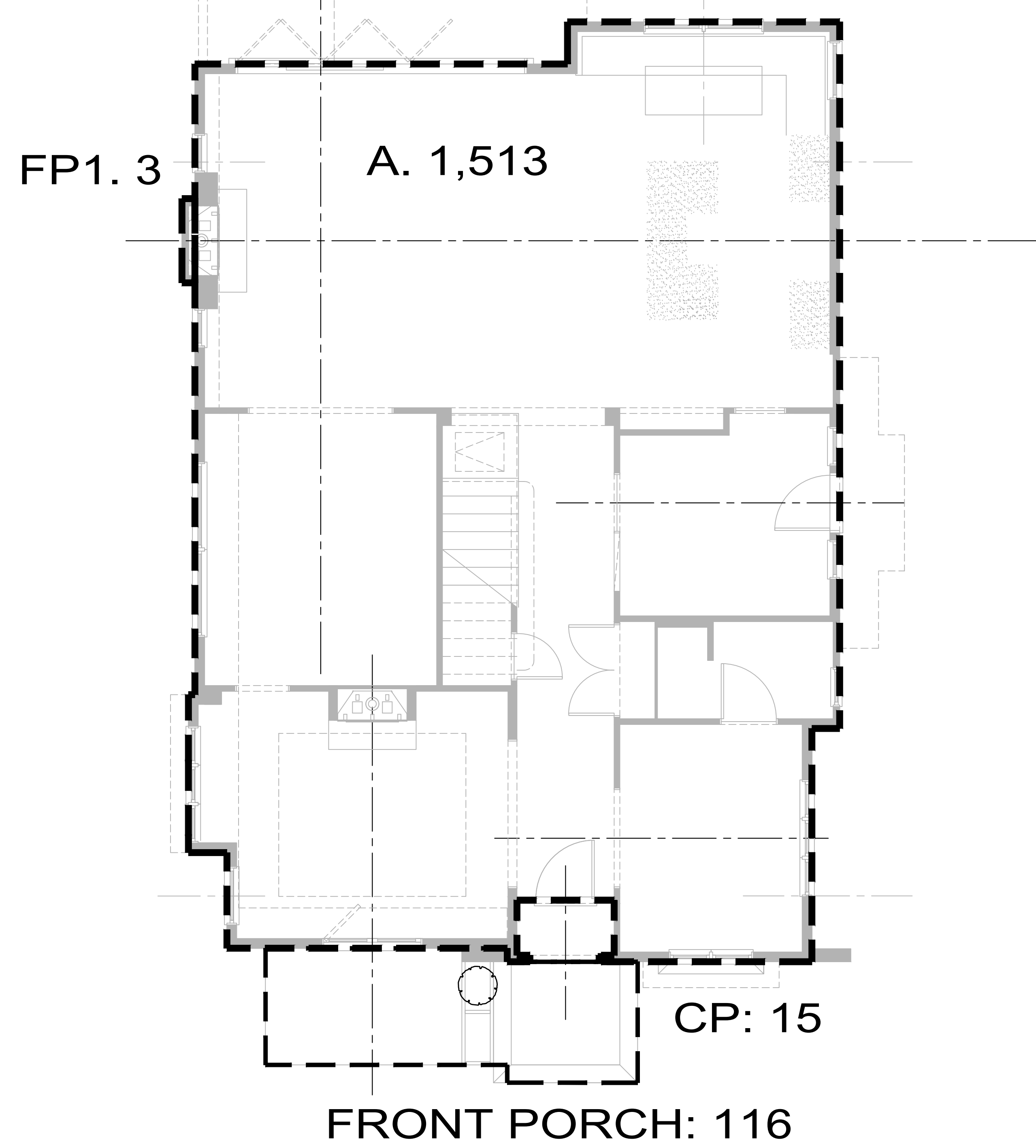
MAX ALLOWABLE FAR:  
 LOT SIZE X 32% + 1,100 = LIVEABLE SQ. FT.  
 FAR = 6,000 SQ. FT. X 32% + 1,100 = 3,020 SQ. FT.

MAX ALLOWABLE LOT COVERAGE:  
 LOT SIZE X 40% = ALLOWABLE LOT COVERAGE  
 6,000 SQ. FT. X 40% = 2,400 SQ. FT.

Revisions

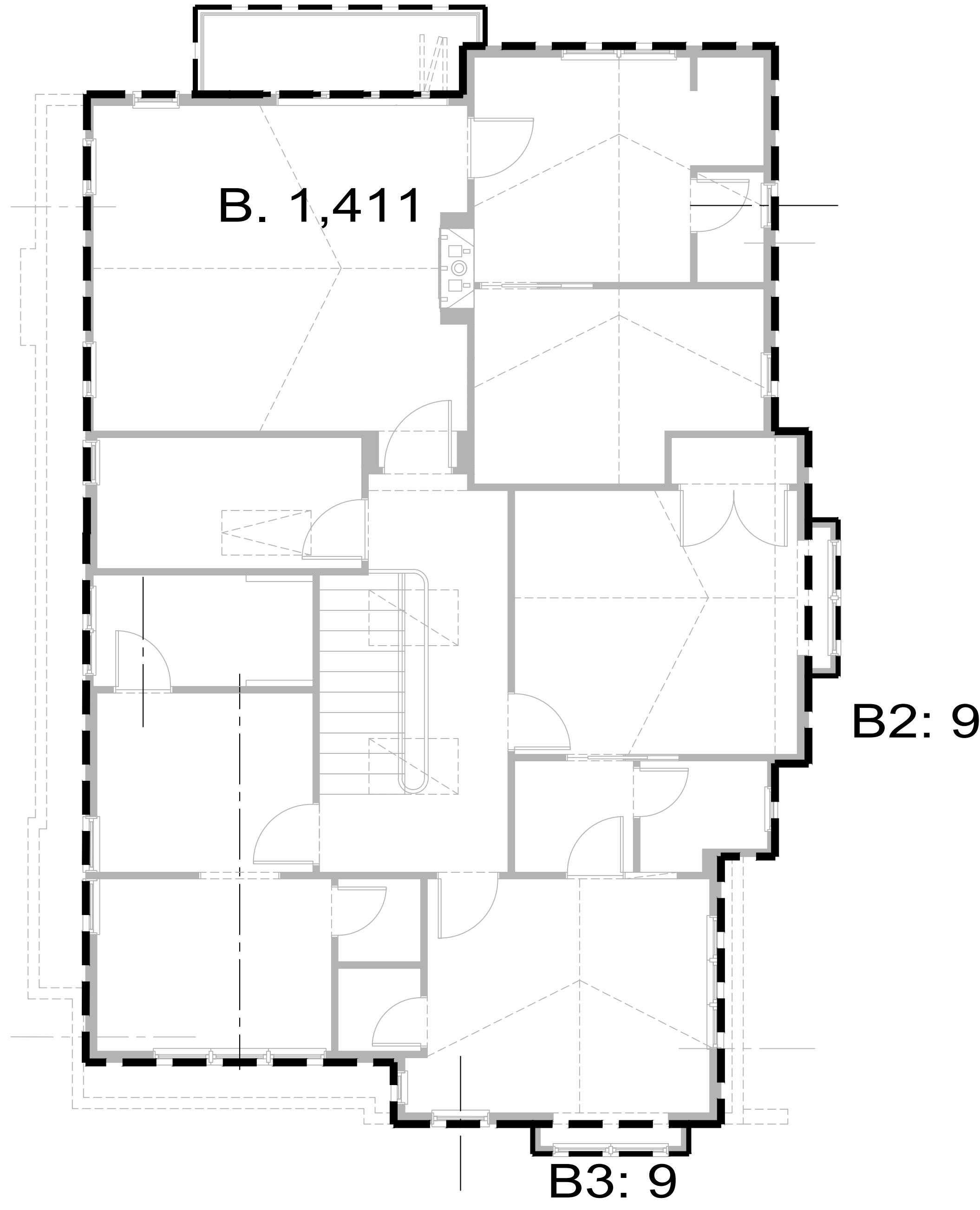
Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/17/26
004	Response to Comments	3/27/26
005	Response to Comments	
006	Response to Comments	

PROPOSED ADU  
 SHOWN FOR REFERENCE ONLY  
 Scale: 1/4" = 1'-0"  
 FAR 2



PROPOSED 1ST FLR PLAN FAR  
 Scale: 1/4" = 1'-0"  
 FAR 1

DECK: 48



PROPOSED 2ND FLR PLAN FAR  
 Scale: 1/4" = 1'-0"  
 FAR 2

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Contractor:

Owner: SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,000 SQ. FT.

4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMNEDESIGN.COM

APN#: 026-033-100

BUILDING SET  
 PLANNING SET



Title: Proposed Floor Plans FAR

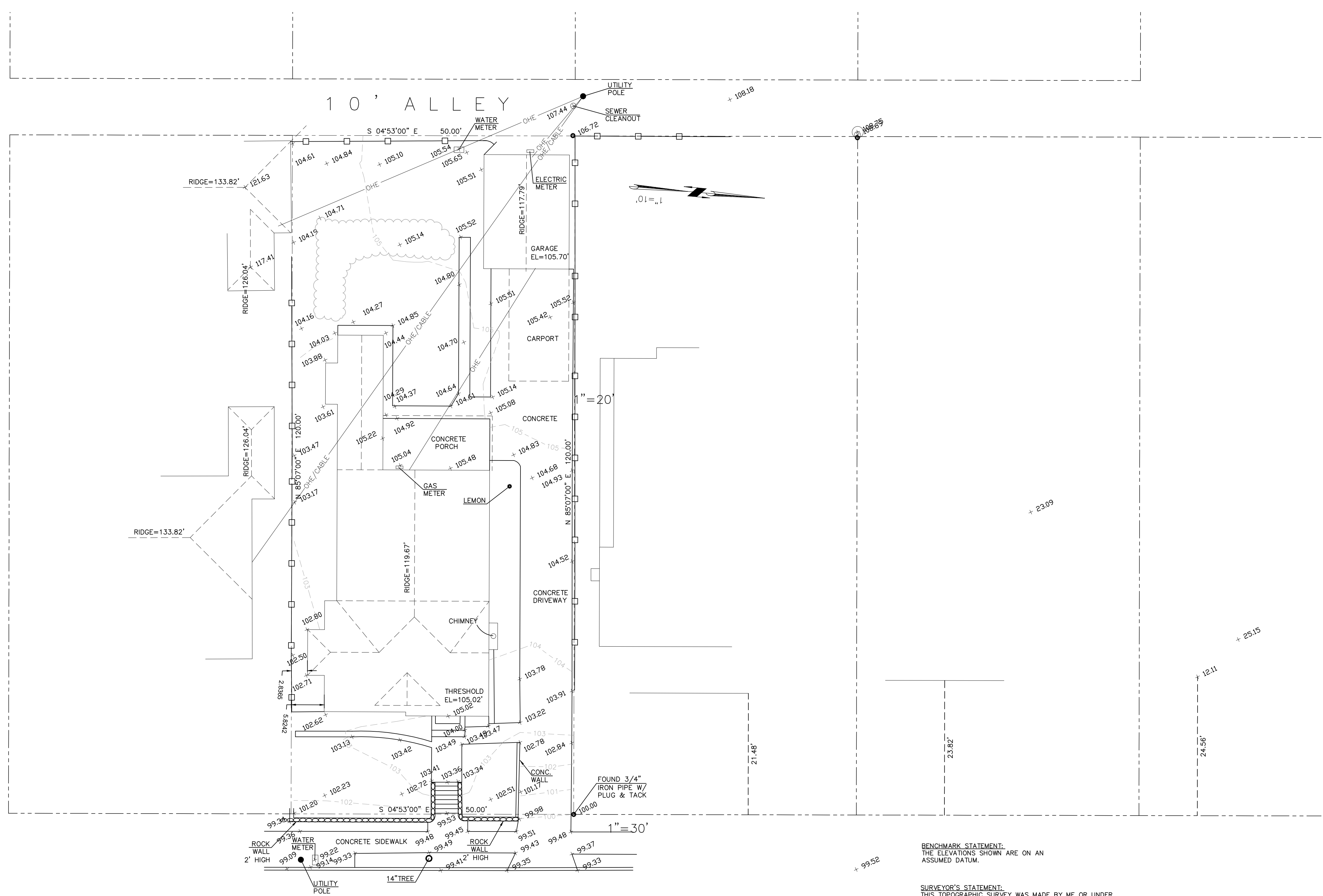
Project: SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

Job No.: 25\_38  
 Drawn: TIM RAQUEZ  
 Date: 09.08.25

**FAR**

Sheet  
 Scale: See Details

ADELINE DRIVE  
(50' R/W)



DRAKE AVENUE  
(50' R/W)

BENCHMARK STATEMENT:  
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:  
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE SEPTEMBER 2025. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO EASEMENTS ARE SHOWN.

*Savior P. Micallef*  
SAVIOR P. MICALLEF  
LAND SURVEYOR, LS 8289  
(805) 709-2423

09-17-25  
DATE

SAVIOR P. MICALLEF LAND SURVEYING  
22 WILLOW CREEK  
SOUTH SAN FRANCISCO, CA 94080  
805/709-2423

TOPOGRAPHIC SURVEY OF  
1505 DRAKE AVENUE, BURLINGAME, CA  
SAN MATEO COUNTY CALIFORNIA

Revisions	
No.	
Date 09-17-25	Scale 1"=10'
Design	SPM
Drawn	SPM
Approved	SPM
Job No.	
Drawing Number:	

# GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. **NO TREES ARE TO BE REMOVED FOR THIS PROJECT.**
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS.

# CAL GREEN SITE DEVELOPMENT

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION), A **BMP PAGE IS SUFFICIENT.**  
2025 CGC 4.106.2
2. PLANS SHALL INDICATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. 2025 CGC 4.106.3
3. ELECTRICAL VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS 2025 CGC 4.106.4

# PUBLIC WORKS NOTES

1. A REMOVE/REPLACE UTILITIES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
2. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.

# STORMWATER CHECKLIST NOTES

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS. INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G. SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

### Front Setback Survey

Savior P. Micallef Land Surveying  
Licensed Land Surveyor #8289

Date: February 18, 2026 Project No. 2025-Drake

Client/ Owner:  
**Suchi & Tarun**

Project Location:  
1505 Drake Ave  
Burlingame, CA

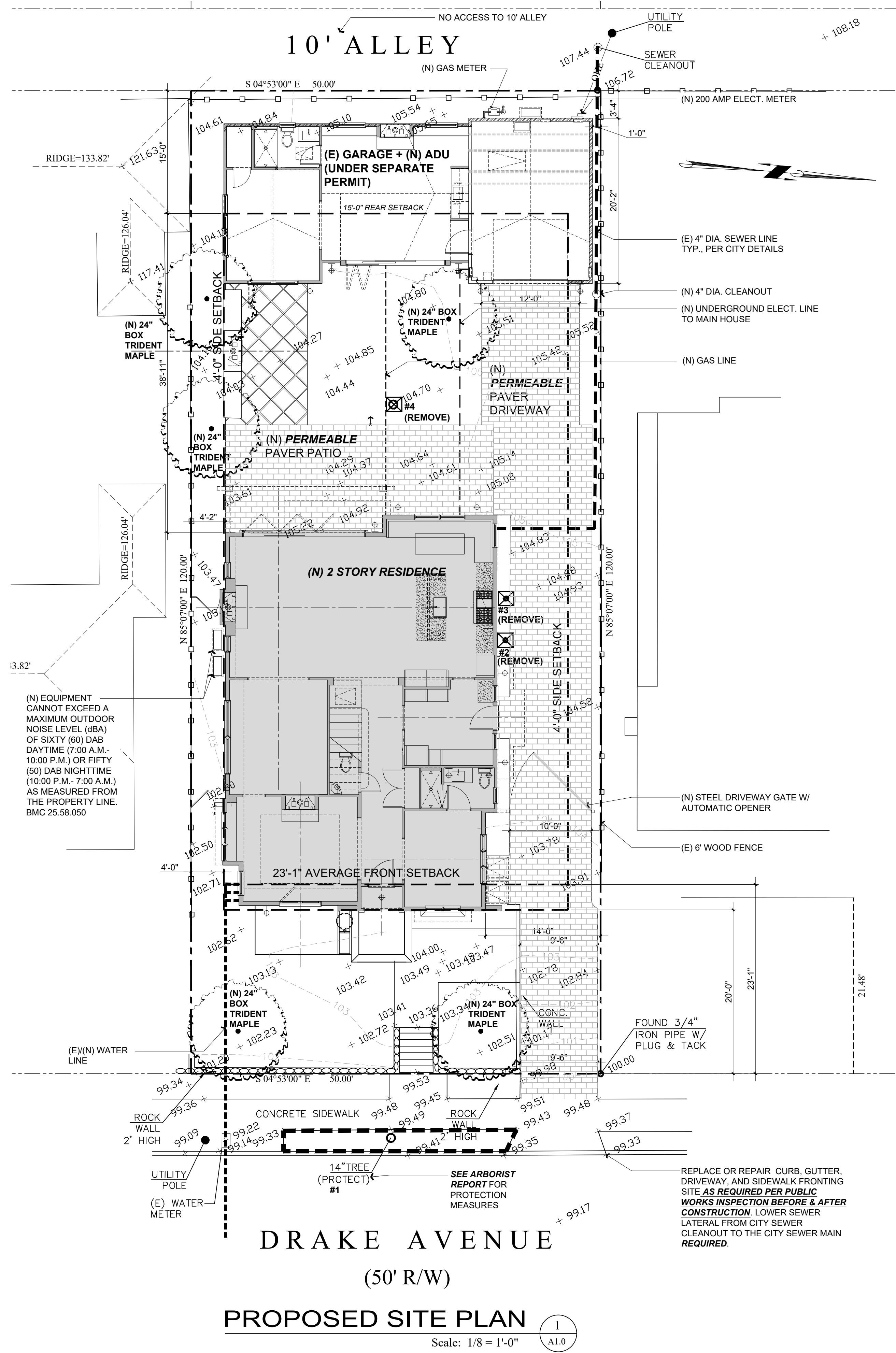
Block Average setback survey results:

Address	Setback	Measure To
1990 Adeline	15.9'	Trellis
1505 Drake (subject property)	17.3'	Door
1509 Drake	21.5'	Garage Wall
1511 Drake	23.8'	Building Wall
1517 Drake	20.8'	Porch
1521 Drake	23.8'	Bay Window
1527 Drake	24.7'	Building Wall
1529 Drake	22.5'	Chimney
1537 Drake	34.4'	Garage Wall
1543 Drake	31.4'	Porch
1547 Drake	24.8'	Bay Window
1553 Drake	20.7'	Building Wall

Average = 23.1'

*Savior Micallef*  
Savior Micallef, L.S. #289  
421 Wildwood Dr, So. S F, CA  
(805) 709-2423

PROFESSIONAL LAND SURVEYOR  
SAVIOR P. MICALLEF  
No. 8289  
EXP. 12/31/27  
STATE OF CALIFORNIA



**Revisions**

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/7/26
004	Response to Comments	2/27/26
005	Response to Comments	3/27/26
006	Response to Comments	3/27/26

**BUILDING SET  
PLANNING SET**

APN#: 026-033-100

Owner: SUCHI & TARUN  
1505 DRAKE AVE  
BURLINGAME, CA 94010

Year Built: 1974  
Zoning: RESIDENTIAL  
Lot Size: 6,893 Sq. Ft.

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMNEDESIGN.COM

*Tim Rodriguez*

**form + one**  
DESIGN ■ PLANNING

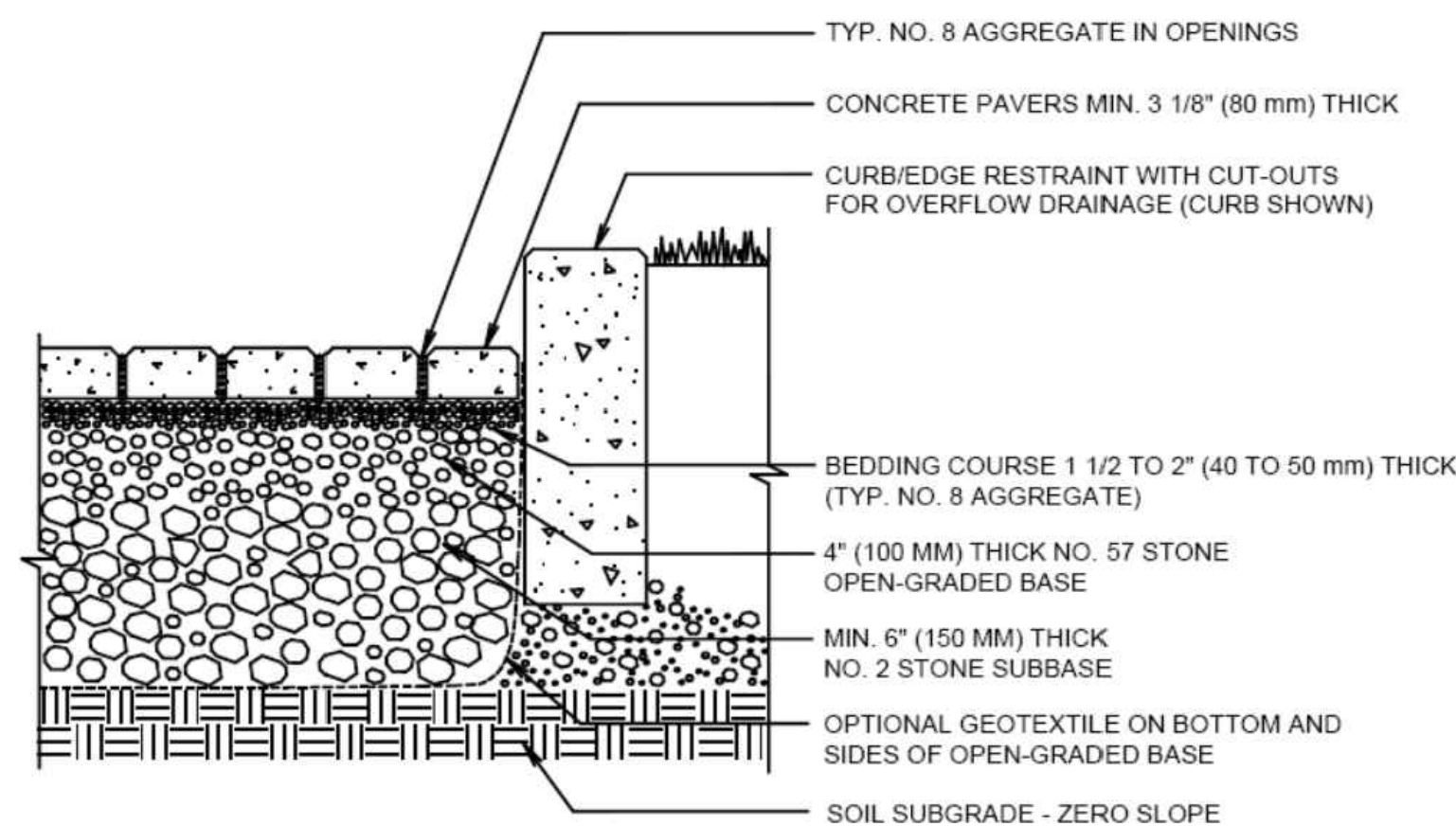
**Title: Site Plan**

Project: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No.: 25\_38  
Drawn: TIM RODRIGUEZ  
Date: 09.08.25

Sheet  
Scale: See Details

# A1.0



### SELF-TREATING PERMEABLE PAVER DETAIL

Scale: N/A

2  
A1.1

#### SUBGRADE AND SITE REQUIREMENTS

1. THE SOIL SUB-GRADE SHOULD BE ABLE TO SUSTAIN ANTICIPATED TRAFFIC LOADING WITHOUT EXCESSIVE DEFORMATION WHILE TEMPORARILY SATURATED
2. THE SUB-GRADE SHOULD BE EITHER UNGRADED IN-SITU MATERIAL WITH A PERMEABILITY THAT ALLOWS DETAINED FLOWS TO INFILTRATE WITHIN 72 HOURS, OR THE PAVEMENT SYSTEM CAN BE INSTALLED WITH AN UNDERDRAIN THAT WILL REMOVE DETAINED FLOWS WITHIN THE PERVIOUS PAVEMENT AND BASE.
3. DEPTH TO SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE AT LEAST 5 FEET FROM THE BOTTOM OF THE BASE OF THE PERVIOUS PAVEMENT SYSTEM, UNLESS A DIFFERENT SEPARATION IS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
4. PERVIOUS PAVEMENT SYSTEMS SHOULD NOT BE USED WHERE SITE CONDITIONS DO NOT ALLOW INFILTRATION. GRADING OF THE SOIL SUBGRADE BELOW THE PERVIOUS PAVEMENT SHOULD BE RELATIVELY FLAT (NOT TO EXCEED 2% SLOPE) TO PROMOTE INFILTRATION ACROSS THE ENTIRE AREA.
5. A SLOPE OF 1% IS RECOMMENDED FOR PERVIOUS PAVEMENT SURFACES. SLOPES OF SUBGRADES FOR PERVIOUS PAVEMENT SHOULD NOT EXCEED 5% BUT CAN BE SLOPED UP TO 16% WHEN CONSTRUCTED WITH UNDERDRAINS AND CHECK DAMS. SLOPES OF SUBGRADES EXCEEDING 3% TYPICALLY REQUIRE BERMS OR CHECK DAMS PLACED LATERALLY OVER THE SOIL SUBBASE TO SLOW THE FLOW OF WATER AND PROVIDE SOME INFILTRATION. ALTERNATIVELY, PERVIOUS PAVEMENT SYSTEMS CAN BE TERRACED TO STEP DOWN A STEEP SLOPE, MAINTAINING LEVEL BED BOTTOMS SEPARATED BY BERMS. MORE DETAILS ON SUBGRADE SLOPES AND CHECK DAMS CAN BE OBTAINED BY GOING TO THE SUSTAINABLE STREET TYPICAL GI DETAILS IN THE GI DESIGN GUIDE, OR SEE DETAIL PC 2.2 IN FIGURE 6-40 IN THE TYPICAL DETAILS SECTION BELOW.

#### BASE LAYER

1. TO ALLOW FOR SUBSURFACE WATER STORAGE, THE BASE MUST BE OPEN GRADED, CRUSHED STONE (NOT PEA GRAVEL) MEANING THAT THE PARTICLES ARE OF A LIMITED SIZE RANGE, WITH NO FINES, SO THAT SMALL PARTICLES DO NOT CHOKE THE VOIDS BETWEEN LARGE PARTICLES.
2. WHEN SUBJECT TO VEHICULAR TRAFFIC, ALL OPEN-GRADED AGGREGATES SHOULD CONFORM TO THE FOLLOWING OR TO SIMILAR SPECIFICATIONS AS DIRECTED BY THE MUNICIPALITY: CRUSHED MATERIAL, MINIMUM 90% WITH AT LEAST 2 FRACTURED FACES CONFORMING TO CALTRANS TEST METHOD CT 205; HAVE LOS ANGELES RATTLER NO GREATER THAN 40% LOSS AT 500 REVOLUTIONS PER CALTRANS TEST METHOD CT 211; AND A MINIMUM CLEANNESS VALUE OF 75 PER CALTRANS TEST METHOD CT 211. SIEVE ANALYSIS SHOULD CONFORM TO CALTRANS TEST METHOD CT 202.
3. IF THE SUBBASE/BASE LAYER IS SIZED TO HOLD AND INFILTRATE AT LEAST THE C.3.D AMOUNT OF RUNOFF, THE AREA OF PERVIOUS PAVEMENT IS NOT CONSIDERED AN IMPERVIOUS SURFACE AND CAN FUNCTION AS A SELF-TREATING AREA (SEE SECTION 4.2).
4. IF THE SUBBASE/BASE LAYER HAS SUFFICIENT CAPACITY IN THE VOID SPACE TO STORE THE C.3.D AMOUNT OF RUNOFF (VOLUME) FOR BOTH THE AREA OF PERVIOUS PAVEMENT AND THE AREA THAT DRAINS TO IT, IT IS NOT CONSIDERED AN IMPERVIOUS SURFACE AND CAN FUNCTION AS A SELF-RETAINING AREA, DESCRIBED IN SECTION 4.2.
5. PERVIOUS PAVEMENT DESIGNED TO FUNCTION AS A SELF-RETAINING AREA MAY ACCEPT RUNOFF FROM AN AREA OF IMPERVIOUS SURFACE THAT HAS A SURFACE AREA OF UP TO TWO TIMES THE SURFACE AREA OF THE PROPERLY DESIGNED PERVIOUS PAVEMENT AREA.
6. IF AN UNDERDRAIN IS USED, POSITION THE PERFORATED PIPE WITHIN THE SUBGRADE ENVELOPED ON ALL SIDES BY A LEAST 4 INCHES OF OPEN-GRADED AGGREGATE AND PROVIDE A NON-PERFORATED, UPTURNED ELBOW PIPE FOR OUTFLOWS (SEE FIGURES 6-26 AND 6-27.) A CLEANOUT WITH SURFACE ACCESS IS RECOMMENDED AT THE UPTURN. TO BE CONSIDERED A SELF-TREATING AREA OR SELF-RETAINING AREA, THE UNDERDRAIN SHOULD BE POSITIONED ABOVE THE PORTION OF THE BASE LAYER THAT IS SIZED TO MEET THE C.3.D SIZING CRITERIA.
7. DESIGN CALCULATIONS FOR THE BASE SHOULD QUANTIFY THE FOLLOWING:
  - SOIL TYPE/CLASSIFICATION AND SOIL PERMEABILITY RATE; IF SUBJECT TO VEHICULAR TRAFFIC, K-VALUES (PSI/CUBIC INCH) OR R-VALUES CHARACTERIZING SOIL STRENGTH WHEN SATURATED;
  - FILL TYPE IF USED, INSTALLATION, AND COMPACTION METHODS PLUS TARGET DENSITIES;
  - LIFETIME EXPECTED VEHICULAR TRAFFIC LOADING (IN 18,000 LB. EQUIVALENT SINGLE AXLE LOADS OR CALTRANS TRAFFIC INDEX); THE MAXIMUM TRAFFIC INDEX = 9.
  - DRAINAGE ROUTING OF DETAINED FLOWS WITHIN THE OPEN GRADED SUBBASE/BASE AS WELL AS EXPECTED INFILTRATION INTO IN-SITU SOILS, OR COLLECTION IN A RAISED UNDERDRAIN IF THE PERMEABILITY CANNOT MEET DESIGN CRITERIA.

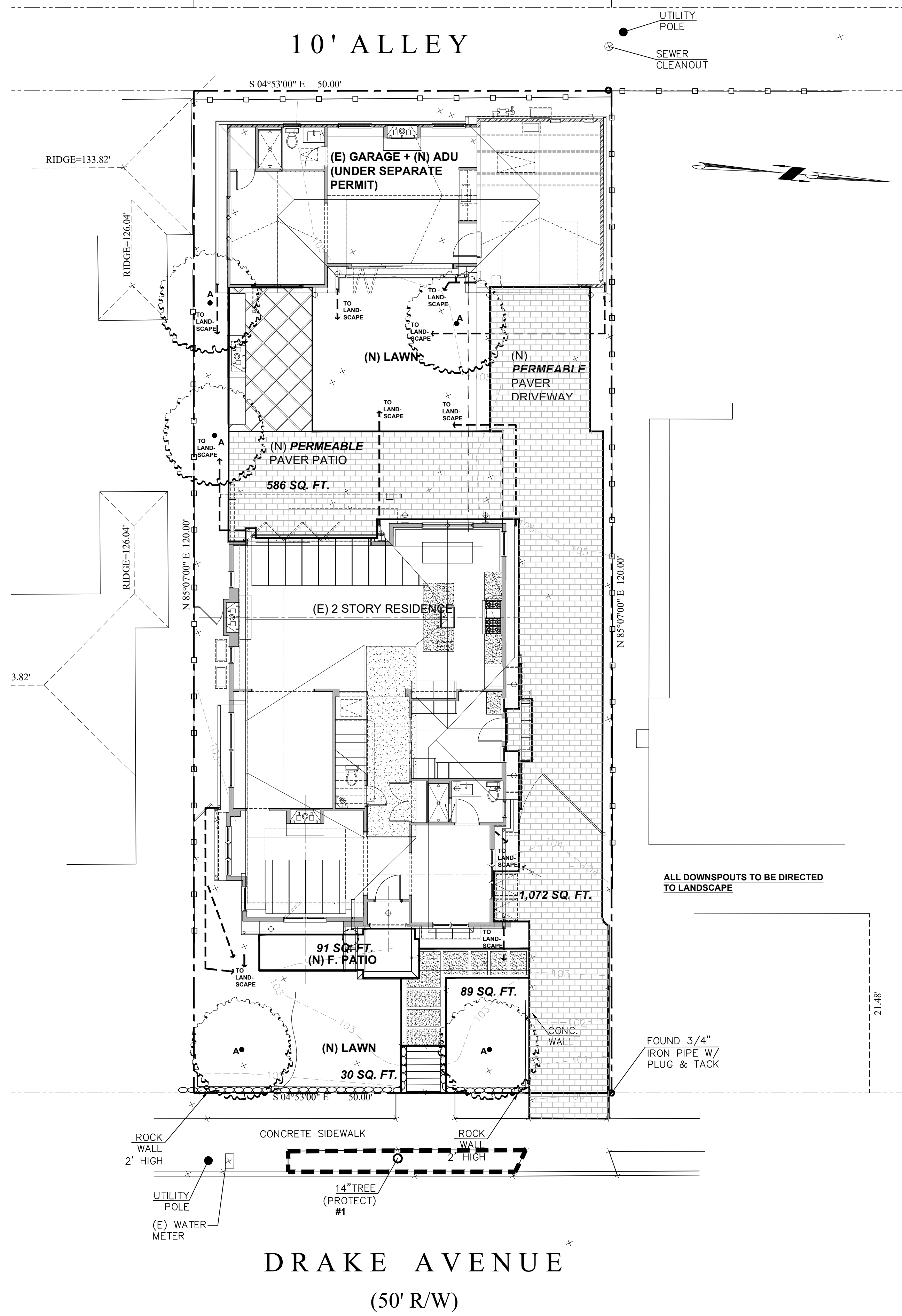
#### IMPERVIOUS SURFACE CALC

(E/N) HOUSE:	1,683 SQ. FT.
(E) GARAGE:	305 SQ. FT.
REAR PATIO:	586 SQ. FT. (NOT COUNTED, PERMEABLE)
FRONT WALKWAY:	89 SQ. FT. (NOT COUNTED, PERMEABLE)
FRONT PATIO:	91 SQ. FT.
FRONT STEPS:	30 SQ. FT.
DRIVEWAY:	1,072 SQ. FT. (NOT COUNTED, PERMEABLE)
<b>TOTAL:</b>	<b>2,109 SQ. FT.</b>

2,109 SQ. FT. (IMPERVIOUS SURFACE AREA) / 6,000 SQ. FT. (LOT SIZE) = 35.15%

**IF POST-CONSTRUCTION IMPERVIOUS AREA IS GREATER THAN 40% OF TOTAL LOT SIZE, MITIGATION OF THE ADDITIONAL STORM RUNOFF IN EXCESS OF 40% TOTAL LOT SIZE MUST BE ADDRESSED. ALL DOWNSPOUTS TO BE RUN TO LANDSCAPE.**

**IF POST-CONSTRUCTION IS MORE THAN 60%, THIS WILL TRIGGER A REASSESSMENT OF THE ANNUAL STORM DRAIN FEE FOR THE PARCEL.**



### PROPOSED DRAINAGE PLAN

Scale: 1/8" = 1'-0"

1  
A1.1

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001	Response to Comments	12/3/25
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003	Response to Comments	2/17/26
004	Response to Comments	3/27/26
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006	Response to Comments	

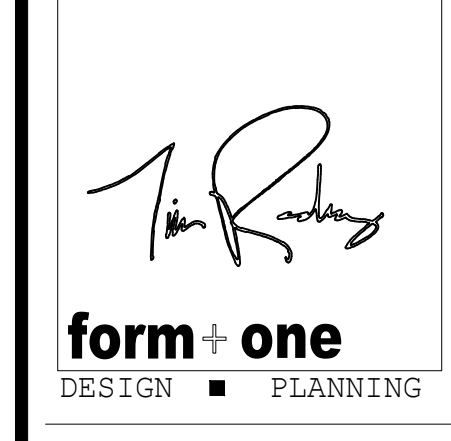
Contractor: **BUILDING SET PLANNING SET**

Owner: J. HERRMAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

YEAR BUILT: 1974  
ZONING: RESIDENTIAL  
LOT SIZE: 6,000 SQ. FT.

APN#: 026-033-100

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM



Title: Proposed Drainage Plan

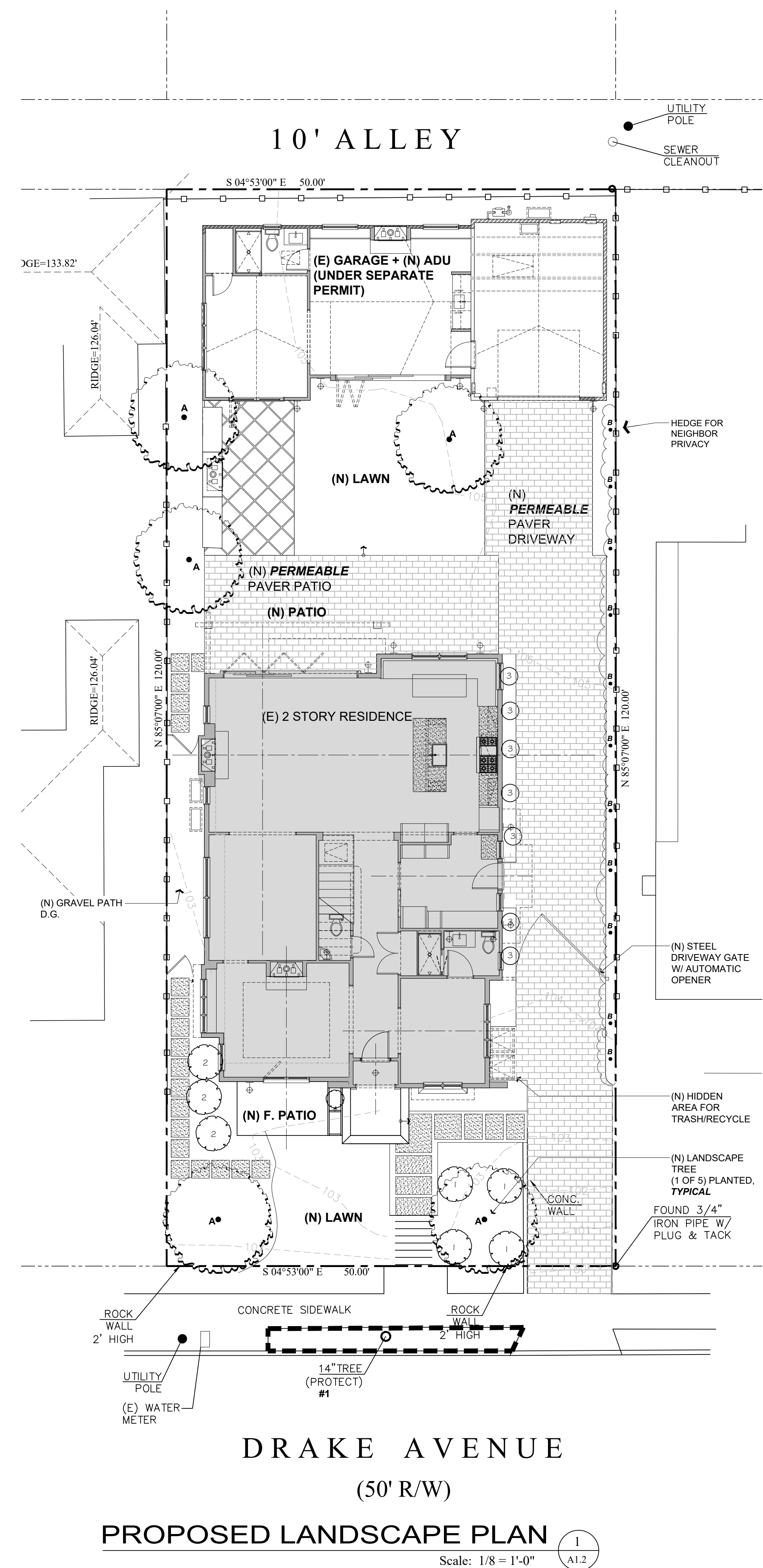
Project: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No.: 25\_38  
Drawn: TIM RAQUEZ  
Date: 09.08.25

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PLANT LIST						
	SYM. SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE/ SPACING	GROWTH	WUCOLS *
TREES	A ACER BUERGERANUM	TRIDENT MAPLE	5	24" BOX	FAST	M
	B LAURUS NOBILIS	GRECIAN LAUREL	11	15 GALLON	MOD.	VL
SHRUBS / PERENNIALS	1 HYDRANGEA MACROPHYLLA	ENDLESS SUMMER HYDRANGEA	4	5 GALLON	MOD.	H
	2 ROSA 'SALLY HOLMES'	SALLY HOLMES CLIMBING ROSE	3	5 GALLON	MOD.	L
	3 LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	7	1 GALLON	MOD.	L
LAWN	BOLERO PLUS BLEND, CONTACT DELTA BLUEGRASS CO. (800) 637-8873		1,000 SQ. FT.	ROLLS	SLOW	H
	* LAWN NOT INCLUDED IN LOW WATER COUNT CALCULATIONS, SEE AREA CALCS.					
* IF THERE IS NO WUCOLS VALUE SEE COLUMN *** FOR WATER USE			TOTAL:	30	L & VL TOTAL:	34
						88.24%



**DRAKE AVENUE**  
(50' R/W)  
**PROPOSED LANDSCAPE PLAN** 1  
Scale: 1/8" = 1'-0" A1.2

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001	Response to Comments	12/3/25
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004	Response to Comments	3/27/26
005	Response to Comments	
006	Response to Comments	

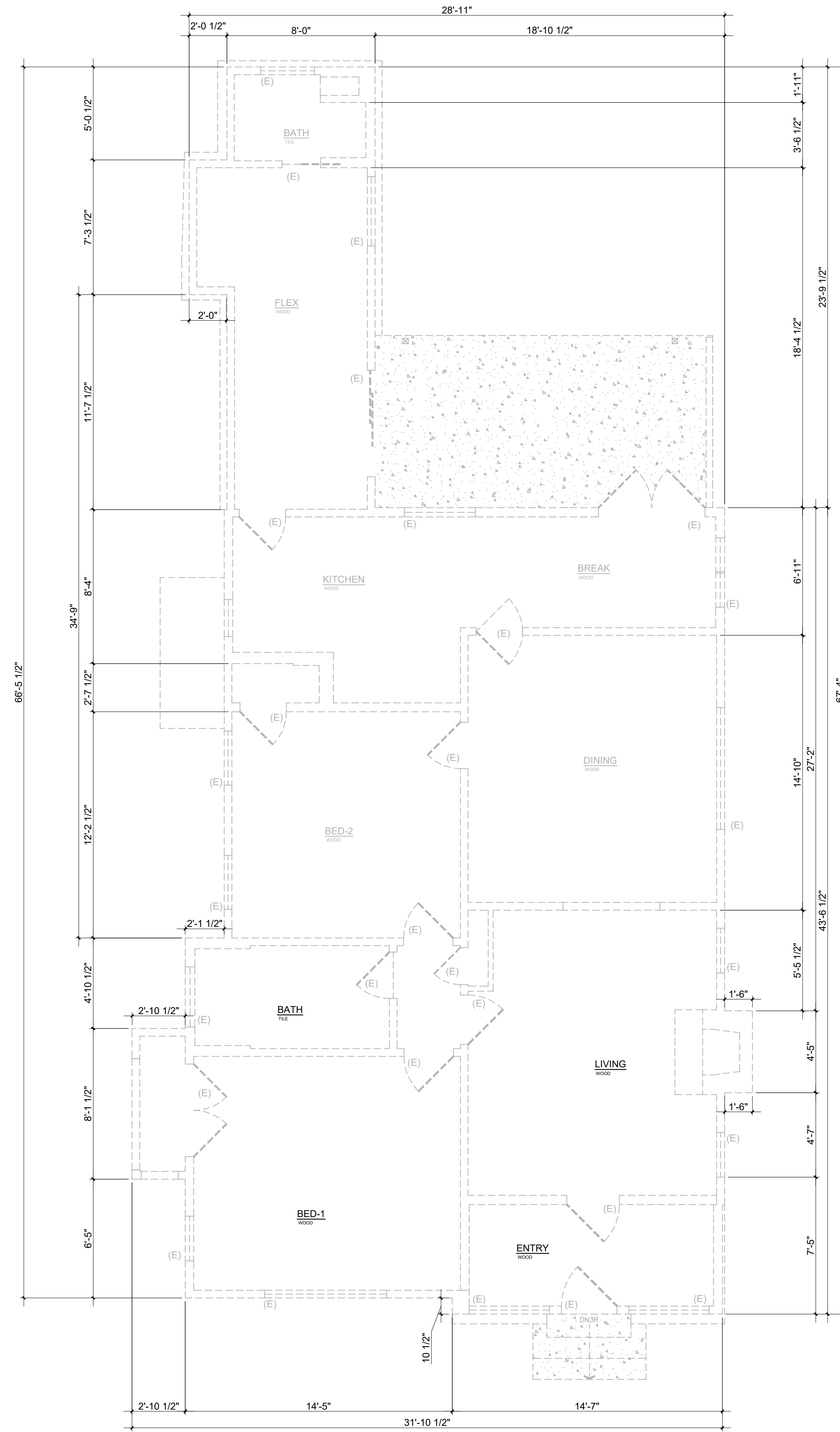
Contractor :  
 Owner : J. HERRMAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010  
 YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,100 SQ. FT.  
 APN#: 026-033-100

**BUILDING SET**  
**PLANNING SET**



Title : Proposed Landscape Plan  
 Project : SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010  
 Job No. : 25\_38  
 Drawn : TIM BAQUENZ  
 Date : 09.08.25

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**LEGEND:**  
 - - - - - WALLS/ITEMS TO BE REMOVES  
 = = = = = NEW WALLS

**EXISTING + DEMO 1ST FLR PLAN**

Scale: 1/4" = 1'-0" - 1  
AB2.0

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/6/26
004		
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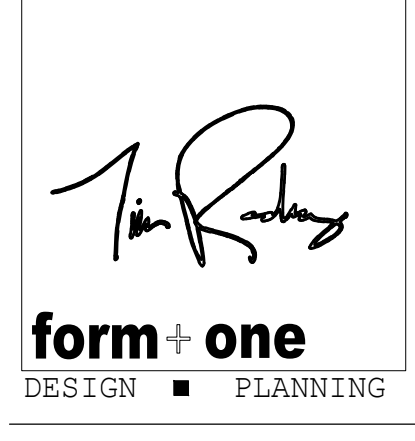
Contractor :

Owner :  
 SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,100 SQ. FT.

APN#: 026-033-100

**BUILDING SET  
 PLANNING SET**



Title : Existing/ Demo Floor Plans

Project : SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

Job No. : 25\_38 | Drawn : TIM RAQUEZ | Date : 09.08.25

**AB2.0**

Sheet  
 Scale: See Details

**RELATED CODE REQUIREMENTS: (EGRESS)**

- EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
- THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"

**RELATED CODE REQUIREMENTS: (BATHS) (CONT.):**

- PLUMBING:**
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, 8 2/4" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE.
  - MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1/4" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

- BUILDING:**
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 7" ABOVE THE DRAIN INLET W/ MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER & IS NOT ALLOWED ON CLGS.

- CEMENT BOARD WITH A MOISTURE BARRIER & CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, & AT EACH LEVEL PER THE BUILDING CODE.**

- ELECTRICAL:**
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN. THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED
  - A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.

- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.**

- MECHANICAL:**
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.
  - BE INSPECTED UNDER TEST PRIOR TO COVERING.

**GENERAL NOTES:**

- PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
- PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
- TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
- PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC. PER CPC
- FLOORS, SLAB PERIMETER NR. RAISED R-19, CONCRETE RAISED U-FACTOR 0.269
- EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SEC. 504.
- VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
- SUB-PANEL ELECT., VERIFY LOCATION.
- WALLS, ABOVE OR BELOW GRADE, MUST MEET STANDARDS IN TABLE 150.1-A, OR B
- ALL SHOWER WALLS TO BE WATERPROOF TO 12" ABOVE DRAIN INLET. WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
- QUALITY INSULATION INSTALLATION INSPECTION (QII) IS REQ'D BY A THIRD PARTY.
- WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E. DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2025 CPC 609.10.
- CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
- THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
- (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
- (N) ELECTRICAL METER LOCATION
- MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75" AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DR. PER 2025 CRC R311.3
- (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
- A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION.
- 2025 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §908.2.3
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2025 CGC §4.505.3
- ANY GAS FIREPLACE WILL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE 2025 CGC §4.503.1
- NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION AND SKYLIGHTS §150.0B
- WALLS WITH 2X6 AND LARGER FRAMING REQUIRE R-19 INSULATION §150.0C(2)
- ANY WOOD STOVE OR PELLET STOVE WILL COMPLY WITH US EPA PHASE II EMISSION LIMITS 2025 CGC §4.503.1
- PLUMBING CONTRACTOR WILL PROVIDE THE CITY BUILDING INSPECTOR A SINGLE LINE DRAWING OF THE EXISTING AND NEW GAS LINES AND INDICATE THE DISTANCE FROM THE METER TO EACH GAS FIXTURE PRIOR TO INSTALLATION. INCLUDE THE SIZE OF THE GAS PIPE TO EACH APPLIANCE AND BTU RATING OF EACH APPLIANCE. GAS PIPE SIZING WILL BE SIZED PER TABLE 1216.2(1) IN THE 2025 CPC. NOTE: ANY INSTALLATION OF NEW GAS PIPING PRIOR TO PLAN CHECK APPROVAL IS AT THE RISK OF THE CONTRACTORS RISK.
- HOT WATER PIPING INSULATION §150.0 (I) 2.1
- LIGHTING - NEW MANDATORY REQUIREMENTS FOR INDOOR ROOMS §150.0 (K)
- RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.0 (C) 2
- REDUCE U-FACTOR (0.30) AND SHGC (0.20) FOR HIGH PERFORMANCE WINDOWS §150.1 (C) 3 A
- ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT STANDARDS 2025 §4.504.2.1
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLENT BOTTOM PLATES AT EXTERIOR WALL WILL BE ROBOT-PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE, MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 2025 CGC § 4.406.1
- ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2025 CRC § TABLE R302.1 (1) OR 2025 CBC TABLE 705.2. AN ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE-RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION PER 2025 CRC § R302.1 (1) OR 2025 CBC § 705.2
- EXTERIOR BEARING WALLS LESS THAN 5' FROM THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE-RATED CONSTRUCTION. 2025 CRC TABLE R302.1 (1) § OR 2025 CBC, TABLE 602.
- REQUIRED: NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS.**
- PLUMBING - INDOOR WATER USE:**
  - THE EFFECTIVE FLUSH VOLUME OF WATER CLOSETS WILL NOT EXCEED 1.28 GAL/FLUSH (2019 CGC - 4.303.1.1) FOR DUAL FLUSH TOILETS AVERAGE TWO REDUCED FLUSHES WITH ONE FULL FLUSH
  - THE EFFECTIVE FLUSH VOLUME OF URINALS WILL NOT EXCEED 0.125 GAL/FLUSH (2025 CGC - 4.303.1.2)
  - MAX. FLOW RATE FOR SHOWERS SHALL BE 1.8 GPM, @ 80 PSI (2025 4.303.1.3)
  - MAX. FLOW RATE FOR LAVATORY FAUCETS SHALL BE 1.2 GPM, @ 60 PSI (2025 CGC 4.303.1.4.1)
  - MAX. FLOW RATE FOR KITCHEN FAUCETS SHALL BE 1.8 GPM, @ 60 PSI. CAN TEMPORARILY INCREASE TO 2.2 GPM, BUT MUST DEFAULT BACK TO MAX. FLOW RATE OF 1.8 GPM (2025 CGC 4.303.1.4.1)
- ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE EXTERIOR FOUNDATIONS TO BE 8 INCHES ABOVE THE EXPOSED GROUND PER CRC R317.1.
- AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION, WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE FLOOR ABOVE SHALL COMPLY WITH THIS SECTION. SPECIFY THE REINFORCEMENT TO BE SOLID LUMBER AND NOT LESS THAN 2X8. THE REINFORCEMENT SHALL BE LOCATED BETWEEN 32" AND 39 1/2" ABOVE THE FINISHED FLOOR. WATER CLOSET REINFORCEMENT TO BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. (1) WHERE THE WATER CLOSET IS NOT LOCATED ADJACENT TO THE SIDE WALL, GRAB BAR REINFORCEMENT FOR A GROUND-MOUNTED INSTALLATION IS ACCEPTABLE. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. BATHUB AND COMBINATION BATH/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6" ABOVE THE BATHTUB RIM.

**POLLUTANT CONTROL NOTES:**

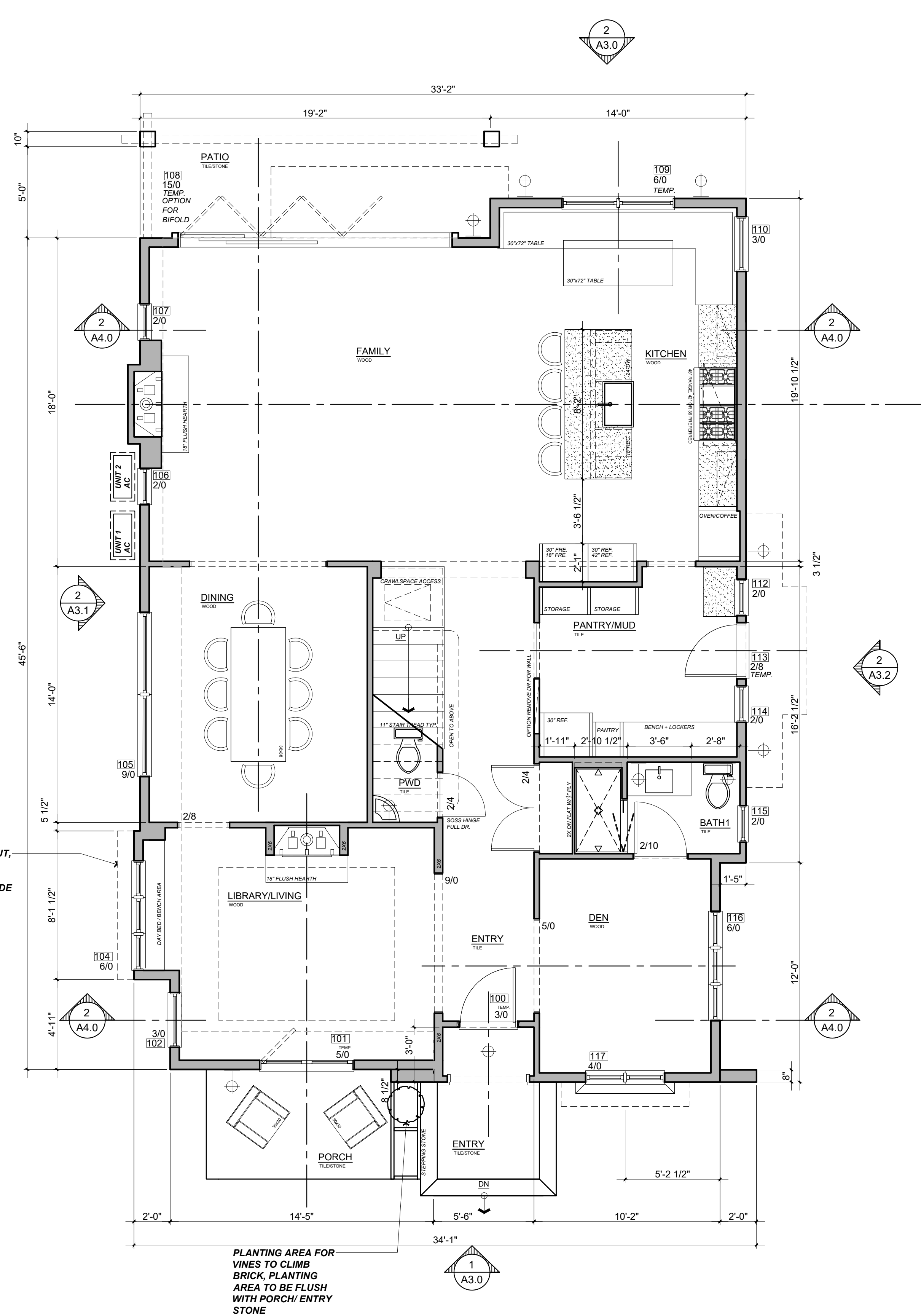
- PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER 2025 CGC §4.504.2.2
- DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2025 CGC §4.504.2.4
- CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE 2025 CALIFORNIA GREEN BUILDING CODE. 2025 CGC §4.504.3
- WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2025 CGC §4.504.4
- HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2025 CGC §4.504.5
- AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER 2025 CGC 4.504.2.3
- ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2025 CGC §4.504.2.1

**GENERAL BUILDING NOTES:**

- REDUCED U-FACTOR (0.30) FOR HIGH PERFORMANCE WINDOWS 2025 CAL ENERGY CODE §150.1 (C)3 A
- PROVIDE LIGHTING AT ALL EXT. LANDINGS PER 2025 CRC 303.8 OR 2025 CBC 1008.2 AND 2025 CBC 1205.4
- ALL ROOMS TO MEET NATURAL LIGHTING + VENTILATION REQUIREMENTS WILL MEET 2025 CRC R303

**LEGEND:**

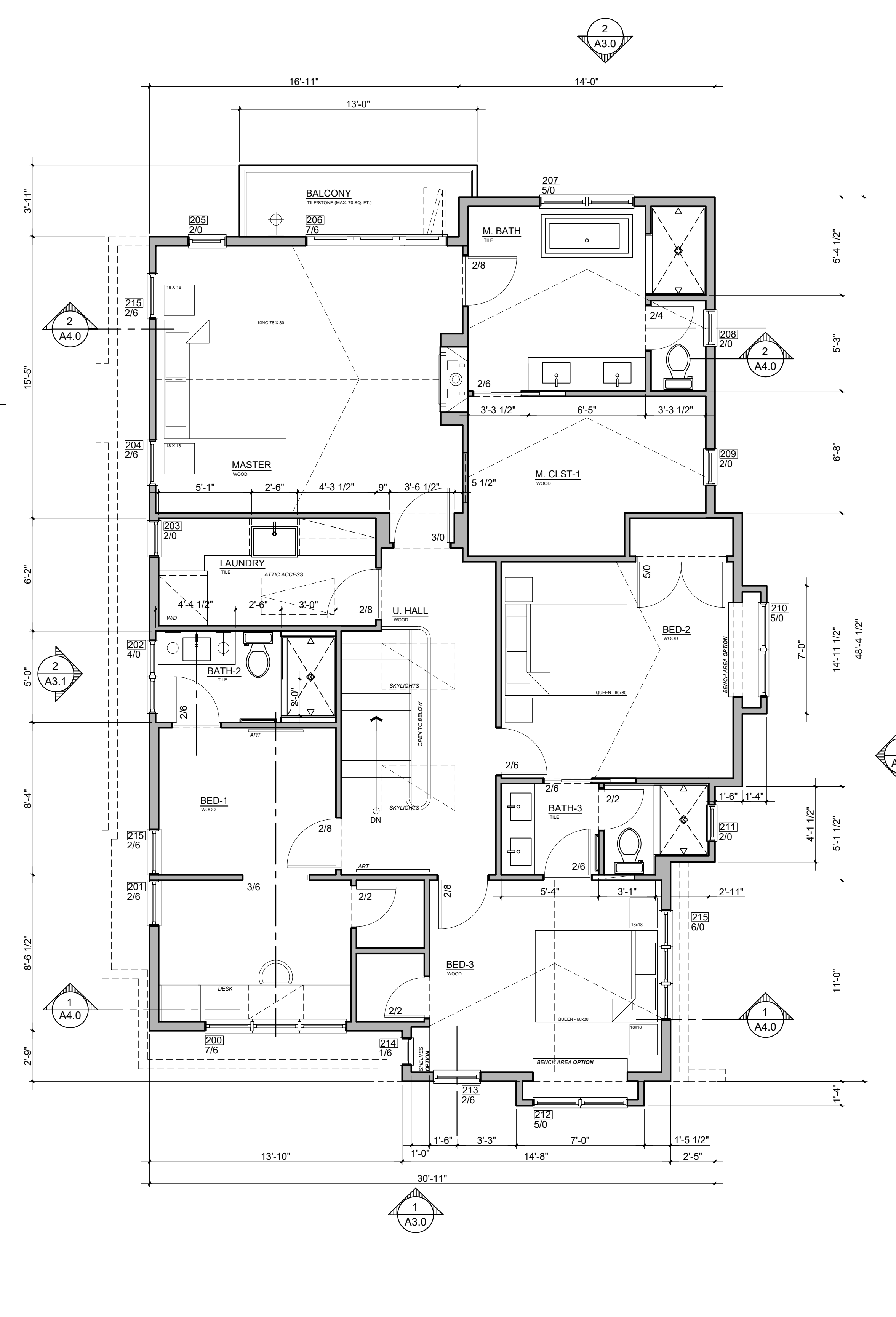
- EXISTING WALLS
- WALLS/ITEMS TO BE REMOVED
- NEW WALLS



**PROPOSED 1ST FLR PLAN**

Scale: 1/4 = 1'-0"

1  
A2.0



**GENERAL NOTES:**

- (EXISTING) (OGEE) G.S.M. GUTTERS AND 3" G.S.M. DOWNSPOUTS (MATCH EXISTING AS REQUIRED), LINE ALL VALLEYS WITH G.S.M., AT LEAST 20" WIDE WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
- ROOFING MATERIAL TO BE ASPHALT SHINGLES BY CERTAINTEED OR EQ. (CLASS 'A') OVER 1 LAYER OF 15# FELT PAPER OVER 5/8" PLYWOOD OR PER STRUCTURAL DRAWINGS. MIN. 40 YEAR WARRANTY SHINGLES. (CONFIRM COLOR WITH OWNER)
- WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1" MUST BE PROVIDED, INSULATION BAFFLE NEEDED.
- FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28 GAUGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING.
- AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, FLASHING AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE).
- TRUSSES (IF USED) ARE TO HAVE A MINIMUM 6" HEEL. VERIFY WITH DESIGNER.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E.) DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE.
- (IF USED) THE TRUSS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD BEFORE SUBMITTING TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. TRUSS PLANS SHALL BE WET SIGNED AND WET STAMPED BY TRUSS DESIGN ENGINEER.
- (IF REQUIRED) FURNACE LOCATED IN ATTIC SPACE SHALL BE LISTED FOR ATTIC LOCATION AND PROVIDED WITH 24" WIDE SOLID FLOORING ACCESS WAY AND 30" WORKING SPACE AT CONTROLS.
- ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENINGS IN THE ROOF SHEATHING BELOW.
- (AS REQUIRED) ALL TRUSS / RAFTER BLOCKING SHALL RECEIVE 2" DIAMETER HOLES IN EVERY BLOCK, TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.
- ATTIC IS GETTING NEW INSULATION, VERIFY (E) FANS / VENTS MEET CURRENT CODE.

**PLUMBING + HVAC NOTE:**

- GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE AND LOCATE ON ROOFS SLOPING TO THE REAR OF THE HOUSE, TYP. VERIFY LOCATION WITH DESIGNER.

**PHOTOVOLTAIC NOTE:**

- P.V. SYSTEM, PER CODE **4.02 KW** SEE TITLE-24 (BUILDING PHASE)

**VENTILATION CALC:**

NO VENTING IN ROOF SYSTEM. SPRAY FOAM INSULATION TO BE USED. SEE 2/A5.1.

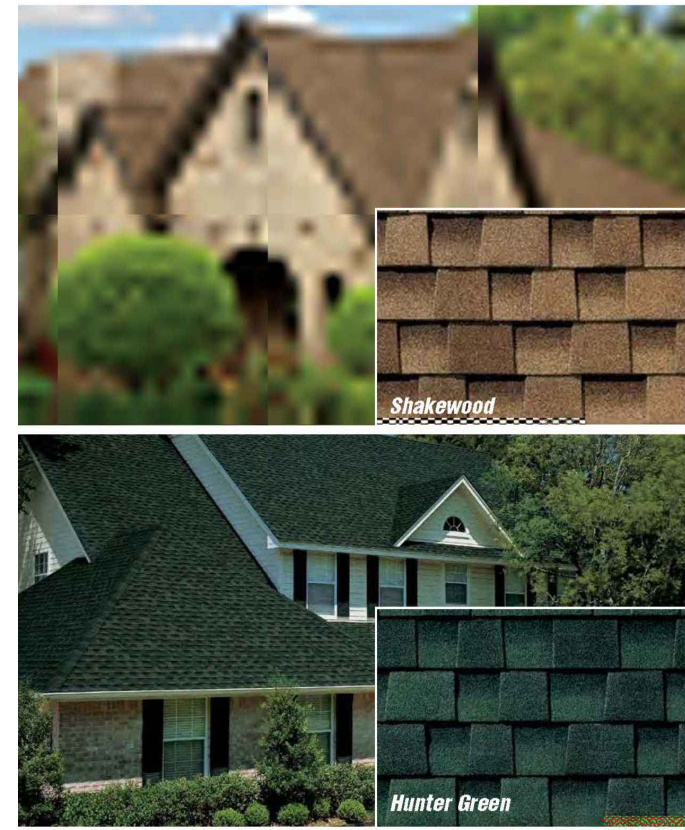


- GALV. SHEET METAL, PAINTED PER COLOR BOARD APPROVAL
- GUTTER GUARDS** PER WUI REQUIREMENTS (**INSTALLED BY CONTRACTOR**)

**GUTTER SYSTEM :**

**Color Availability**

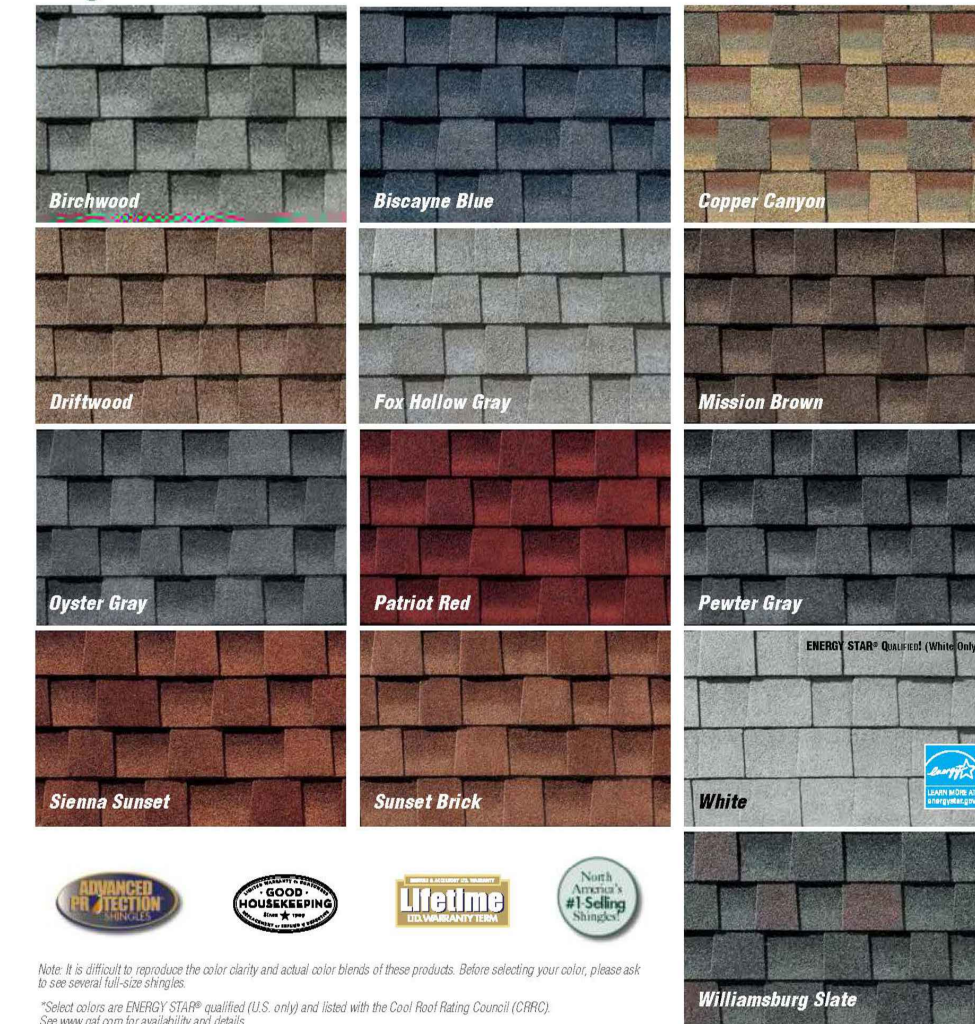
Most Popular (Available Nationwide)



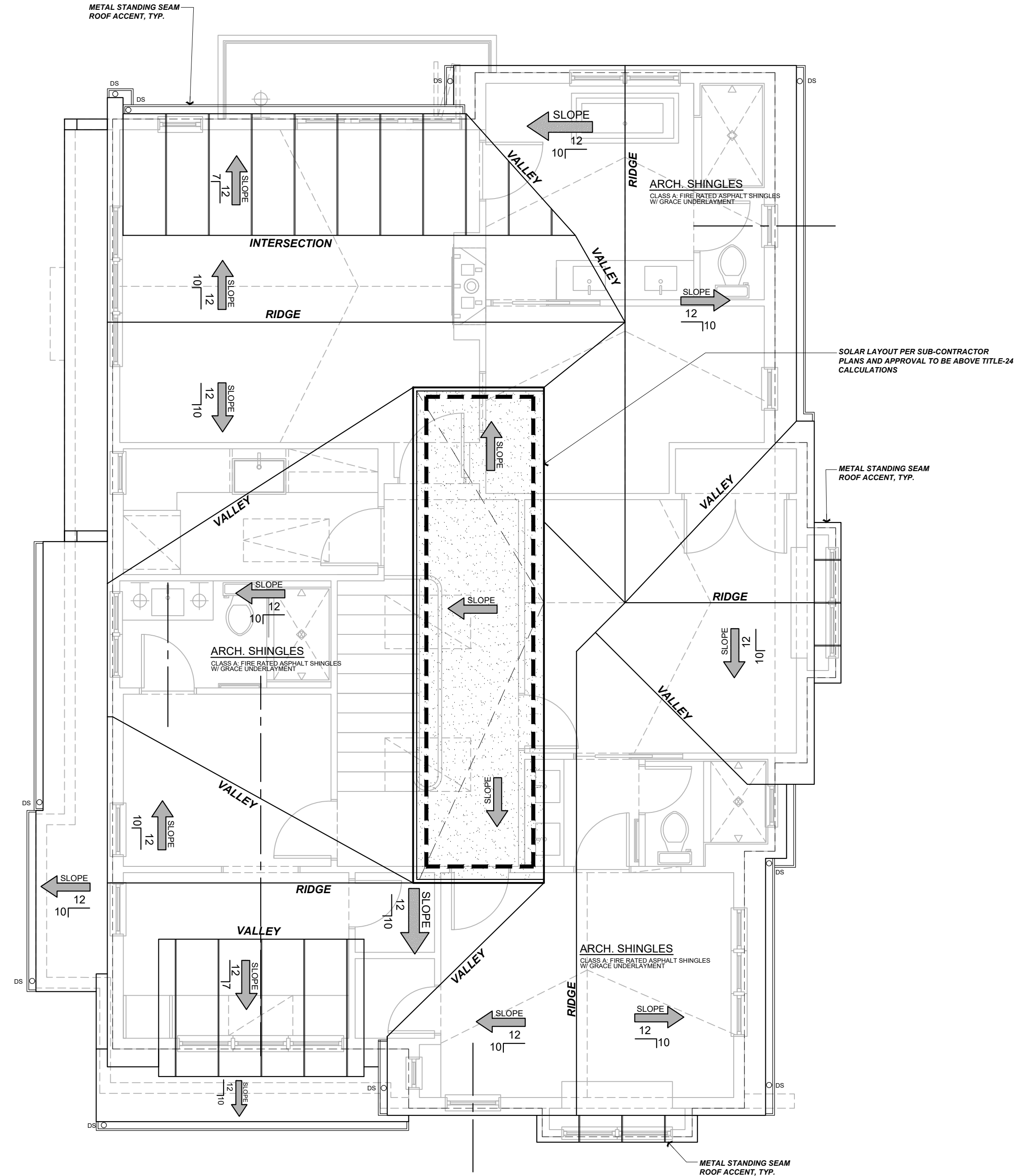
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**PROPOSED ROOF PLAN (MAIN HOUSE)**

Scale: 1/4" = 1'-0"

2  
A2.1

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**Revisions**

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/17/26
004	Response to Comments	3/25/26
006	Response to Comments	

Contractor :

Owner :  
 J. HERRMAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: [TIM@FORMNEDESIGN.COM](mailto:TIM@FORMNEDESIGN.COM)



Title : **Proposed Roof Plans**  
 Project : **SUCHITRA / DESIKAN**  
**1505 DRAKE AVE.**  
**BURLINGAME, CA 94010**

Job No. : 25\_38 | Drawn : TIM RAJURENZ | Date : 09.08.25

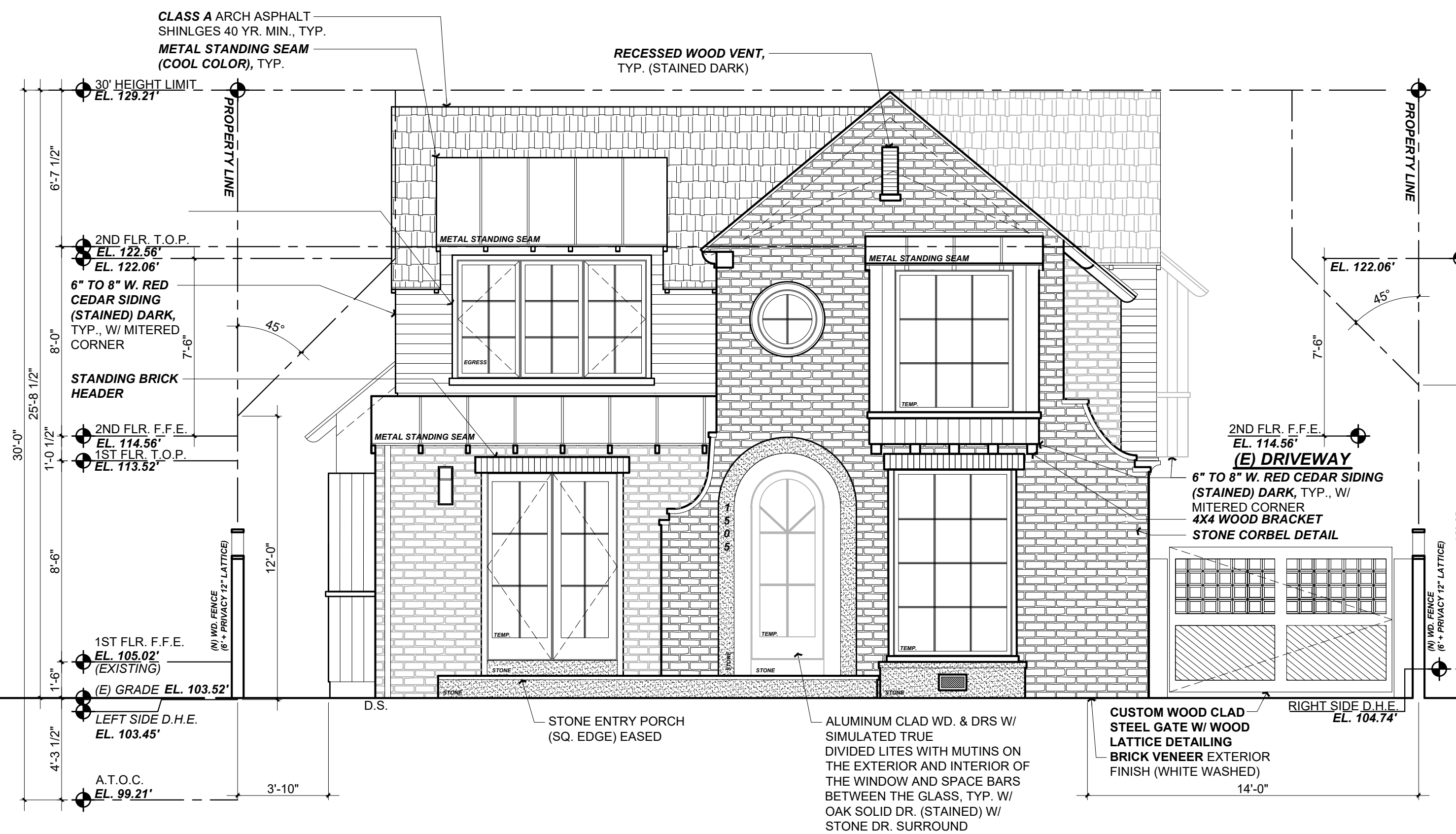
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 Scale: See Details

**A2.1**

**BUILDING SET  
 PLANNING SET**

APN#: 026-033-100

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**PROPOSED FRONT ELEVATION**

Scale: 1/4" = 1'-0"

3  
A3.0



**PROPOSED REAR ELEVATION**

Scale: 1/4" = 1'-0"

4  
A3.0

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/16/26
004	Response to Comments	3/16/26
005	Response to Comments	3/27/26
006	Response to Comments	

Contractor :

Owner : J. HERRMAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010  
YEAR BUILT: 1974  
ZONING: RESIDENTIAL  
LOT SIZE: 6,000 SQ. FT.

**BUILDING SET  
PLANNING SET**

APN#: 026-033-100



Title : Proposed Ext. Elevations

Project : SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No. : 25\_38  
Drawn : TIM RADEZ  
Date : 09.08.25

**A3.0**

Sheet  
Scale: See Details

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**PROPOSED RIGHT SIDE ELEVATION (DRIVEWAY)**

Scale: 1/4" = 1'-0"

2  
A3.1

Title : Proposed Ext. Elevations

Project : SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No. : 25\_38 | Drawn : TIM RAQUEZ | Date : 09.08.25



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Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM

Owner : J. HERRMAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010  
YEAR BUILT: 1974  
ZONING: RESIDENTIAL  
LOT SIZE: 6,100 SQ. FT.

APN#: 026-033-100

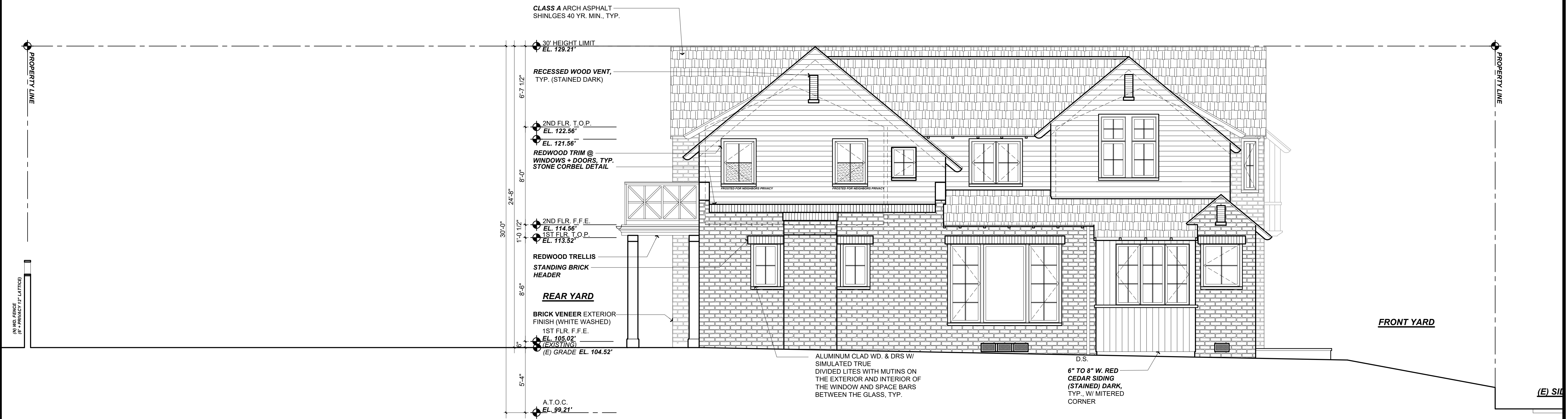
Contractor :

**BUILDING SET  
PLANNING SET**

Revisions

Rev.:	Description :	Date :
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/16/26
005	Response to Comments	5/27/26
006	Response to Comments	

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**PROPOSED LEFT SIDE ELEVATION**

Scale: 1/4" = 1'-0"  
2  
A3.2

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/16/26
004	Response to Comments	3/27/26
005	Response to Comments	
006	Response to Comments	

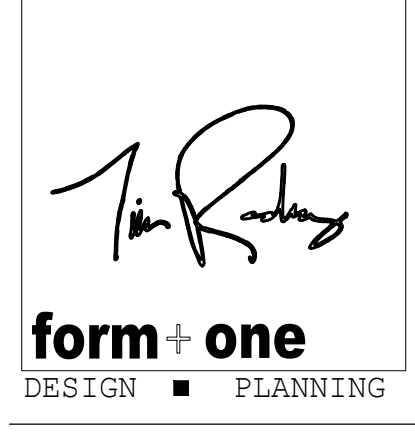
Contractor :  
 4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDESIGN.COM

Owner :  
 SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,100 SQ. FT.

APN#: 026-033-100

**BUILDING SET  
 PLANNING SET**

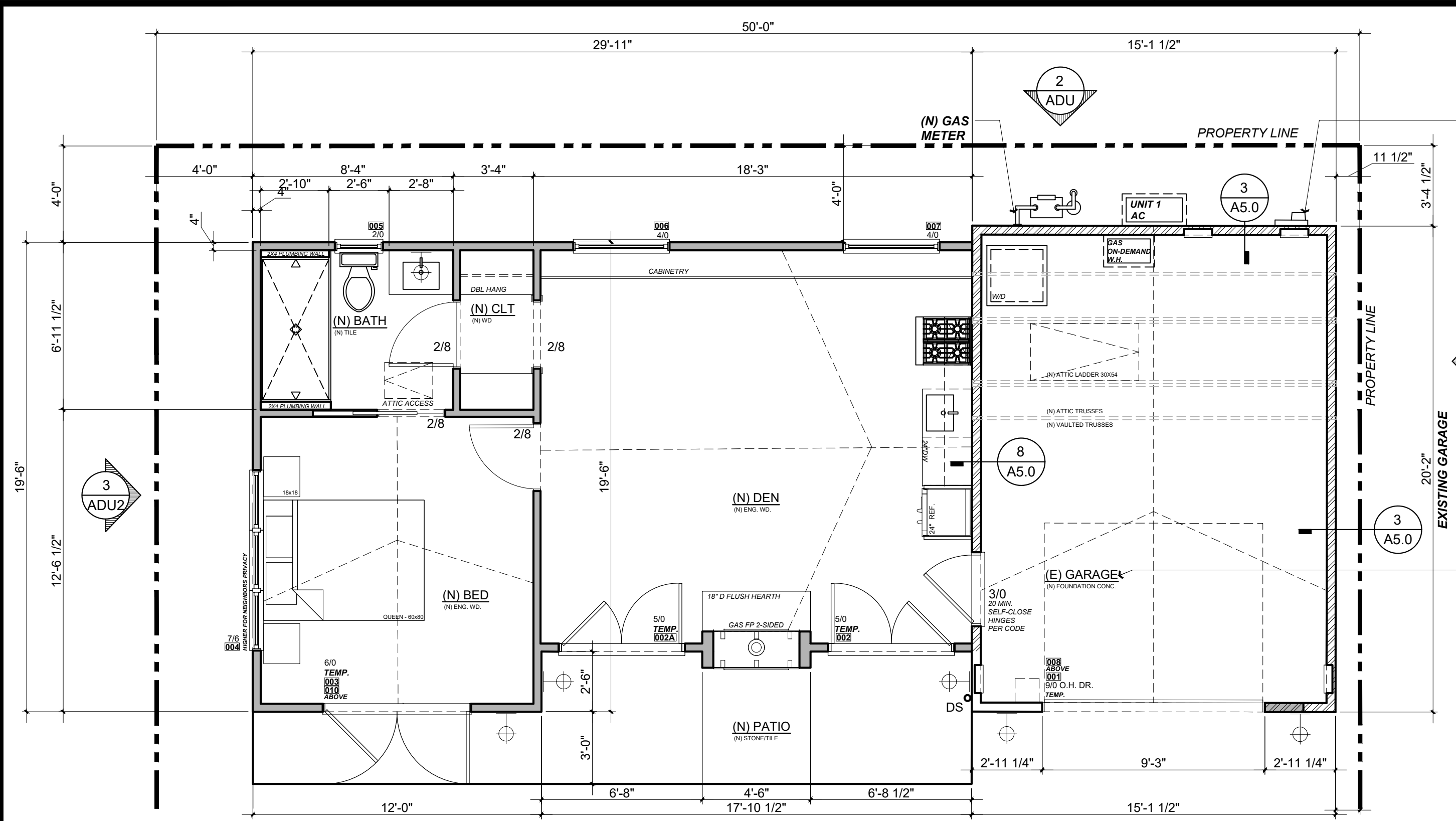


Title : **Proposed Ext. Elevations**  
 Project : **SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010**

Job No. : 25\_38 | Drawn : TIM RADEUZ | Date : 09.08.25

**A3.2**

Sheet  
 Scale: See Details



**PROPOSED/EXISTING ADU PLAN**

**LEGEND:**  
 (EXISTING) 2X4 WALL  
 1 HR WALLS  
 PROPOSED WALLS

Scale: 1/4" = 1'-0"

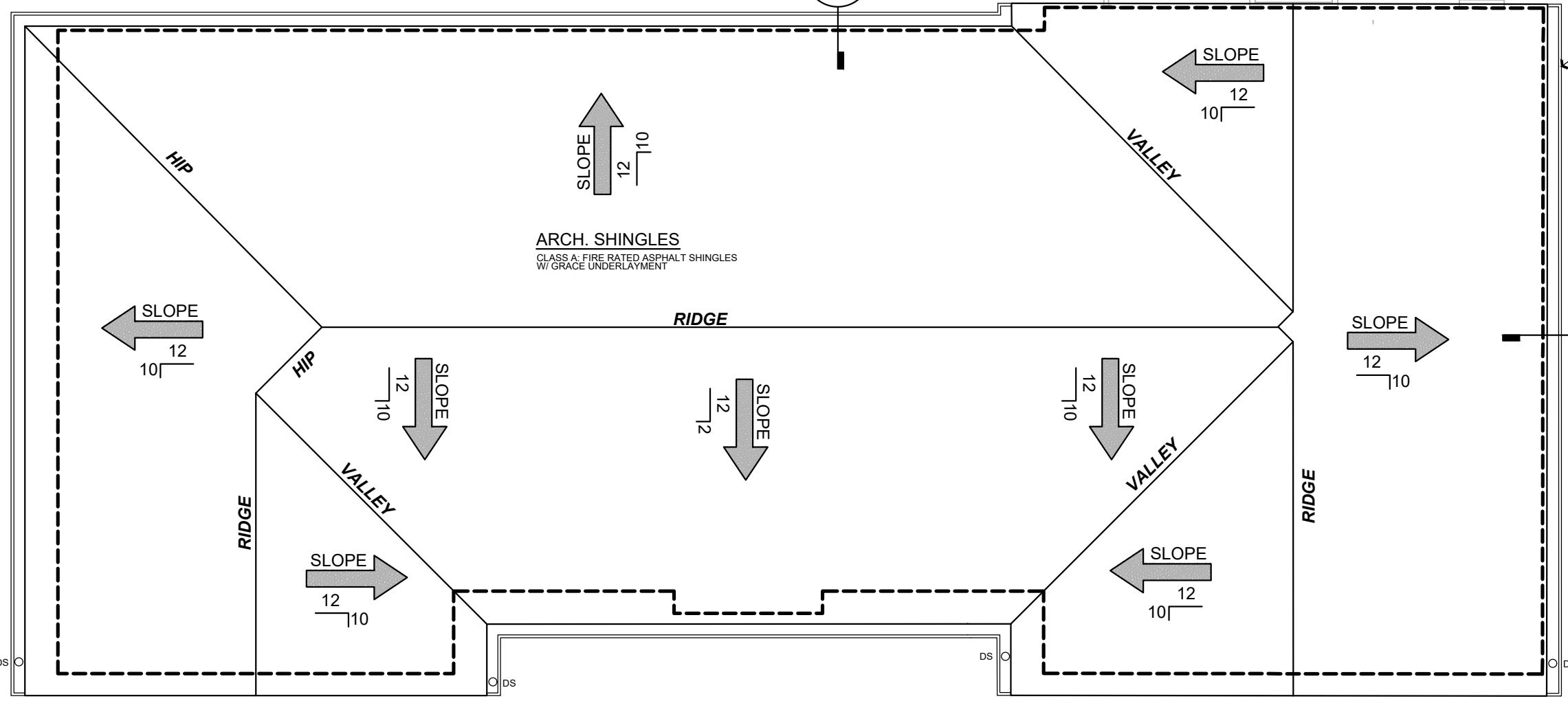
**RELATED CODE REQUIREMENTS: (EGRESS)**  
 1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.  
 2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"  
 3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"

**RELATED CODE REQUIREMENTS: (BATHS) (CONT.):**  
**PLUMBING:**  
 - SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1/2" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.  
**BUILDING:**  
 - SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" AT THE DRAIN INLET W/ MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER & IS NOT ALLOWED ON CLGS.  
 CEMENT BOARD WITH A MOISTURE BARRIER & CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN, AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, & AT EACH LEVEL PER THE BUILDING CODE.  
**ELECTRICAL:**  
 - IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.  
 - A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.  
 - LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.  
**MECHANICAL:**  
 - A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED. FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.  
 BE INSPECTED UNDER TEST PRIOR TO COVERING.

**GENERAL NOTES:**  
 1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C. AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5  
 2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6  
 3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE  
 4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC  
 5. FLOORS, SLAB PERIMETER NR, RAISED R-19, CONCRETE RAISED U-FACTOR 0.269  
 6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504  
 7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.  
 8. SUB-PANEL ELECT., VERIFY LOCATION  
 9. WALLS, ABOVE OR BELOW GRADE, MUST MEET STANDARDS IN TABLE 150.1-A, OR B  
 10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)  
 11. QUALITY INSULATION INSTALLATION INSPECTION (QII) IS REQ'D BY A THIRD PARTY.  
 113. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2025 CPC 609.10  
 14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.  
 15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.  
 16. (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.  
 17. (N) ELECTRICAL METER LOCATION  
 18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DR. PER 2025 CRC R311.1  
 19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.4.  
 20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AN ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION.  
 2025 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3  
 21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2025 CGC §4.505.3  
 22. ANY GAS FIREPLACE WILL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE 2025 CGC §4.503.1  
 24. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION AND SKYLIGHTS §150.0B  
 25. WALLS WITH 2X6 AND LARGER FRAMING REQUIRE R-19 INSULATION §150.0(C)2  
 26. ANY WOOD STOVE OR PELLET STOVE WILL COMPLY WITH US EPA PHASE II EMISSION LIMITS 2025 CGC §4.503.1  
 27. PLUMBING CONTRACTOR WILL PROVIDE THE CITY BUILDING INSPECTOR A SINGLE LINE DRAWING OF THE EXISTING AND NEW GAS LINES AND INDICATE THE DISTANCE FROM THE METER TO EACH GAS FIRED APPLIANCE PRIOR TO INSTALLATION. INCLUDE THE SIZE OF THE GAS PIPE TO EACH APPLIANCE AND BTU RATING OF EACH APPLIANCE. GAS PIPE SIZING WILL BE SIZED PER TABLE 1216.2(K) IN THE 2025 CPC. NOTE: ANY INSTALLATION OF NEW GAS PIPING PRIOR TO PLAN CHECK APPROVAL IS AT THE RISK OF THE CONTRACTORS RISK.  
 28. HOT WATER PIPING INSULATION §150.0(J) 2  
 29. LIGHTING - NEW MANDATORY REQUIREMENTS FOR INDOOR ROOMS §150.0(K)  
 30. RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.0(C) 2

(N) FOUNDATION TO BE MINIMUM 10 MIL POLY-ETHYLENE VAPOR BARRIER AT THE FOUNDATION OF THE PROPOSED ADU, AND 2" OF SAND ABOVE AND BELOW THE VAPOR BARRIER. CRC R506.2.3

**\*\*\*UNDER SEPARATE PERMIT\*\*\***



**PROPOSED ROOF PLAN**

Scale: 1/4" = 1'-0"

31. RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.0(C) 2  
 32. REDUCE U-FACTOR (0.30) AND SHGC (0.20) FOR HIGH PERFORMANCE WINDOWS §150.1(C) 3 A  
 32. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT STANDARDS 2025 §4.504.2.1  
 33. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALL WILL BE RODENT-PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE, MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 2025 CGC § 4.406.1  
 34. ROOF EAVES SHALL NOT PROJECT WITHIN 2' OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2025 CRC § TABLE R302.1 (1) OR 2025 CBC TABLE 705.2  
 ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE-RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION PER 2025 CRC § R302.1 (1) OR 2025 CBC § 705.2.  
 35. EXTERIOR BEARING WALLS LESS THAN 5' FROM THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE-RATED CONSTRUCTION. 2025 CRC TABLE R302.1 (1) § OR 2025 CBC, TABLE 602.  
 36. REQUIRED: NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS.  
 37. PLUMBING - INDOOR WATER USE:  
 - THE EFFECTIVE FLUSH VOLUME OF WATER CLOSETS WILL NOT EXCEED 1.28 GAL/FLUSH (2019 CGC - 4.303.1.1) FOR DUAL FLUSH TOILETS AVERAGE TWO REDUCED FLUSHES WITH ONE FULL FLUSH  
 - THE EFFECTIVE FLUSH VOLUME OF URINALS WILL NOT EXCEED 0.125 GAL/FLUSH (2025 CGC - 4.303.1.2)  
 - MAX. FLOW RATE FOR SHOWERS SHALL BE 1.8 GPM, @ 80 PSI (2025 4.303.1.3)  
 - MAX. FLOW RATE FOR LAVATORY FAUCETS SHALL BE 1.2 GPM, @ 60 PSI (2025 CGC 4.303.1.4.1)  
 - MAX. FLOW RATE FOR KITCHEN FAUCETS SHALL BE 1.8 GPM, @ 60 PSI. CAN TEMPORARILY INCREASE TO 2.2 GPM, BUT MUST DEFAULT BACK TO MAX. FLOW RATE OF 1.8 GPM (2025 CGC 4.303.1.4.4).  
 37. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE EXTERIOR FOUNDATIONS TO BE 8 INCHES ABOVE THE EXPOSED GROUND PER CRC R317.1.  
 38. AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE FLOOR ABOVE SHALL COMPLY WITH THIS SECTION. THE REINFORCEMENT TO BE SOLID LUMBER AND NOT LESS THAN 2X8. THE REINFORCEMENT SHALL BE LOCATED BETWEEN 32" AND 39 1/2" ABOVE THE FINISHED FLOOR. WATER CLOSET REINFORCEMENT TO BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. (1) WHERE THE WATER CLOSET IS NOT LOCATED ADJACENT TO THE SIDE WALL, GRAB BAR REINFORCEMENT FOR A GROUND-MOUNTED INSTALLATION IS ACCEPTABLE. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6" ABOVE THE BATHTUB RIM.

**POLLUTANT CONTROL NOTES:**  
 1. PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER 2025 CGC §4.504.2.2  
 2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2025 CGC §4.504.2.4  
 3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE 2025 CALIFORNIA GREEN BUILDING CODE.  
 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2025 CGC §4.504.4  
 5. HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2025 CGC §4.504.5  
 6. AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER 2025 CGC §4.504.2.3  
 7. ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2025 CGC §4.504.2.1  
**GENERAL BUILDING NOTES:**  
 1. REDUCED U-FACTOR (0.30) FOR HIGH PERFORMANCE WINDOWS 2025 CAL ENERGY CODE §150.1(C) 3 A  
 2. PROVIDE LIGHTING AT ALL EXT. LANDINGS PER 2025 CRC 303.8 OR 2025 CBC 1008.2 AND 2025 CBC 1205.4  
 3. ALL ROOMS TO MEET NATURAL LIGHTING + VENTILATION REQUIREMENTS WILL MEET 2025 CRC R303

**ROOM FINISH SCHEDULE**

ROOM	FLOORING	PAINT				REMARKS
		WALLS	CEILING	MILLWORK	CROWN	
GARAGE	CONC	TBS	TBS	PAINT (TBS)	TBS	
DEN	ENG. WD.	TBS	TBS	PAINT (TBS)	TBS	
BED	ENG. WD.	TBS	TBS	PAINT (TBS)	TBS	
CLT	ENG. WD.	TBS	TBS	PAINT (TBS)	TBS	
BATH	TILE	TBS	TBS	PAINT (TBS)	TBS	

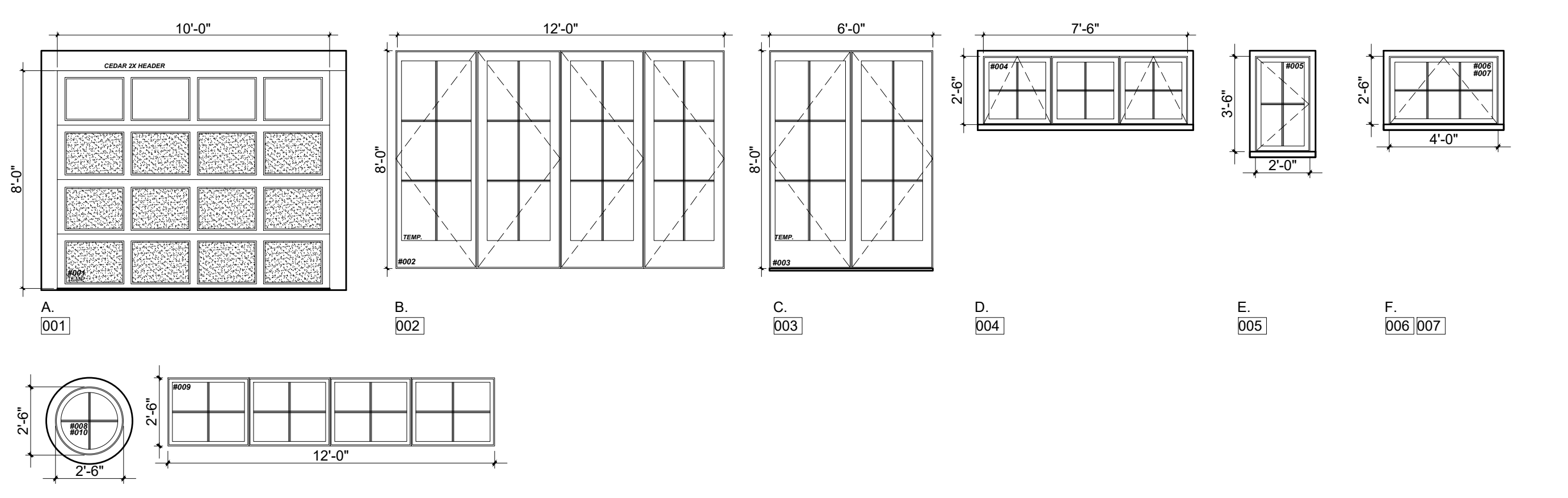
**CAL GREEN NOTES:**  
 1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2  
 2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2025 CGC §4.504.2.4  
 3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2025 CGC §4.504.3  
 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2025 CGC §4.504.4  
 5. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2025 CGC §4.504.5  
 6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3  
 7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2025 CGC §4.504.2.1  
 8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q)  
 9. REDUCED U-FACTOR (0.30) FOR HIGH PERFORMANCE WINDOWS 2025 CAL ENERGY CODE §150.1 (c) 3 A  
 10. MAX. TOTAL AREA, 20%. NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B  
 11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B

**ROOM FINISH SCHEDULE**

**EXTERIOR DOORS & WINDOWS**

LOCATION	DOORS		DETAILS				HDWR.	REMARKS					
	DOOR SIZE	TYPE	MATERIALS										
			WxH	SYM.	CORE	EXT. FIN.			INT. FIN.	GLASS			
ADU	001	GARAGE	**SEE PLANS**	O.H. DOOR	A	D.F.	D.F.	PRIMED	LO E (T)	SEE DETAILS	STD.	TBD	NOTE # 1, 2
	002	DEN	**SEE PLANS**	ENTRY/FOLD	B	D.F.	D.F.	PRIMED	LO E (T)	SEE DETAILS	STD.	TBD	NOTE # 1, 2
	003	BED	**SEE PLANS**	FRENCH	C	D.F.	D.F.	PRIMED	LO E (T)	SEE DETAILS	STD.	TBD	NOTE # 1, 2
	004	BED	**SEE PLANS**	AWN.	D	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1
	005	BATH	**SEE PLANS**	CASE	E	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1
	006	DEN	**SEE PLANS**	CASE	F	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1
	007	DEN	**SEE PLANS**	CASE	F	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1
	008	GARAGE	**SEE PLANS**	FIXED	G	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1
	009	DEN	**SEE PLANS**	FIXED	H	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1
	010	BED	**SEE PLANS**	FIXED	G	PINE	PINE	PRIMED	LO E	SEE DETAILS	STD.	TBD	NOTE # 1

**EXT. DOORS & WINDOWS SCHEDULE**



**EXT. DOORS & WINDOWS ELEVATIONS**

**Revisions**

Rev.	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/17/26
004	Response to Comments	2/27/26
005	Response to Comments	
006	Response to Comments	

**BUILDING SET  
PLANNING SET**

Contractor: \_\_\_\_\_

Owner: J. A. BERKMAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,100 SQ. FT.

APN#: 026-033-100

4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDSIGN.COM

**form + one**  
 DESIGN ■ PLANNING

Title: Garage + ADU Plans  
 Project: SUCHITRA / DESIKAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010

Job No.: 25\_38  
 Drawn: TIM RADEWIZ  
 Date: 09.08.25

**ADU**

Sheet  
 Scale: See Details

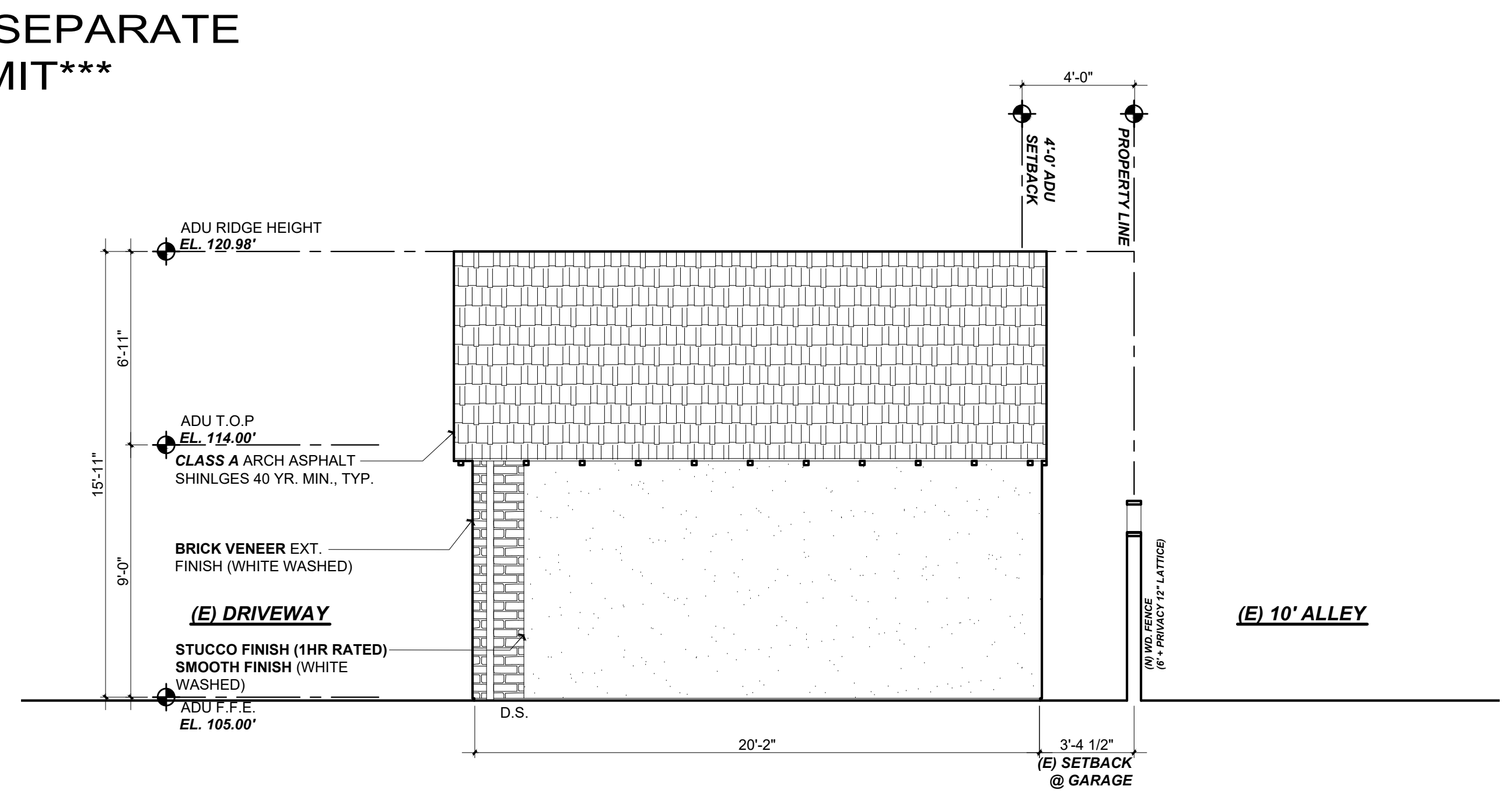
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**PROPOSED FRONT ELEVATION**

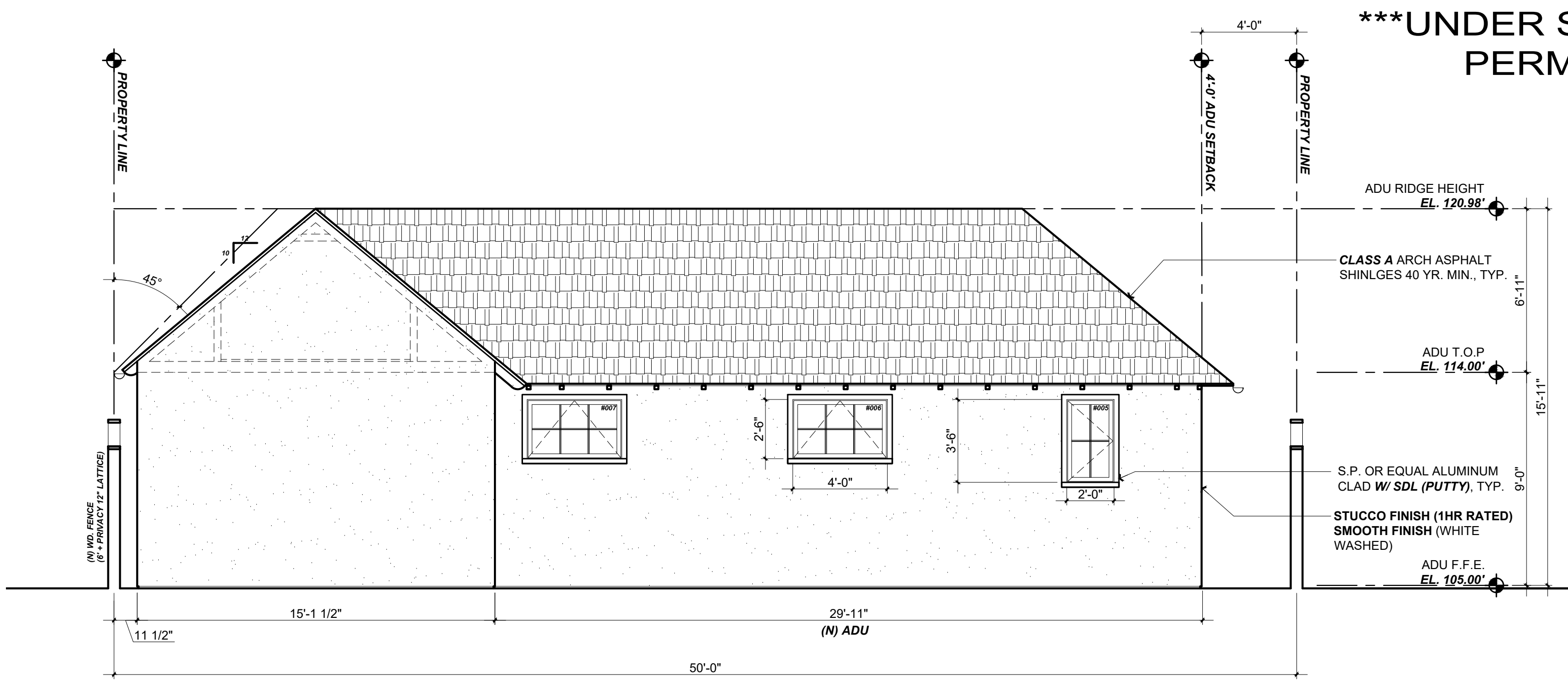
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ADU2

**\*\*\*UNDER SEPARATE PERMIT\*\*\***



**PROPOSED RIGHT ELEVATION**

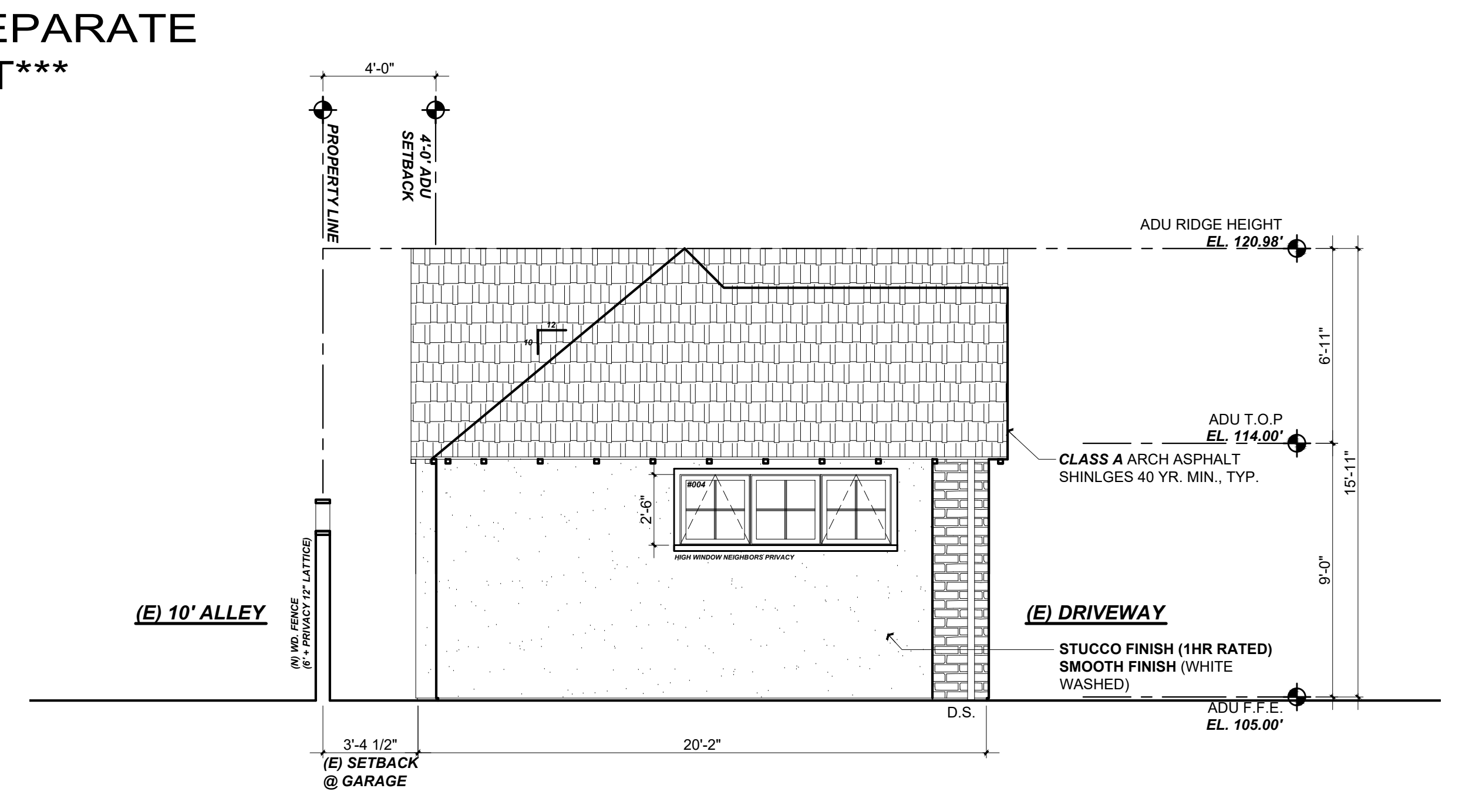
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ADU2



**PROPOSED REAR ELEVATION**

Scale: 1/4" = 1'-0" 2  
ADU2

**\*\*\*UNDER SEPARATE PERMIT\*\*\***



**PROPOSED LEFT ELEVATION**

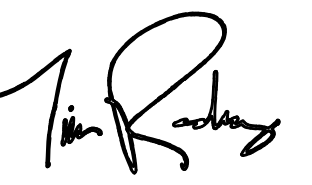
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ADU2

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/17/26
004	Response to Comments	3/17/26
005	Response to Comments	5/27/26
006		

Contractor :

Owner :  
 J. & M. HERRMAN  
 1505 DRAKE AVE.  
 BURLINGAME, CA 94010  
 YEAR BUILT: 1974  
 ZONING: RESIDENTIAL  
 LOT SIZE: 6,100 SQ. FT.

4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDSIGN.COM



**form + one**  
 DESIGN ■ PLANNING

Title : **Garage + ADU Elevations**  
 Project : **SUCHITRA / DESIKAN**  
**1505 DRAKE AVE.**  
**BURLINGAME, CA 94010**  
 Job No. : 25\_38 | Drawn : TIM RADNEY | Date : 09.08.25

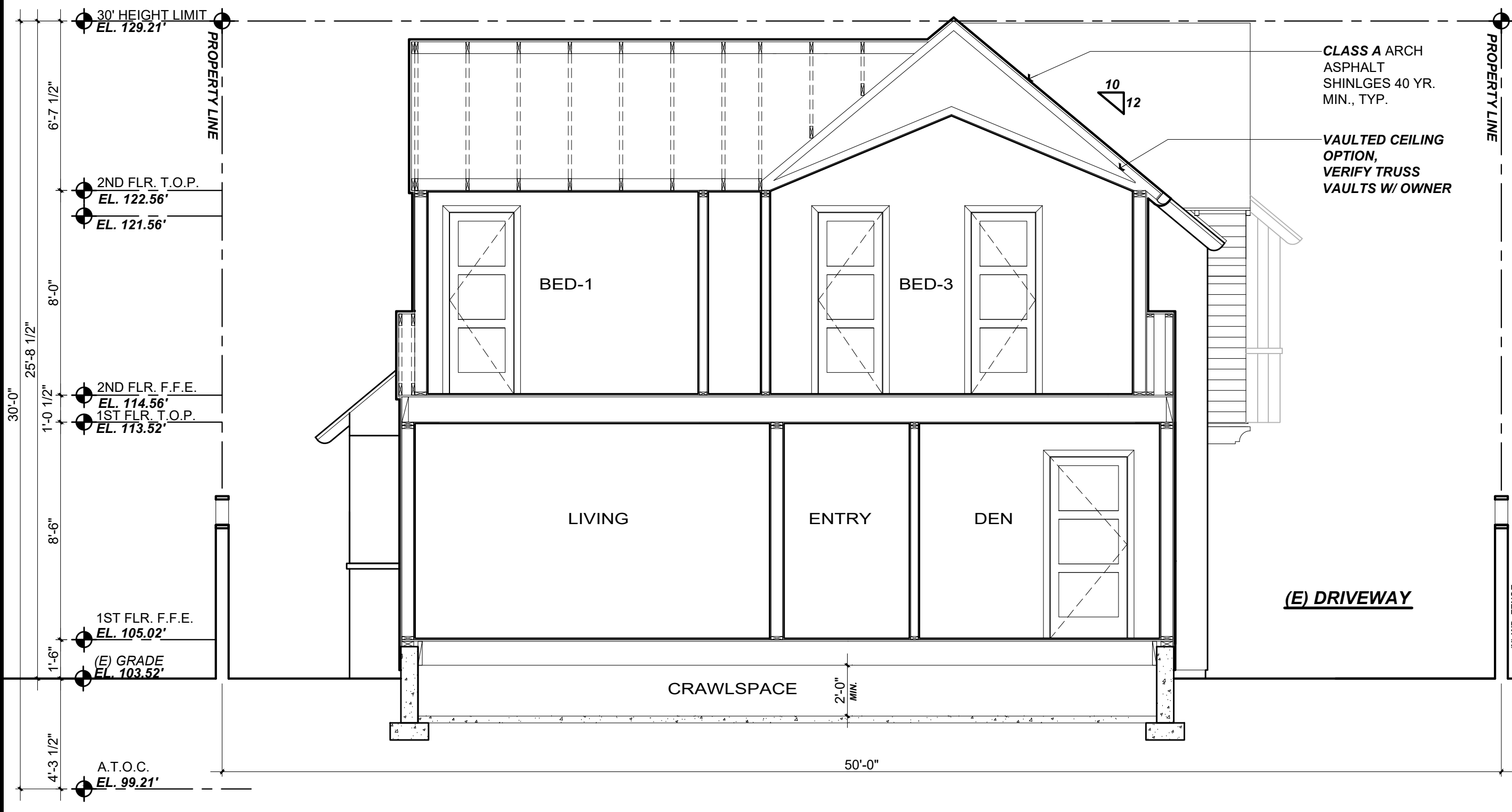
**ADU2**

Sheet  
 Scale: See Details

**BUILDING SET  
 PLANNING SET**

APN#: 026-033-100

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**PROPOSED BUILDING SECTION**

Scale: 1/4" = 1'-0"

1  
A4.0



**PROPOSED BUILDING SECTION**

Scale: 1/4" = 1'-0"

2  
A4.0

Rev. #	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/6/26
004		
005		
006		

Contractor:

Owner: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010  
YEAR BUILT: 1974  
ZONING: RESIDENTIAL  
LOT SIZE: 6,100 SQ. FT.

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM



Title: Proposed Building Sections

Project: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No.: 25\_38  
Drawn: TIM BAUERZ  
Date: 09.08.25

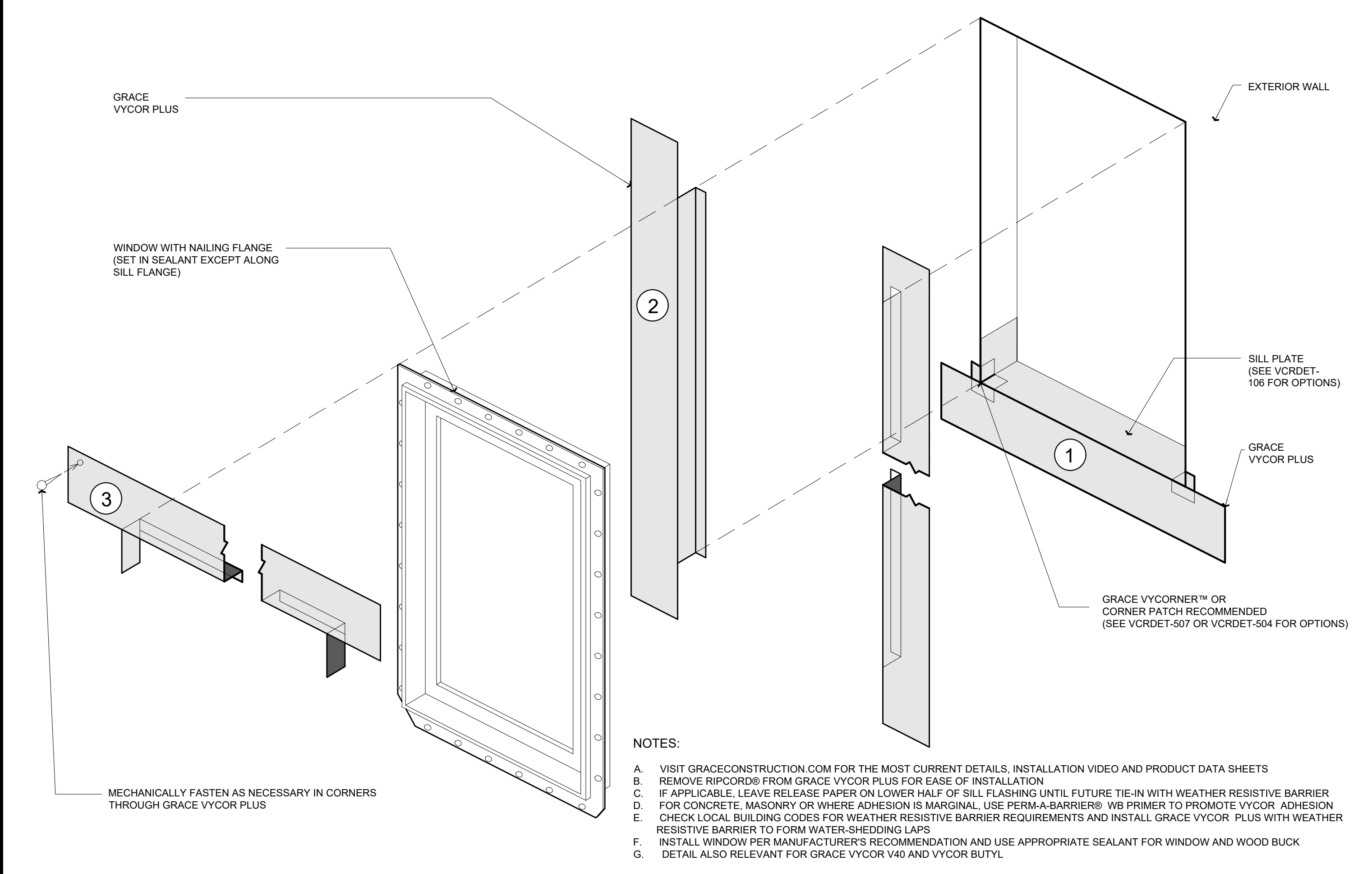
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Scale: See Details

BUILDING SET  
PLANNING SET

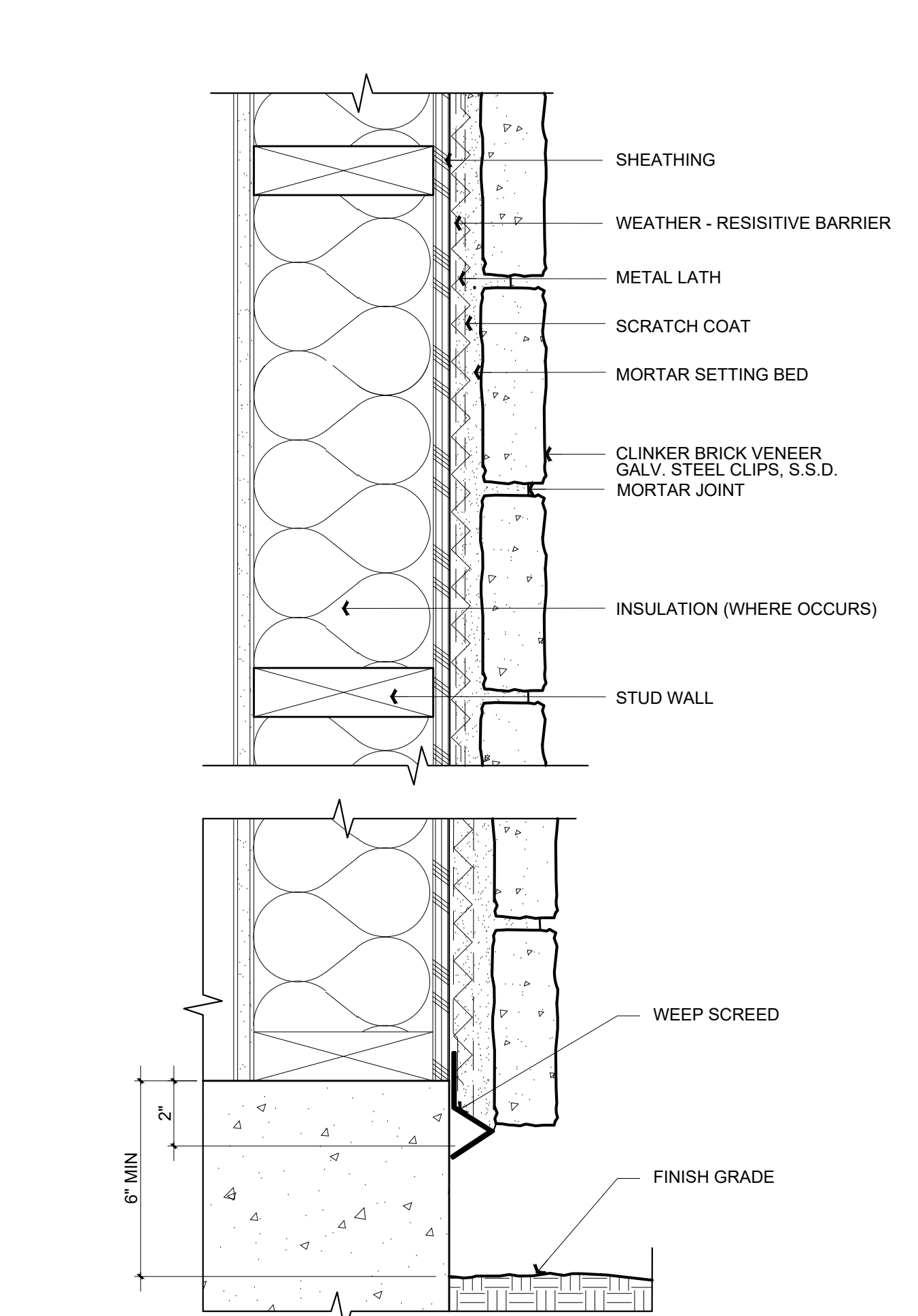
APN#: 026-033-100

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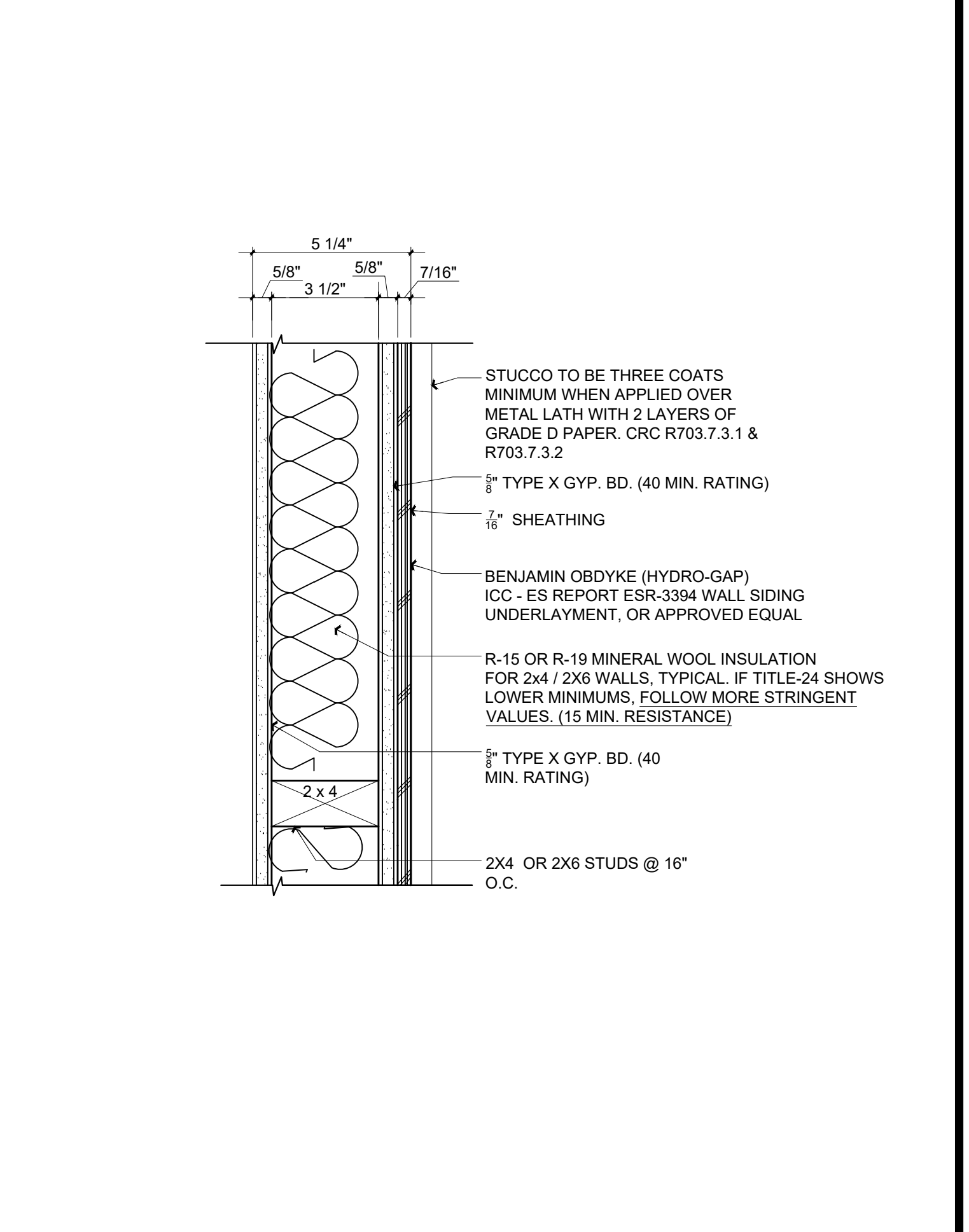
**WINDOW FLASHING DETAIL**

Scale: N.A. 1  
A5.0



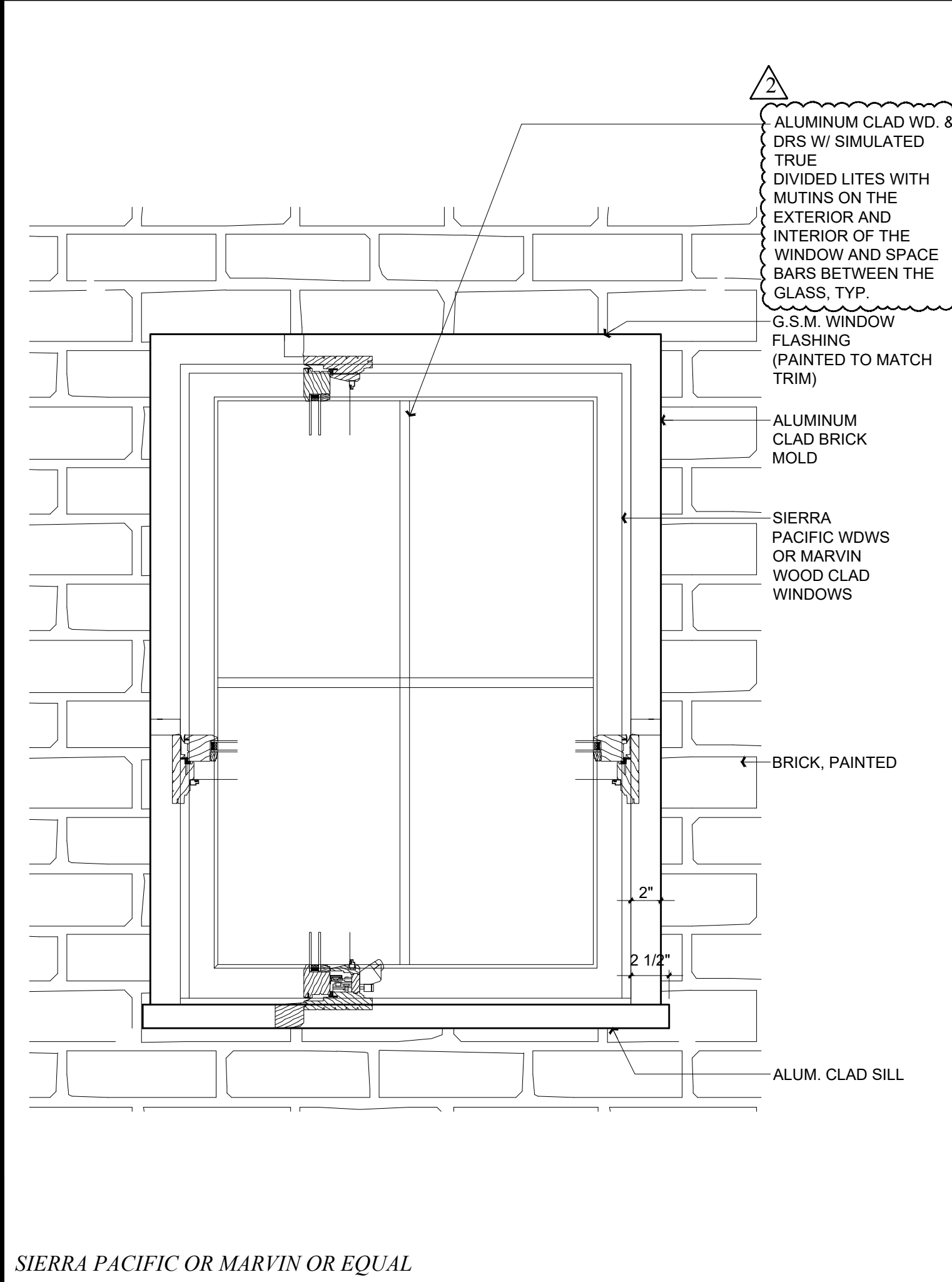
**Veneer Stone Detail**

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A5.0



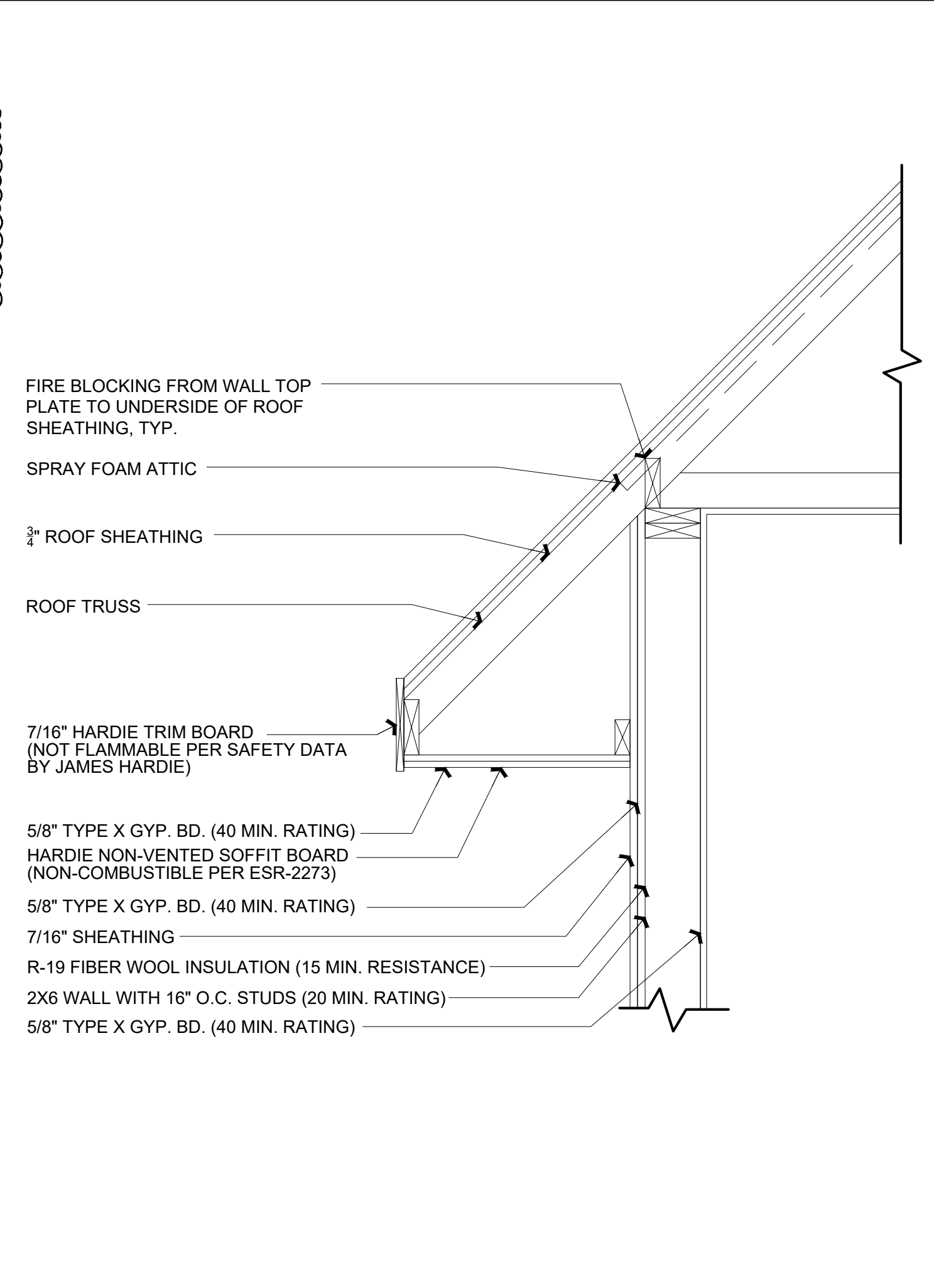
**1-HR RATED EXT. WALL**  
1 HOUR RATED ASSEMBLY PER CBC 722.6.2

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A5.0



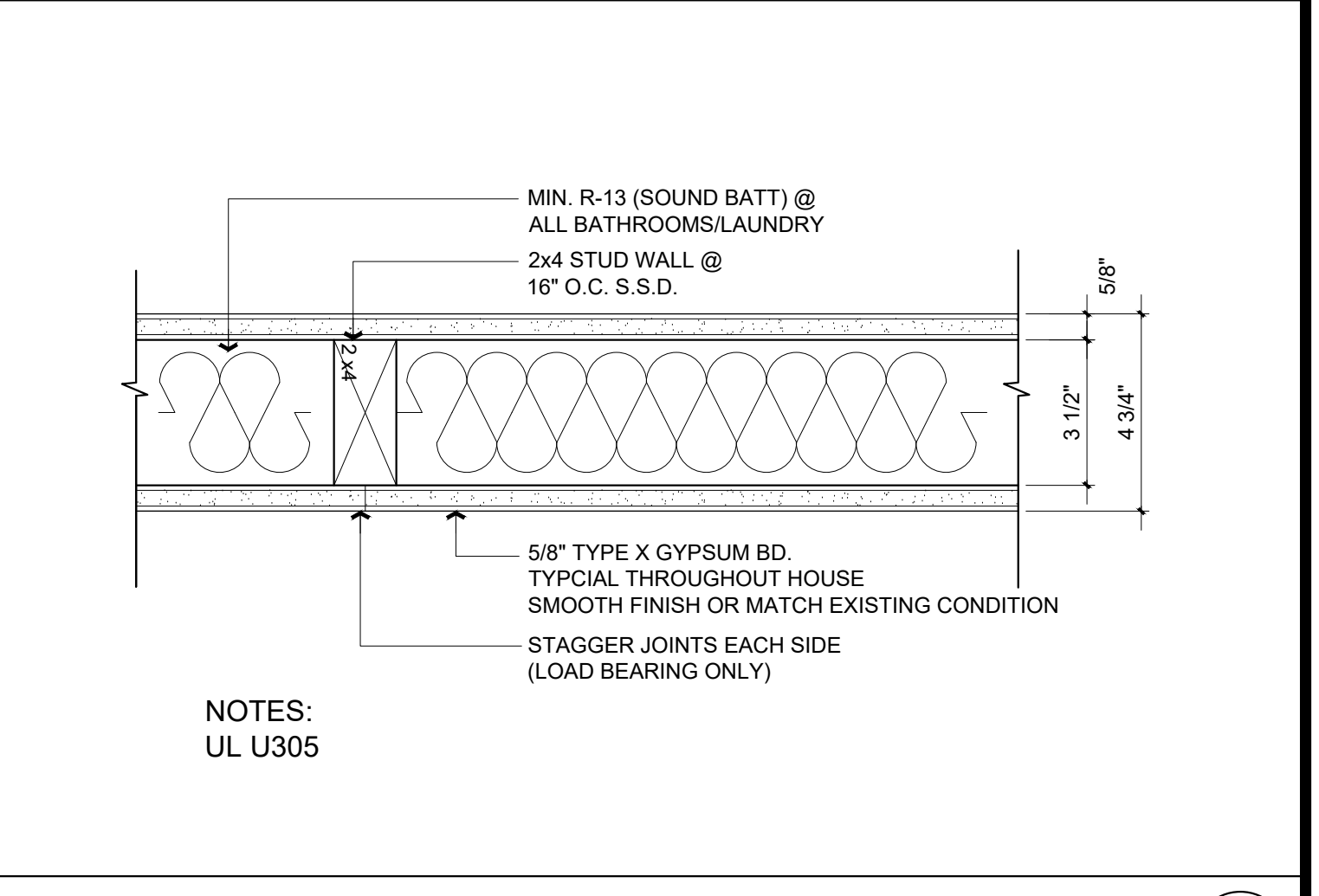
**TYPICAL WINDOW DETAIL**

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A5.0



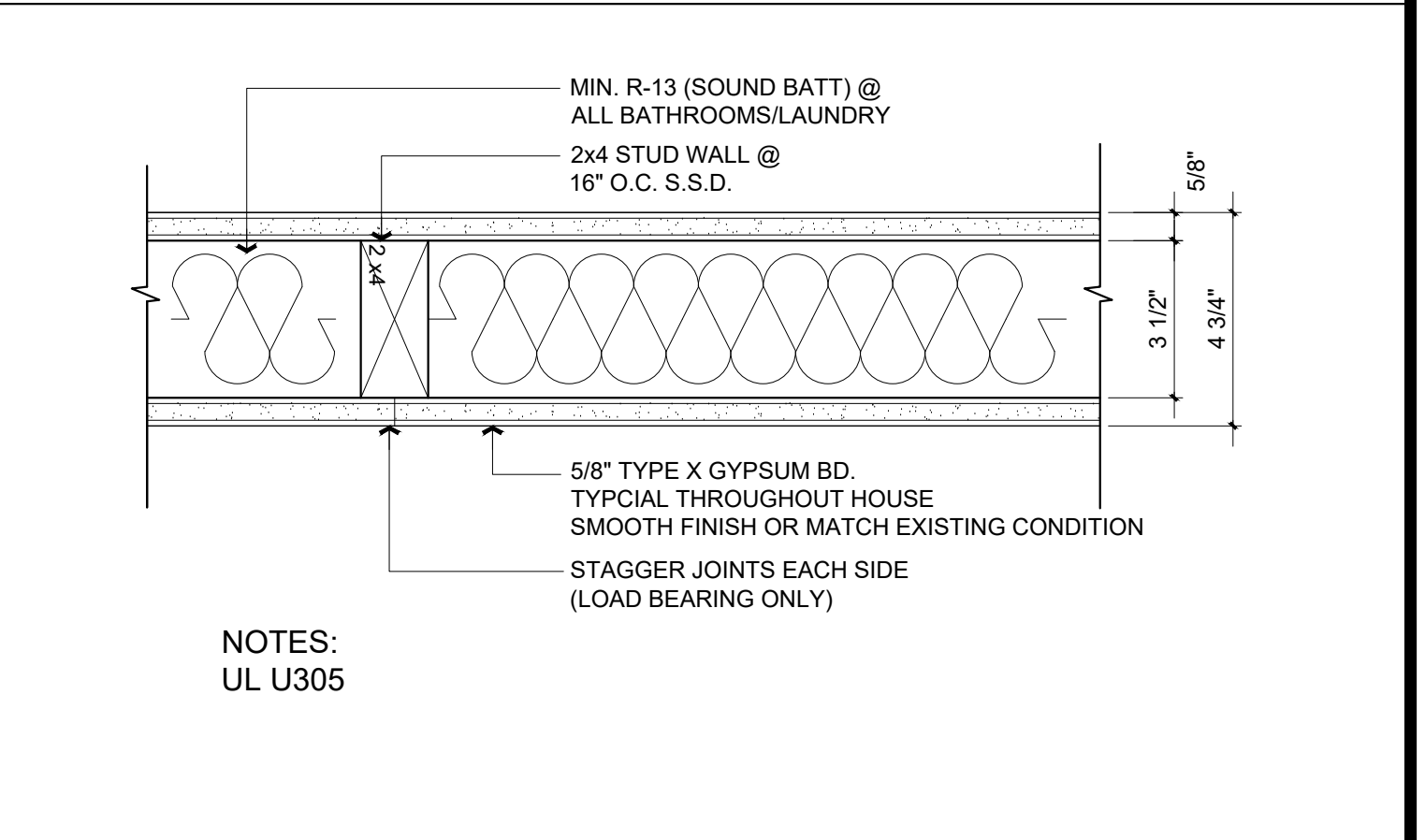
**FIRE RATED EAVE**  
1 HOUR RATED ASSEMBLY PER CBC 772.6.2

Scale: 1" = 1'-0" 5  
A5.0



**INTERIOR WALL DETAILS**

Scale: 3" = 1'-0" 7  
A5.0



**1 HR RATED INTERIOR WALL DETAILS**

Scale: 3" = 1'-0" 8  
A5.0

Revisions

Rev.	Description	Date
001	Response to Comments	12/3/25
002	Response to Comments	1/15/26
003	Response to Comments	2/6/26
004		
005		
006		

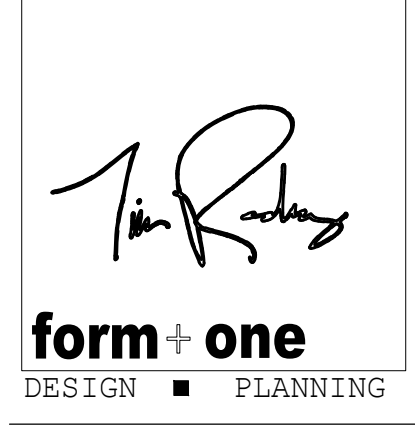
Contractor:

**BUILDING SET  
PLANNING SET**

Owner: J. DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

YEAR BUILT: 1974  
2001ST RESIDENTIAL  
LOT SIZE: 6,000 SQ. FT.

APN#: 026-033-100



Title: Building Details

Project: SUCHITRA / DESIKAN  
1505 DRAKE AVE.  
BURLINGAME, CA 94010

Job No.: 25\_38 | Drawn: TIM RADEBUZ | Date: 09.08.25

**A5.0**

Sheet  
Scale: See Details