

1437 CABRILLO AVENUE

ADDITION & REMODEL

1437 CABRILLO AVENUE, BURLINGAME, CA 94010

PERMIT SUBMITTAL

GENERAL NOTES

1. **DIMENSIONS ON DRAWINGS:** DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

2. **COORDINATION OF WORK:** THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THEIR WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS AND REQUIRED CLEARANCES OF UTILITIES, APPLIANCES, AND OTHER ITEMS ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY ARCHITECT OF PROBLEMATIC CONDITIONS.

3. **CONFLICTS IN DOCUMENTS:** NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.

4. **CUTTING AND PATCHING:** WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.

5. **TEMPORARY SHORING AND UNDERPINNING:** IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF BOTH EXISTING AND NEW WORK AS REQUIRED TO STABILIZE THE WORK AND TO MINIMIZE RISK OF PROPERTY DAMAGE OR INJURY ON SITE OR TO ADJACENT PROPERTIES. SHORING AND UNDERPINNING WORK IS TO BE PERFORMED UNDER SEPARATE PERMIT OBTAINED BY THE GENERAL CONTRACTOR.

6. **AGENCY, INSPECTIONS, AND UTILITY COORDINATION:** THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER. TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER, THE OWNER AND THE ARCHITECT.

7. **SPECIAL INSPECTIONS AND TESTING:** IF REQUIRED BY THE GOVERNING AGENCIES, THE OWNER IS TO PROVIDE REQUIRED SPECIAL INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE ARCHITECT, STRUCTURAL ENGINEER AND OWNER A MINIMUM FIVE DAY NOTIFICATION ONCE THE WORK IS READY FOR INSPECTION. KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION.

8. **SITE UTILITIES:** THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPGRADES ARE REQUIRED TO MEET THE REQUIREMENTS OF THE CODE. VERIFY THE EXISTING ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

9. **PROTECTION OF PROPERTY:** PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AND ARCHITECT AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES, RESTORE TO PREVIOUS EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER. DURING CONSTRUCTION COVER ANY DUCT OPENINGS.

WALL LEGEND

EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMOLISHED

NEW NON-RATED WALL

NEW 1-HOUR FIRE-RESISTANCE-RATED WALL

GARAGE - DWELLING SEPARATION WALL

INT. ELEVATION REF.

INT.



PROJECT DIRECTORY

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**1437
CABRILLO
ADDITION AND
REMODEL**

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

ISSUE: DATE:
DESIGN REVIEW REV 11/11/25
DESIGN REVIEW REV 2 01/08/26

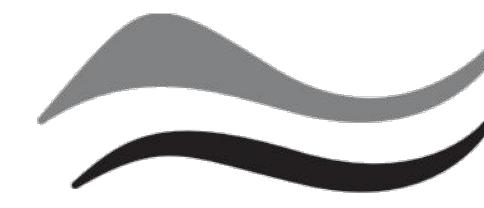
DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE: _____

RENDERINGS

SHEET NO. _____

A0.1

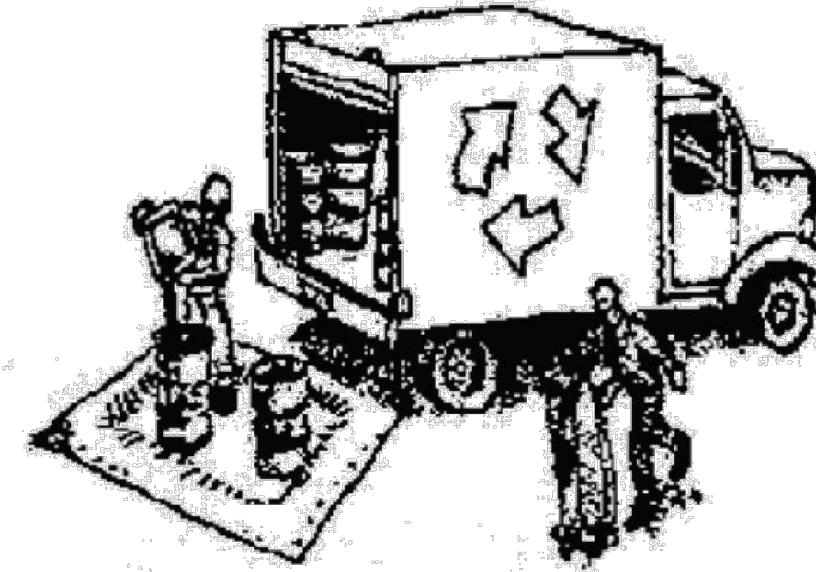




**SAN MATEO COUNTYWIDE
Water Pollution
Prevention Program**

Clean Water. Healthy Community.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



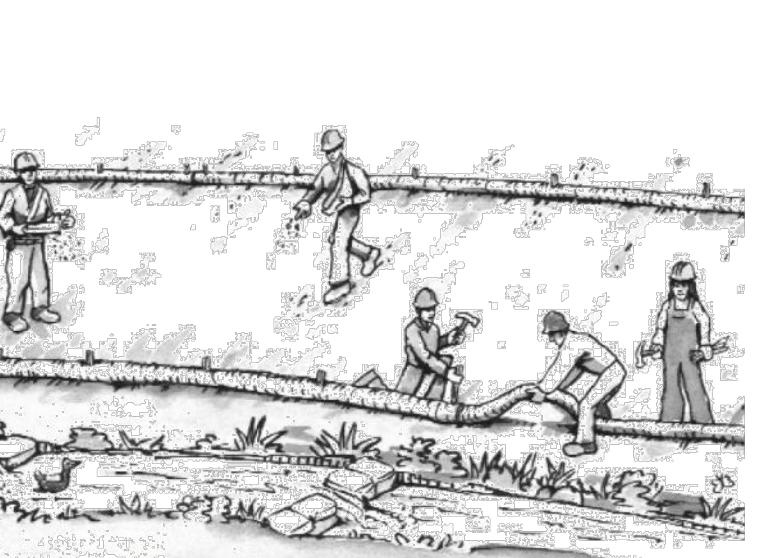
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

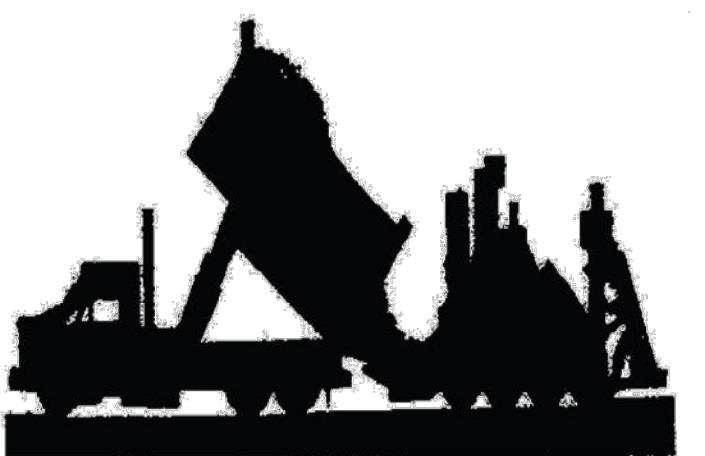
Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.

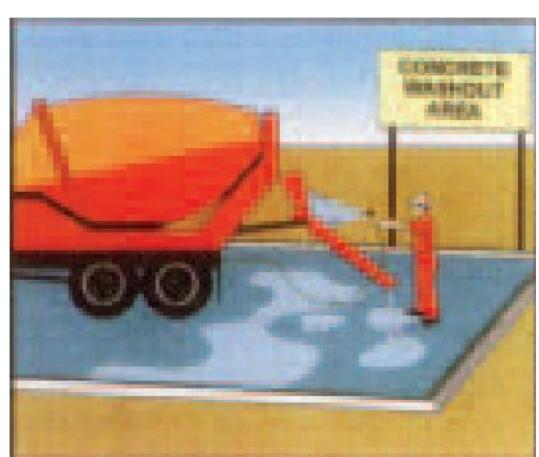
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- If sawcut slurry enters a catch basin, clean it up immediately.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

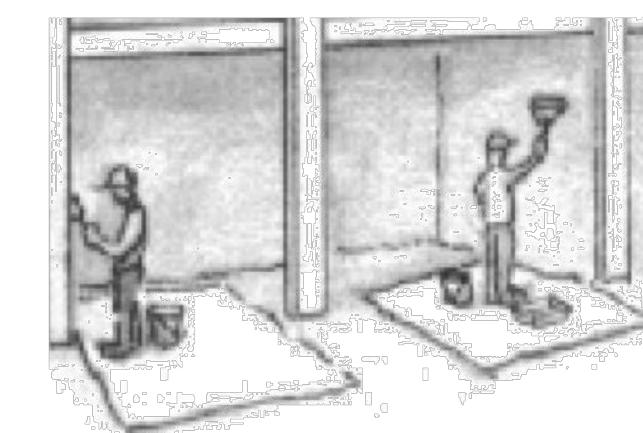
Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

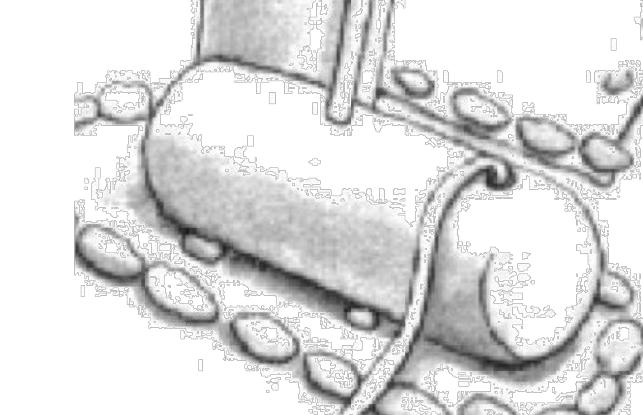
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

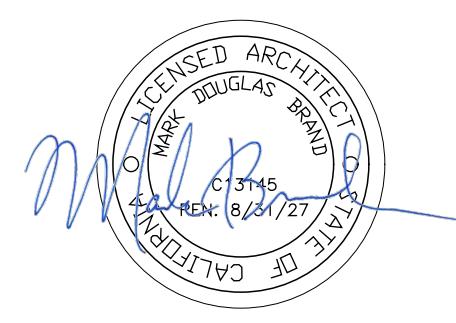
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.

- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.

- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.



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JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE:

**CONSTRUCTION
BEST
MANAGEMENT
PRACTICES**

SHEET NO.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

A0.2

TOPOGRAPHIC SURVEY

LANDS OF WOODS

LOT 11, BLOCK 47

EASTON ADDITION TO BURLINGAME NO. 4

(4-M-57)

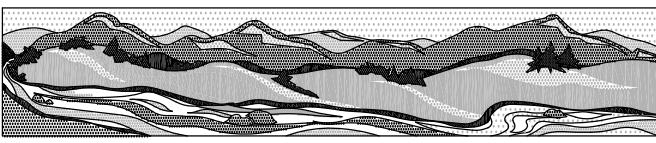
1437 CABRILLO AVENUE

CITY OF BURLINGAME

SAN MATEO COUNTY

CALIFORNIA

SCALE: 1" = 8'



QUIET RIVER

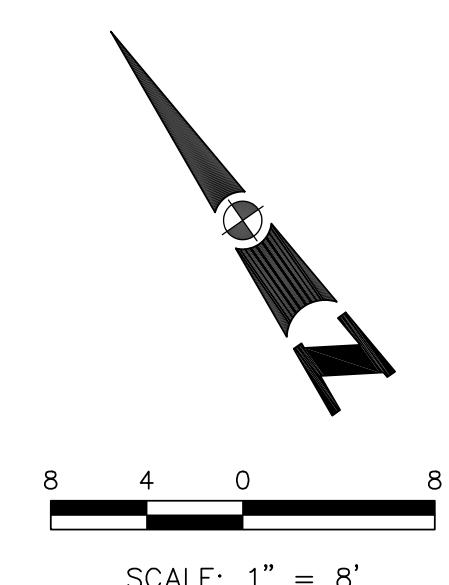
Land Services Inc.

11501 Dublin Boulevard, Suite 200
Dublin, CA 94568
(925) 734-6788 Phone

JUNE 2025

BASIS OF BEARINGS

CORNER RECORD MAP NO 2483 FILED MAY 4, 2016 IN THE RECORDS OF SAN MATEO COUNTY, AND TWO MONUMENTS FOUND AS SHOWN.



SCALE: 1" = 8'

BASIS OF ELEVATION

THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A IGA73 RECEIVER AND POST-PROCESS USING THE CORS NETWORK. ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

PROPERTY BOUNDARY NOTE

THIS IS NOT A PROPERTY BOUNDARY SURVEY. THIS MAP REFLECTS A TOPOGRAPHIC SURVEY OF THE SUBJECT PARCEL. PROPERTY MONUMENTS WERE NOT RECORDED AND ARE NOT SHOWN. THE PROPERTY BOUNDARY LINE AND PARCEL AREA DATA AS SHOWN HEREON IS FOR INITIAL PLANNING PURPOSES ONLY AND ARE NOT FINAL AS PER AGREEMENT. THE LINES AS SHOWN REFLECT RECORD INFORMATION AND AVAILABLE DATA FOR THE SUBJECT PARCEL AND RIGHT-OF-WAY LINES.

NOTES

- 1.) NO TITLE REPORTS WERE SUPPLIED FOR THIS PROJECT AND ONLY LIMITED PROPERTY/DEED RESEARCH WAS DONE. CONVENTIONAL EASEMENTS OF RECORD, IF ANY, AND ANY RECENT CHANGES IN LAND PARCEL BOUNDARIES WILL NOT BE REFLECTED HEREON. UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- 2.) DATE OF FIELD SURVEY: JUNE 11, 2025
- 3.) PROJECT BENCHMARK: VARIOUS CONTROL POINTS SET WITHIN SUBJECT PARCEL SHOWN AS "CP-XX". ALL ELEVATIONS SHOWN ARE AMSL (NAVD88).
- 4.) CONTOURS SHOWN HEREON ARE AT ONE FOOT (1.0') INTERVALS.

SURVEYOR'S STATEMENT

I, KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN, ARE BASED UPON A FIELD SURVEY PERFORMED JUNE 11, 2025 BY OUR OFFICE. THE INFORMATION IS FOR THE USE OF THE PROPERTY OWNER. PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND THE ITEMS AND INFORMATION AS SHOWN, WERE DONE UNDER MY SUPERVISION AND DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



KEVIN M. MCGUIRE, CA PLS #6437
6/23/25
DATE

LEGEND

AD.	AREA DRAIN	SUBJECT PROPERTY LINE
APN:	ASSESSOR'S PARCEL NUMBER	ADJACENT PROPERTY LINE
CP	CONTROL POINT	EXISTING EASEMENT
CO	CLEANOUT	ROOF GUTTER/EAVE LINE
CONC.	CONCRETE	MAJOR CONTOUR
EL.	ELEVATION	MINOR CONTOUR
FH	FIRE HYDRANT	EXISTING FENCE LINE
FND.	FOUND	CLEANOUT
HB	HOSE BIB	GAS METER
HT.	HEIGHT	HOSE BIB
ICV	IRRIGATION CONTROL VALVE	VALVE
(TYP.)	TYPICAL	WATER METER
× 330	SPOT ELEVATION	
△	SURVEY CONTROL POINT	
×	FOUND CHISELED X (NO RECORD)	

PLANTING NOTES

- ALL WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR AND PERSONNEL FAMILIAR WITH THE WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
- ALL TREES SHALL BE STAKED AS SHOWN IN THE DETAILS.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CASES ARE TO BE ACCCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF/WHEN NECESSARY.
- THE PLANT COUNT IS FOR THE CONTRACTOR'S CONVENIENCE. IN CASE OF A DISCREPANCY, THE PLAN SHALL GOVERN.
- LOOSEN THE TOP 10" OF TOPSOIL AND BLEND THE TOP 4" LAYER OF SOIL W/ FOLLOWING AMOUNTS /1000 SQUARE FEET:
 - 40.0 YDS. NITROGEN STABILIZED ORGANIC AMENDMENT* (4" LAYER)
 - 50.0 LBS. GYPSUM
 - 25.0 LBS. NITROFORM (38-0-0)
 - 50.0 LBS. TREBLE SUPERPHOSPHATE (0-45-0)
 - 25.0 LBS. POTASSIUM SULFATE (0-0-50)
 - 15.0 LBS. FERROUS SULFATE (10% FE)
 THE TOP 12" OF PLANT BACKFILL AROUND THE SIDES OF THE ROOTBALL OF TREES AND SHRUBS SHALL CONSIST OF THE ABOVE AMENDED SOIL PREPARED AS FOLLOWS:
 - 3 PARTS PULVERIZED SITE SOIL
 - 1 PART NITROGEN STABILIZED ORGANIC AMENDMENT*
 - 1.0 LBS. IRON SULFATE
 - UNIFORMLY BLENDED WITH: (AMOUNT / CUBIC YARD BACKFILL MIX)
 - 3/4 POUND 6-20-20 COMPLETE FERTILIZER
 - 1/4 POUND POTASSIUM SULFATE (0-0-50)
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES FOR A PERIOD OF ONE YEAR AND ALL SHRUBS AND GROUND COVERS FOR A PERIOD OF 90 DAYS.
- ANY REQUIREMENTS IN THE PLANS SHALL BE CONSIDERED BINDING. IN CASE OF DISCREPANCIES THE OWNER AND LAND. ARCH. SHALL BE IMMEDIATELY NOTIFIED FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- THERE SHALL BE REGULAR SITE VISITS BY THE LANDSCAPE ARCHITECT AND THE OWNER THROUGHOUT CONSTRUCTION AND A FINAL SITE REVIEW.
 - TO INSPECT PLANTS ON ARRIVAL FROM NURSERY
 - AT TIME OF PLANTING
 - A FINAL SITE REVIEW
- ALL PLANT MATERIAL NOT APPROVED BY LANDSCAPE ARCHITECT MAY BE SUBJECT TO REJECTION.
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
- PROTECT EXISTING TREES AS NECESSARY. FENCE AS NECESSARY. LOCATE ALL UTILITIES COORDINATE ALL DIGGING AND TRENCHING BEFORE PROCEEDING WITH THE WORK. PRIOR TO BEGINNING WORK WITH THE PROJECT SUPERVISOR FIRST.
- THE DESIGN INTENT OF THE PLANTING PLAN IS TO ESTABLISH AND IMMEDIATE, ATTRACTIVE AND MATURE LANDSCAPE APPEARANCE. FUTURE PLANT GROWTH WILL NECESSITATE TRIMMING, SHAPING, PRUNING AND IN MOST CASES, REMOVAL OF TREES AND SHRUBS AS PART OF AN ON-GOING MAINTENANCE PROGRAM.
- ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- APPLY "RONSTAR" OR "ELANCO XL" PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECS. THE LANDSCAPE SHALL BE WEED FREE AT THE TIME OF THE FINAL WALK-THROUGH.
- FOR A PERIOD OF 10 DAYS FOLLOWING OWNER'S ACCEPTANCE OF THE COMPLETION OF THE FINAL PUNCH LIST AS PART OF HIS BID, ALL PRUNING, SPRAYING, FERTILIZING, MOWING, CLEAN-UP AND ASSOCIATED LANDSCAPE PRACTICES SHALL BE INCLUDED. THE 10 DAY MAINTENANCE PERIOD DOES NOT END UNTIL FINAL ACCEPTANCE BY THE OWNER IS GRANTED.
- CONTRACTOR TO SUBMIT UNIT PRICES FOR THE POSSIBLE ADDITION OF PLANTS TO THE PROJECT. SUBMIT UNIT PRICES FOR 15 GALLON TREES, 5 GALLON SHRUBS, 1 GALLON SHRUBS, LAWN AND GROUND COVER AT SQ. FT. PRICES.
- CONTRACTOR SHALL INSTALL EPOXY VINE TIES AT ALL VINES PLANTING LOCATIONS TO TIE VINES TO WALLS AND POSTS AS NEEDED.
- 3" LAYER OF SHREDDED FIR BARK OVER ALL PLANTED AND IRRIGATED AREAS.
- ON ALL SLOPES 3:1 OR GREATER, INSTALL JUTE MESH NETTING, LAP MIN. 12", STAPLE AT 24" O.C. TYP.
- ALL PLANT MATERIAL SHALL BE OF THE QUALITY AND SIZE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK GUIDELINES, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE OWNER'S PROPERTY ALL WASTE MATERIAL GENERATED BY FROM THE PLANTING OPERATIONS. (2X WEEKLY).
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED SUB-CONTRACTORS AND WITH THE GENERAL CONSTRUCTION CONTRACTOR OF THE PROJECT.

PROPOSED PLANTING LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	SPACING
TREES:					
Ace. pal.	24" BOX	Acer palmatum	Japanese Maple	MOD	PER PLAN
Arb. 'Mar.'	24" BOX	Arbutus 'Marina'- REPLACEMENT TREE	Marina Strawberry Tree	LOW	PER PLAN
Lau. nob.	24" BOX	Laurus nobilis - REPLACEMENT TREE	Grecian laurel	MOD	PER PLAN
Lag. ind.	24" BOX	Lagerstroemia Indica- REPLACEMENT TREE	Crape Myrtle	MOD	PER PLAN
Mag. 'L. G.'	24" BOX	Magnolia 'Little Gem'- REPLACEMENT TREE	Magnolia	MOD	PER PLAN
SHRUBS:					
Aga. afr.	1 GAL	Agapanthus africanus	Lily of the Nile	LOW	12" O.C.
Bud. dav.	5 GAL	Buddleja Davidii	Butterfly Bush	MOD	24" O.C.
Bux. 'G.M.'	1 GAL	Buxus 'Green Mountain'	Boxwood	MOD	18" O.C.
Cam. sas.	5 GAL	Camellia sasanqua - Single/Double White	White Camellia	MOD	48" O.C.
Das. whe.	5 GAL	Dasylinion wheeleri	Spoon Yucca	LOW	36" O.C.
Die. bic.	1 GAL	Dieteris bicolor	Yellow Fortnight Lily	LOW	24" O.C.
Esc. spp.	1 GAL	Escallonia spp. - Dwarf	Escallonia - Dwarf	LOW	36" O.C.
Fes. glau.	5 GAL	Festuca glauca	Blue Fescue	LOW	8" O.C.
Heb. spp.	1 GAL	Hebe spp.	Hebe Species	MOD	36" O.C.
Lav. int.	1 GAL	Lavandula intermedia	Lavender	LOW	18" O.C.
Lig. Tex.	5 GAL	Ligustrum japonicum 'Texanum'	Waxleaf Privet - Columnar	MOD	18" O.C.
Lir. gig.	1 GAL	Liriope gigantea	Mont Lily Turf	MOD	48" O.C.
Ner. ole.	1 GAL	Nerium oleander - Pink / Red	Oleander	MOD	36" O.C.
Pho. 'Jes.'	5 GAL	Phormium 'Jester'	Jester Flax	MOD	60" O.C.
Pru. lau.	5 GAL	Prunus laurocerasus	English Laurel	MOD	60" O.C.
Sal. leuc.	5 GAL	Salvia leucantha	Mexican Bush Sage	LOW	48" O.C.
Tra. jas.	5 GAL	Trachelospermum Jasminoides	Jasmine	LOW	48" O.C.
GROUNDCOVERS:					
	1 GAL	Arctostaphylos edmundsii 'Carmel Sur'	Carmel Sur Manzanita	LOW	24" O.C.
	1 GAL	Agapanthus africanus 'White'	White Lily of the Nile - Dwarf	MOD	12" O.C.
	FLATS	Dymondia margaretae	Silver Carpet	LOW	48" O.C.
	1 GAL	Gazania spp. - Purple	African Daisy - Purple	LOW	12" O.C.
	FLATS	Myoporum parvifolium	Creeping Myoporum	LOW	6" O.C.
	FLATS	Viola hederacea	Australian Violet	MOD	12" O.C.
VINES:					
▲	5 GAL	Gelsemium sempervirens	Carolina Jessamine	MOD	N/A
▲	5 GAL	Rosa Banksiae	Lady Banks' Rose	MOD	48" O.C.
▲	5 GAL	Wisteria chinensis - Blue	Blue Wisteria	MOD	48" O.C.

EXISTING TREES TO REMAIN (TYP.)

EXISTING TREES BE REMOVED

PROPOSED TREES (24" BOX) - REPLACEMENT TREE (9 EACH TOTAL)

SEE ARBORIST REPORT PREPARED BY KIELTY ARBORISTS SERVICES LLC., DATED JAN, 6 2026

TREE PROTECTION NOTES:

- All tree protection measures shall be installed prior to commencement of construction.
- All Protected Trees, Street Trees, and Required Landscape Trees shall be maintained in good condition to pass Parks Division final inspection.
- Construction shall not impact any street tree root over 2 inches in diameter without approval from the City Arborist.
- All required landscape trees, existing or new, shall become Protected Trees regardless of size and shall be disclosed upon sale or transfer of the property.

SHRUB PLANTING DETAIL

NOT TO SCALE

426.67 PLANTING DETAIL

2X WIDTH OF ROOTBALL

3" HIGH BERM FINISH GRADE

BACKFILL SEE NOTE #6 - ROUGHEN SIDE OF PLANT PIT AGRIFORM 20-10-5 TABS 2-1 GAL, 3-5 GAL, 4-15 GAL, 6-24" BOX, 8-36" BOX ROOTBALL

UNDISTURBED NATIVE SOIL

SHRUB (TYP.)

EDGE OF PAVEMENT, MOW BAND, OR HEADER

* SEE PLANT LEGEND FOR SPACING DIMENSIONS GROUNDCOVER/SHRUB LAYOUT

NOT TO SCALE

426.67 PLANTING DETAIL

LODGEPOLE PINE STAKES -- 2-1/2" Ø - 3 EACH

RUBBER & WIRE FASTENERS WITH WOOD CROSS PIECES, SEE PLANTING DETAILS FOR SIZE, QUANTITY, & REQUIREMENTS

CONC. CURB OR CONC. PAVING, SEE PLAN

3" LAYER ORGANIC MULCH

ROOTBALL 2" ABOVE FINISH GRADE

3" HIGH BERM

CONC. PAVING OR CONC. CURB, SEE PLAN

1 EA. 4" DIA. PERFORATED PIPE W/ 1" DIA. DRAIN ROCK AND BUBBLER (TYP.)

*INSTALL ROOT BARRIERS WHEN CALLED OUT ON PLANTING PLAN.

2X WIDTH OF ROOTBALL

NOT TO SCALE

426.67 PLANTING DETAIL

ROBERT MOWAT ASSOCIATES
LANDSCAPE ARCHITECTURE + LAND PLANNING
1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone 925.705.7424 Fax 925.954.1390
www.rmalandscape.com

1437 CABRILLO AVENUE
BURLINGAME, CA 94010

LANDSCAPE PLAN

DATE
9-29-2025
REVISIONS

CITY COMMENTS #1	10-30-25
CITY COMMENTS #2	1-6-26

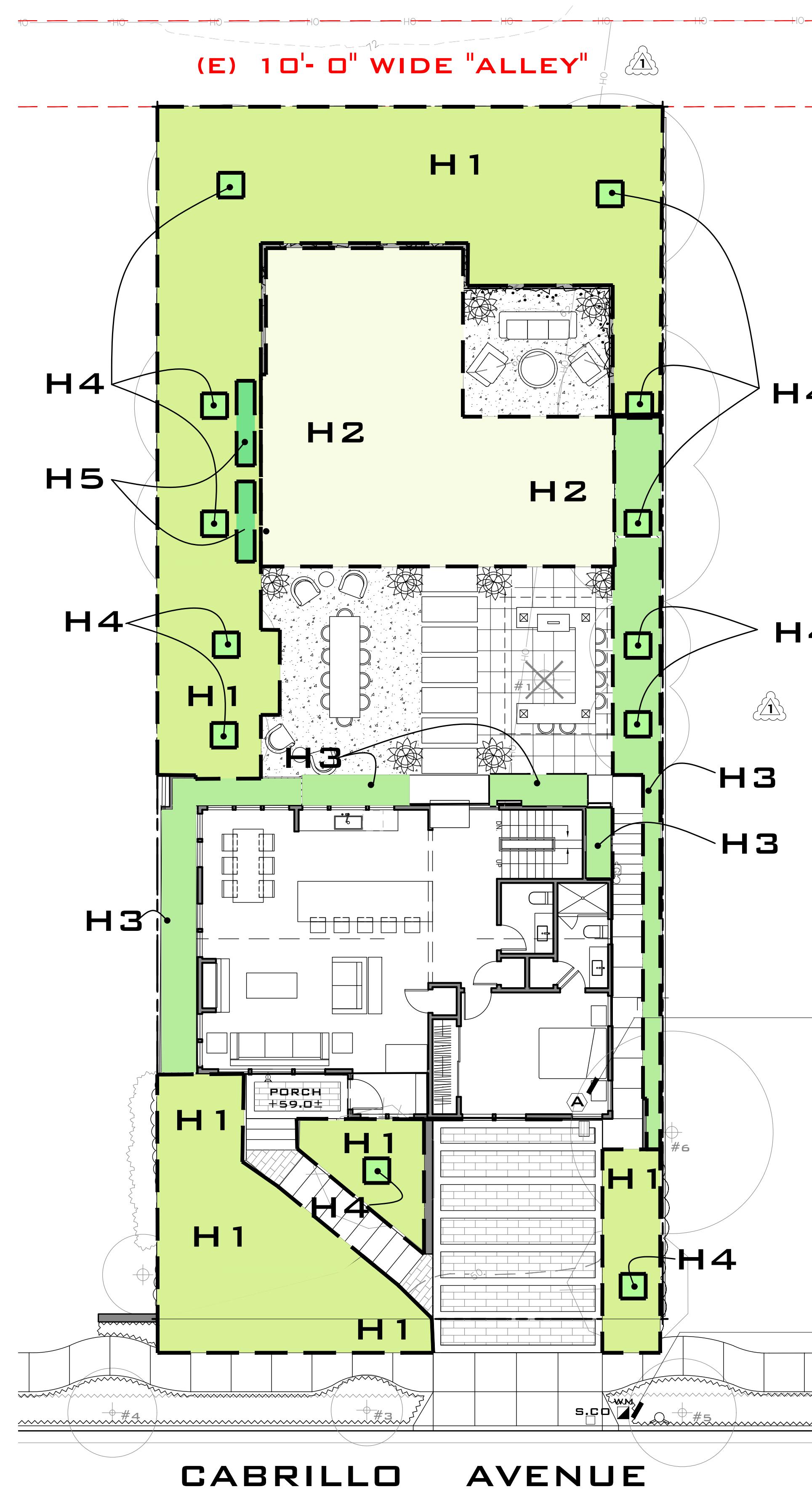
REGISTERED LANDSCAPE ARCHITECT
ROBERT J. MOWAT
Signature
Renewal Date: 09-29-2025
State of California

SCALE:
1/8" = 1'-0"

NORTH

PRINT DATE: 1-6-26

CHIBBER RESIDENCE, BURLINGAME CA



MWELO CALCULATIONS

SYMBOL	HYDROZONE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA - SF (HA)	IRRIGATION EFFICIENCY (IE)	(PF X HA) IE
H1	SHRUBS/GROUNDCOVER LOW WATER USE MP ROTATOR STREAM	0.3	1928	.75	771
H2	LAWN - MOD WATER USE MP ROTATOR STREAM	0.5	847	.75	565
H3	SHRUBS/GROUNDCOVER LOW WATER USE DRIP	0.3	424	.81	157
H4	TREES - MOD WATER USE BUBBLER	0.5	48	.81	30
H5	VEGE PLANTER - HIGH WATER USE DRIP	1.0	28	.81	34
TOTAL:			3275		1557

ETWU: $38.2 \times 0.62 (1557+30)$ = **37,586** GAL/YR

MAWA: $38.2 \times 0.62 (0.55 \times 3275) + (1.0 - 0.55) \times 28$ = **42,959** GAL/YR

MWELO CALCULATION REFERENCE

ETWU: ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)
CALCULATION FORMULA: $ETo \times 0.62 (PF \times HA + SLA)$

ETo : REFERENCE EVAPOTRANSPIRATION (38.2 INCHES PER YEAR IN BURLINGAME)
0.62 : CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FEET)
PF : PLANT FACTOR FROM WUCOLS IV, REGION 2
HA : HYDROZONE AREA [HIGH, MEDIUM AND LOW WATER USE AREAS] (IN SQUARE FEET)
IE : IRRIGATION EFFICIENCY (MINIMUM 0.70)
SLA : SPECIAL LANDSCAPED AREA (SQUARE FEET)

MAWA: MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)
CALCULATION FORMULA: $(ETo) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$

ETo : REFERENCED EVAPOTRANSPIRATION (44.2 INCHES PER YEAR IN UNION CITY)
0.62 : CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FEET)
0.55 : RESIDENTIAL REFERENCE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF)
LA : LANDSCAPED AREA INCLUDING SLA (SQUARE FEET)
0.55 : ADDITIONAL WATER ALLOWANCE FOR SLA
SLA : SPECIAL LANDSCAPED AREA (SQUARE FEET)

A CONTROLLER - PROPOSED LOCATION.

■ EXISTING 3/4" WATER METER, VERIFY SIZE & PRESSURE IN FIELD.

◊ EXISTING TREES TO REMAIN.

● PROPOSED TREES

IMPERVIOUS / PERMEABLE SURFACE COVERAGE CALCULATIONS

HARDSCAPE & SOFTSCAPE

- 1 ROOF (IMPERVIOUS) - SEE ARCH DWGS
- 2 IMPERVIOUS PAVED AREA
- 3 PERMEABLE GRAVEL PATIO
- 4 PLANTING AREA
- 5 LAWN

SQ. FT.

1,296
992
497
3,275
847 (22%)

TOTAL LANDSCAPE AREA (PLANTING AREA, LAWN & PERMEABLE PAVING) **3712 (62.0%)**

TOTAL IMPERVIOUS COVERAGE

OVERALL SITE SQ.FT.

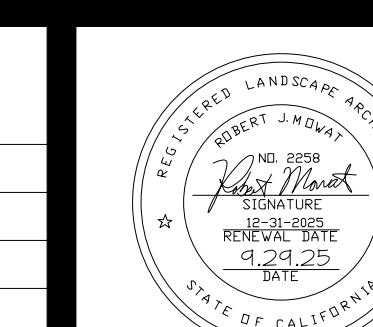
2,288 (38.0%)
6,000

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1437 CABRILLO AVENUE
BURLINGAME, CA 94010

IRRIGATION PLAN, WELD CALCULATIONS & HYDRO-ZONES

DATE
9-29-2025
REVISIONS
CITY COMMENTS #1 10-30-25
CITY COMMENTS #2 1-6-26



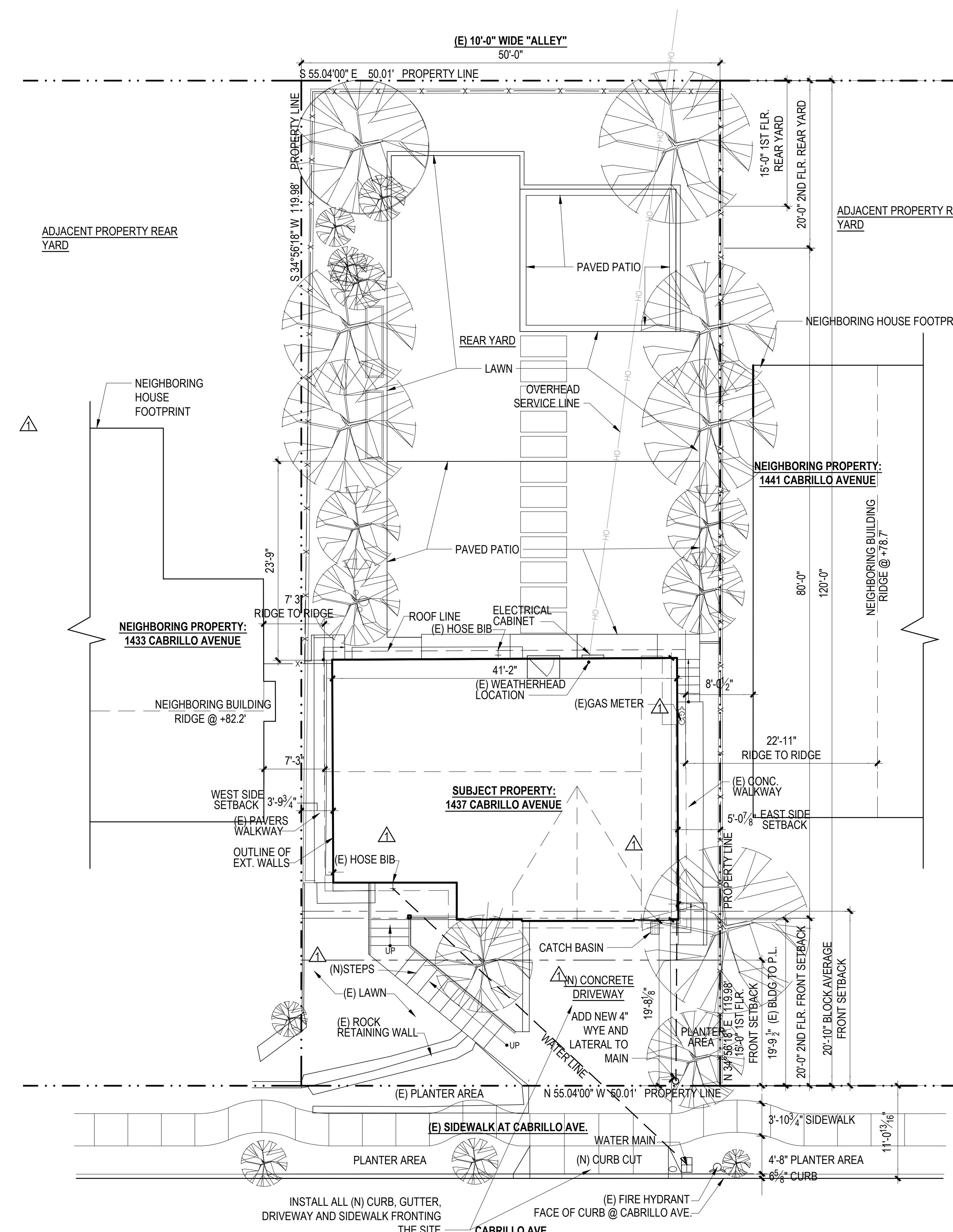
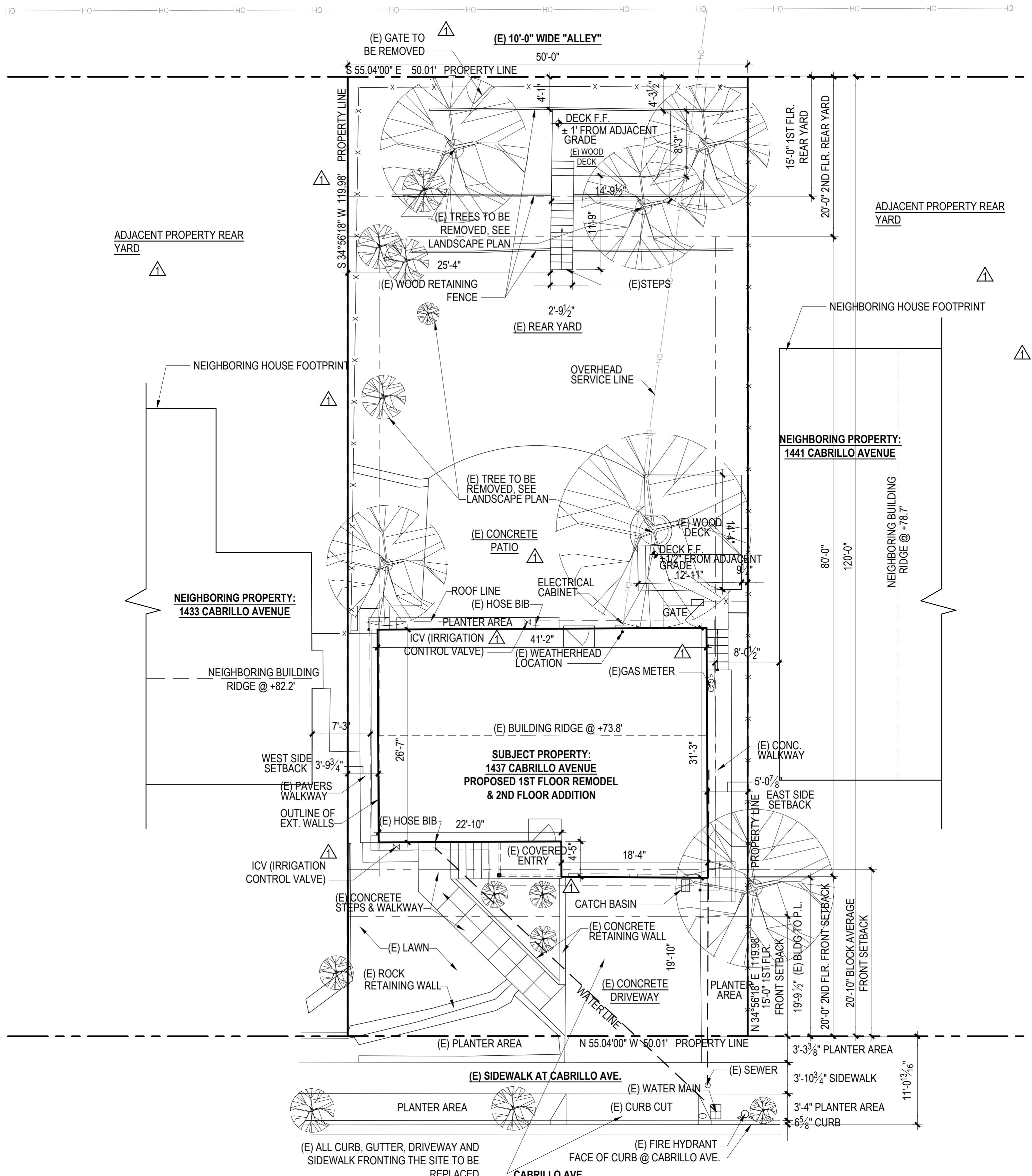
SCALE: **1/8" = 1'-0"**
NORTH

L-2
OF 2

PRINT DATE: 1-6-26

IMPERVIOUS AREA NOTE

IMPERVIOUS AREA IS 38%. SEE CALCULATION ON SHEET L2. IF IMPERVIOUS AREA EXCEEDS MORE THAN 60%, IT WILL TRIGGER A REASSESSMENT OF THE ANNUAL STORM DRAIN FEE FOR THE PARCEL



1437 CABRILLO ADDITION AND REMODEL

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

ISSUE: DATE
DESIGN REVIEW REV 1 11/11/20
DESIGN REVIEW REV 2 01/08/20

DATE: 09/29/23
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-0
SCALE: AS NOTED
SHEET TITLE:

EXISTING & PROPOSED SITE PLAN

SHEET NO.

A1.0

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ARCHITECT
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ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

**1437
CABRILLO
ADDITION AND
REMODEL**

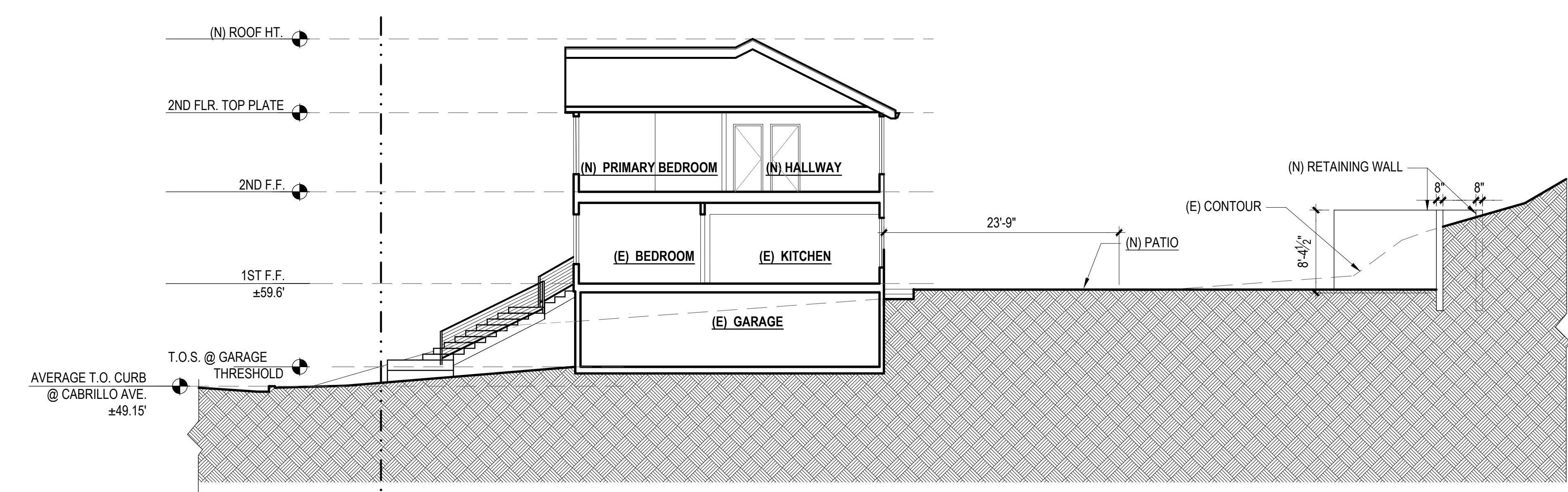
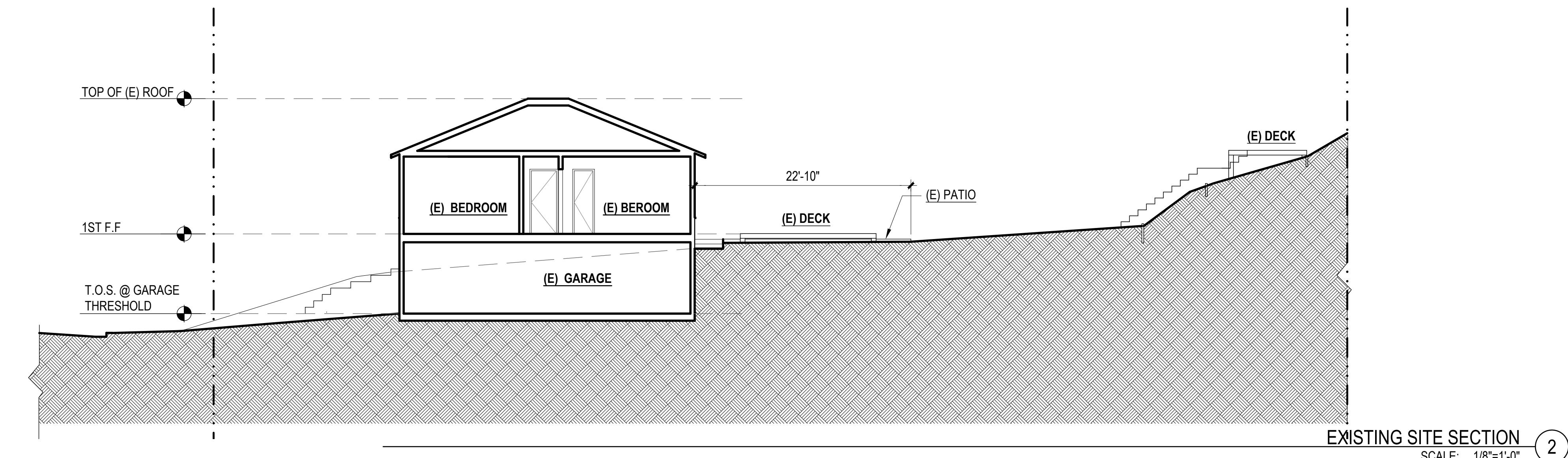
**1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090**

ISSUE: DATE:
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DESIGN REVIEW REV 2 01/08/26

DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE: EXISTING AND PROPOSED SITE SECTIONS

SHEET NO.

A1.1



**1437
CABRILLO
ADDITION AND
REMODEL**

**1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090**

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DATE: 09/29/25
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JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE:

**EXISTING /
DEMOLITION
FLOOR
PLANS**

SHEET NO.

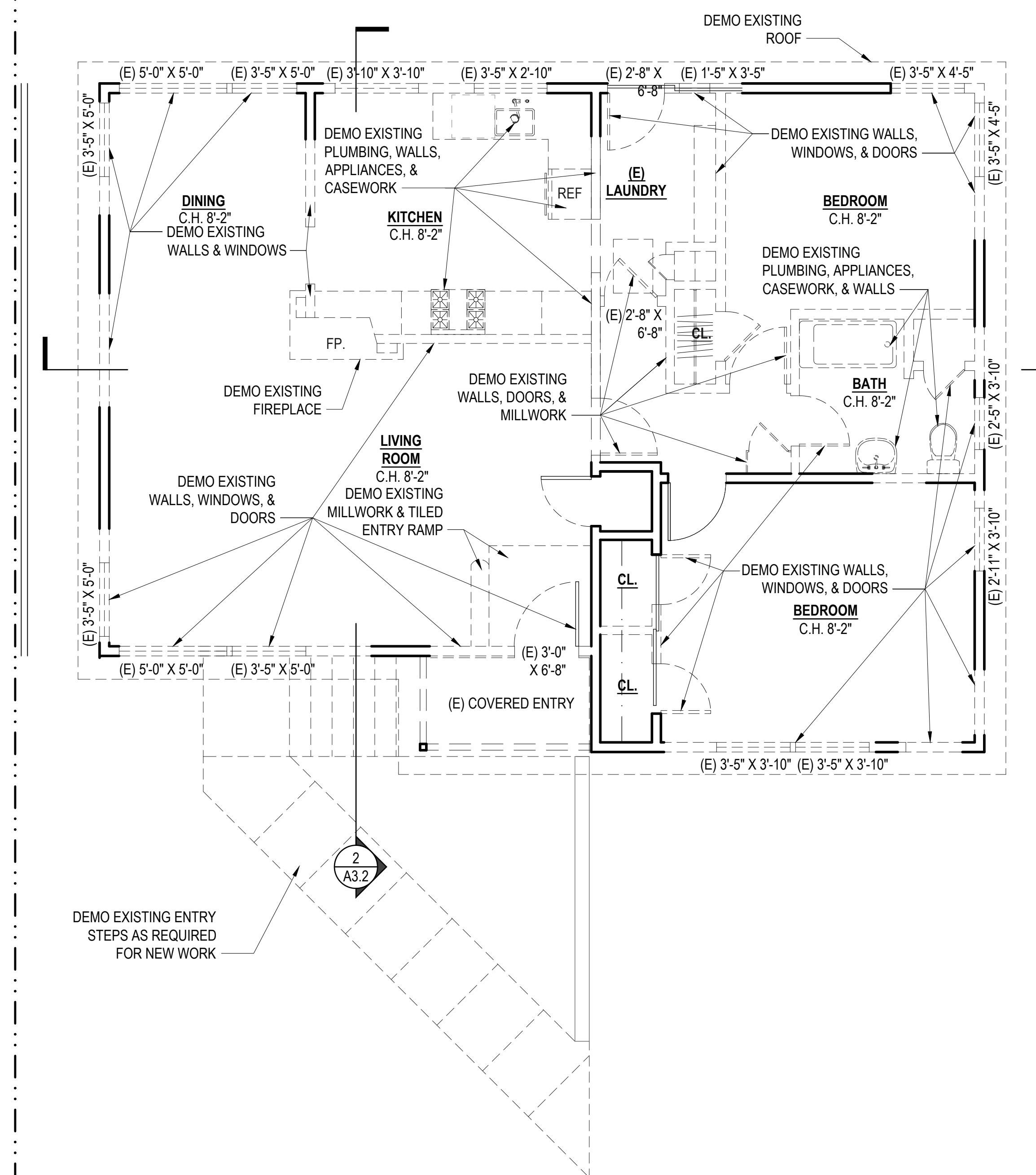
A1.2

WALL LEGEND

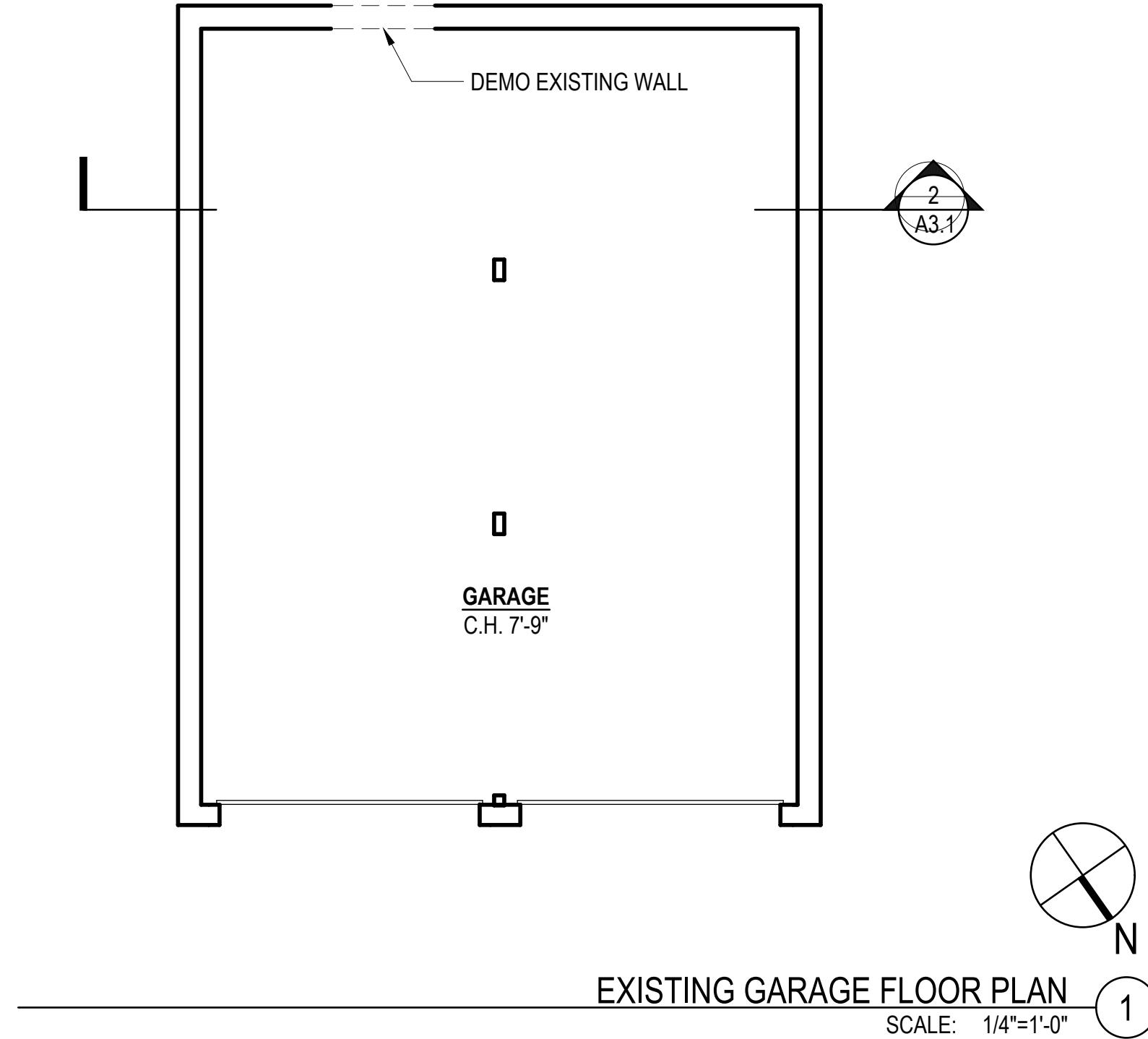
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	
AREA NOT IN SCOPE	

DEMOLITION CALCULATIONS

TOTAL FIRST FLOOR WALL PERIMETER = 144'
TOTAL FIRST FLOOR WALLS TO BE REMOVED = 94'
REMOVAL PERCENTAGE = 94/144' = 65.27%



EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0" 2



EXISTING GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0" 1

A1.2

WALL LEGEND

EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	
AREA <u>NOT</u> IN SCOPE	

1437 CABRILLO ADDITION AND REMODEL

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

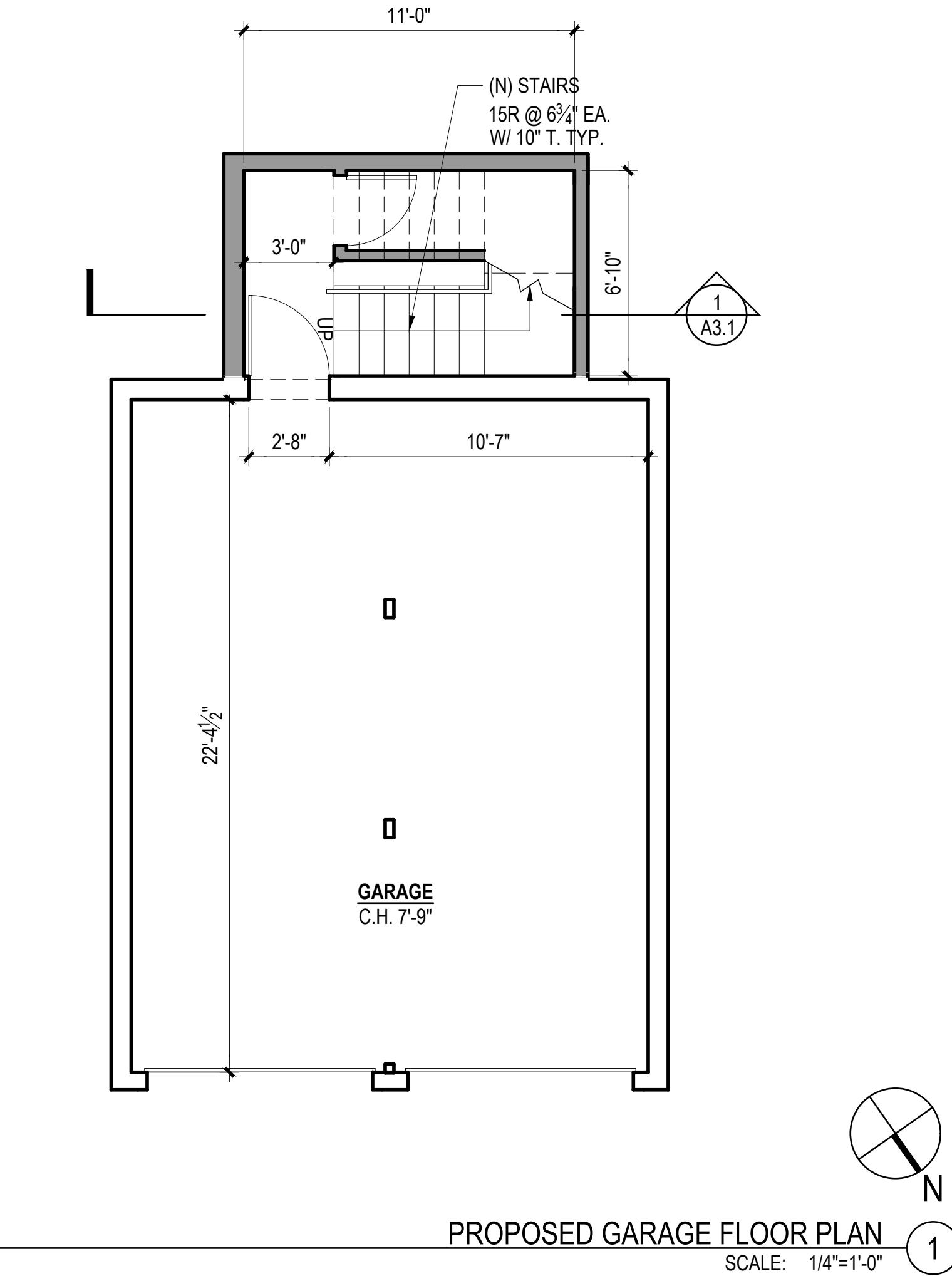
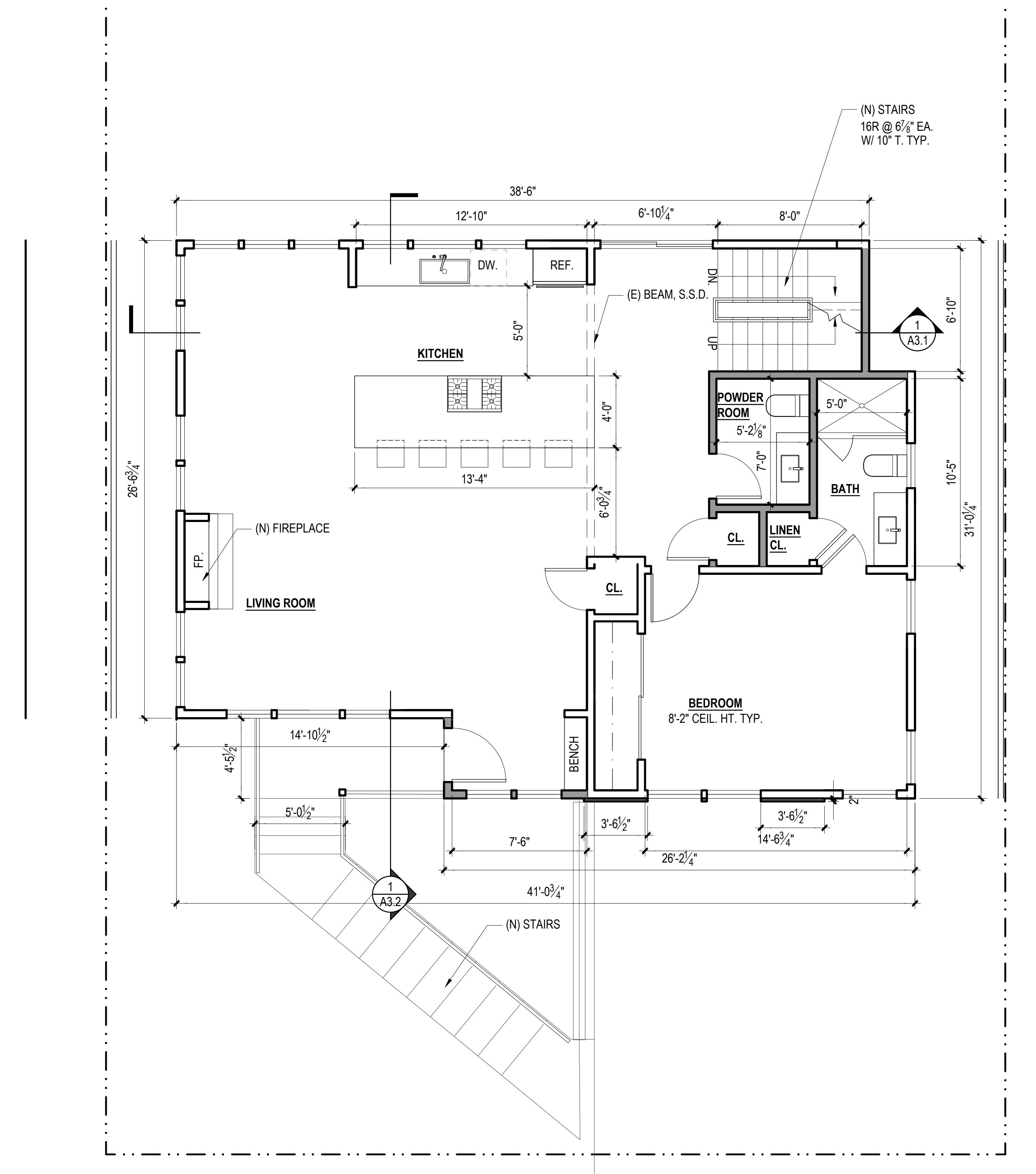
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DESIGN REVIEW REV 1 11/11/20
DESIGN REVIEW REV 2 01/08/20

DATE:	09/29/23
DRAWN BY:	MB/DC/PM
JOB NO:	25-RE-0
SCALE:	AS NOTED
SHEET TITLE:	

PROPOSED FLOOR PLANS

SHEET NO. _____

A1.3



PROPOSED GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"

419

A1.3

WALL LEGEND

EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	

1437 **CABRILLO ADDITION AND REMODEL**

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

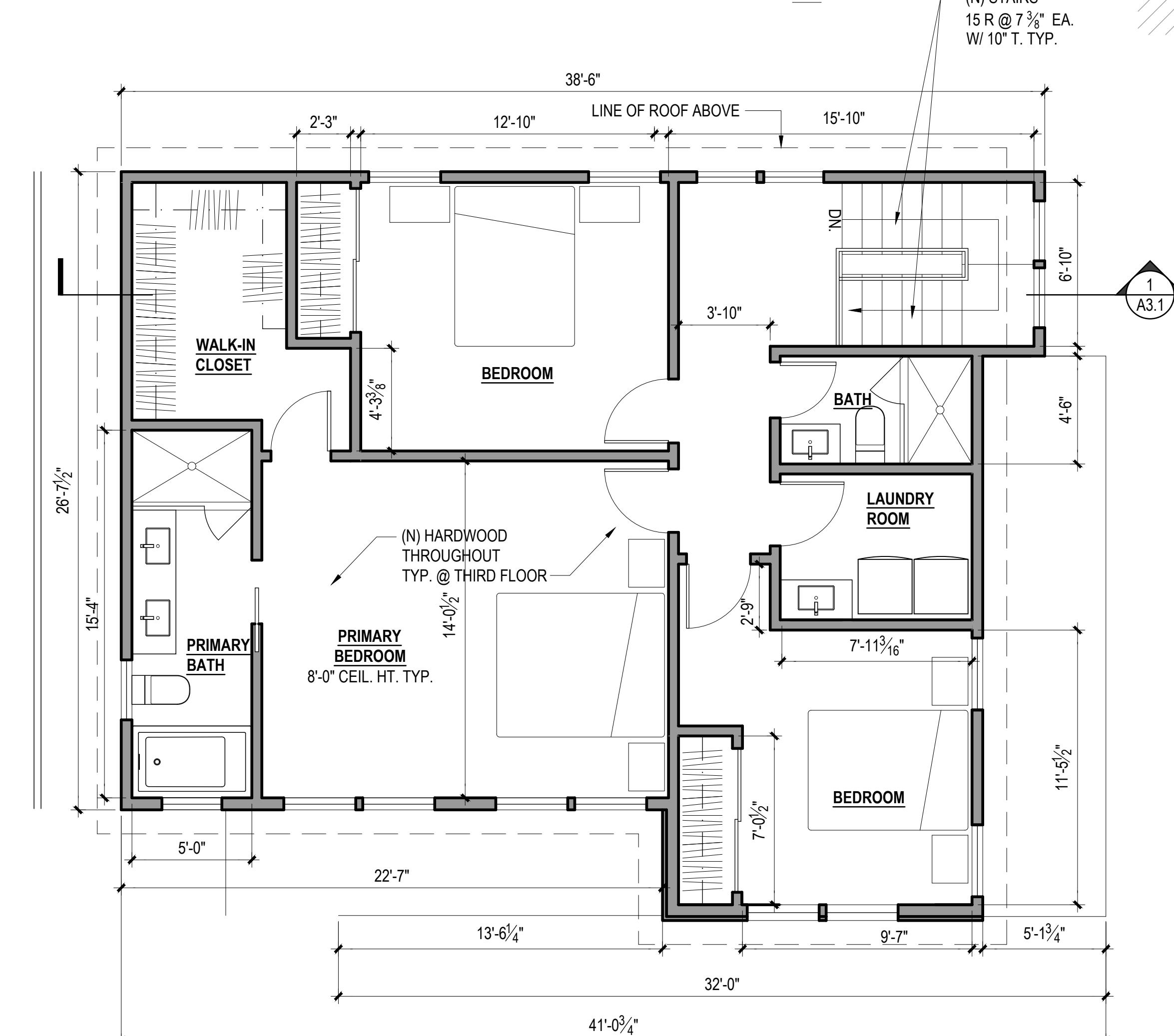
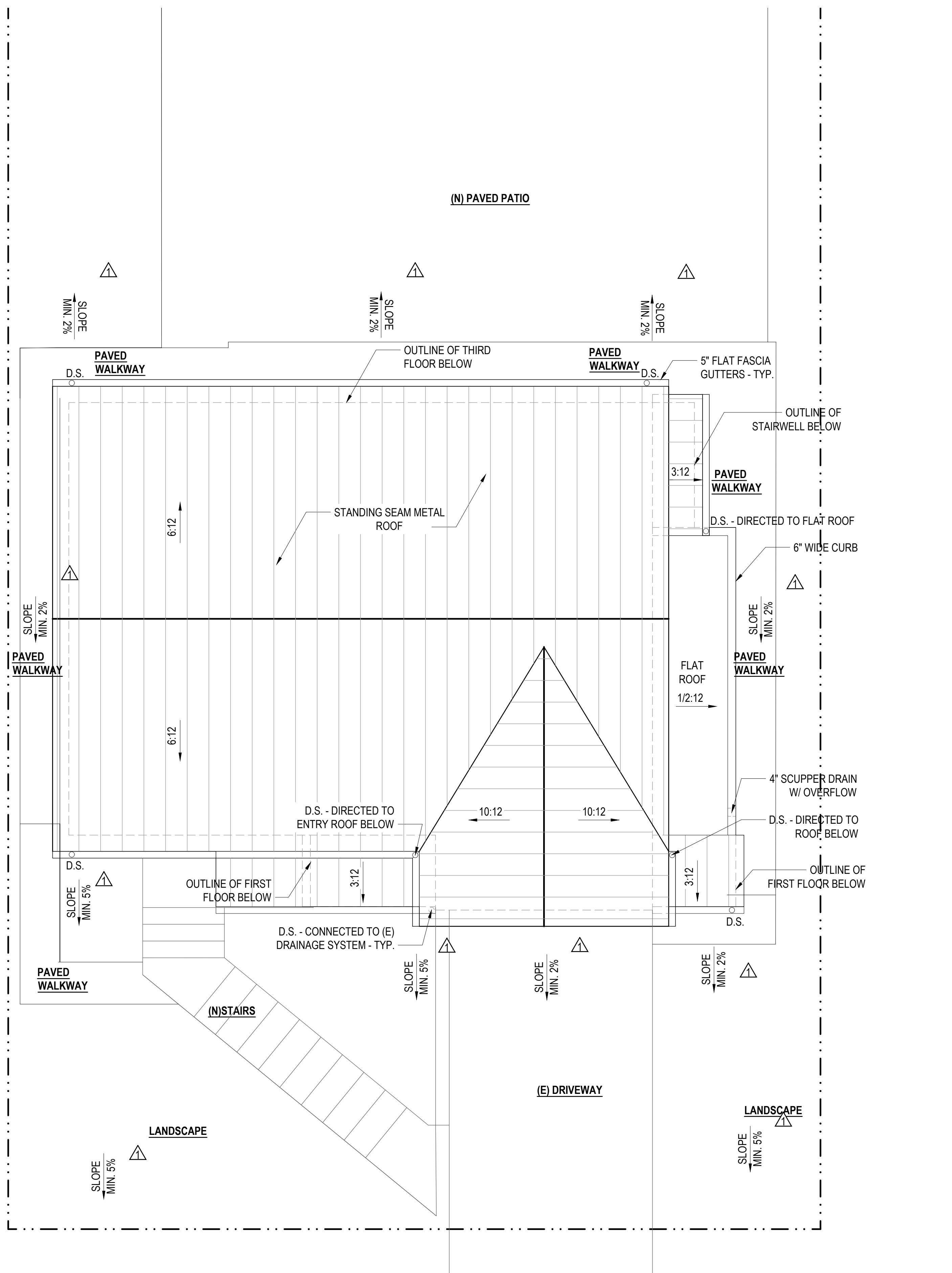
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DESIGN REVIEW REV 2 01/08/2013

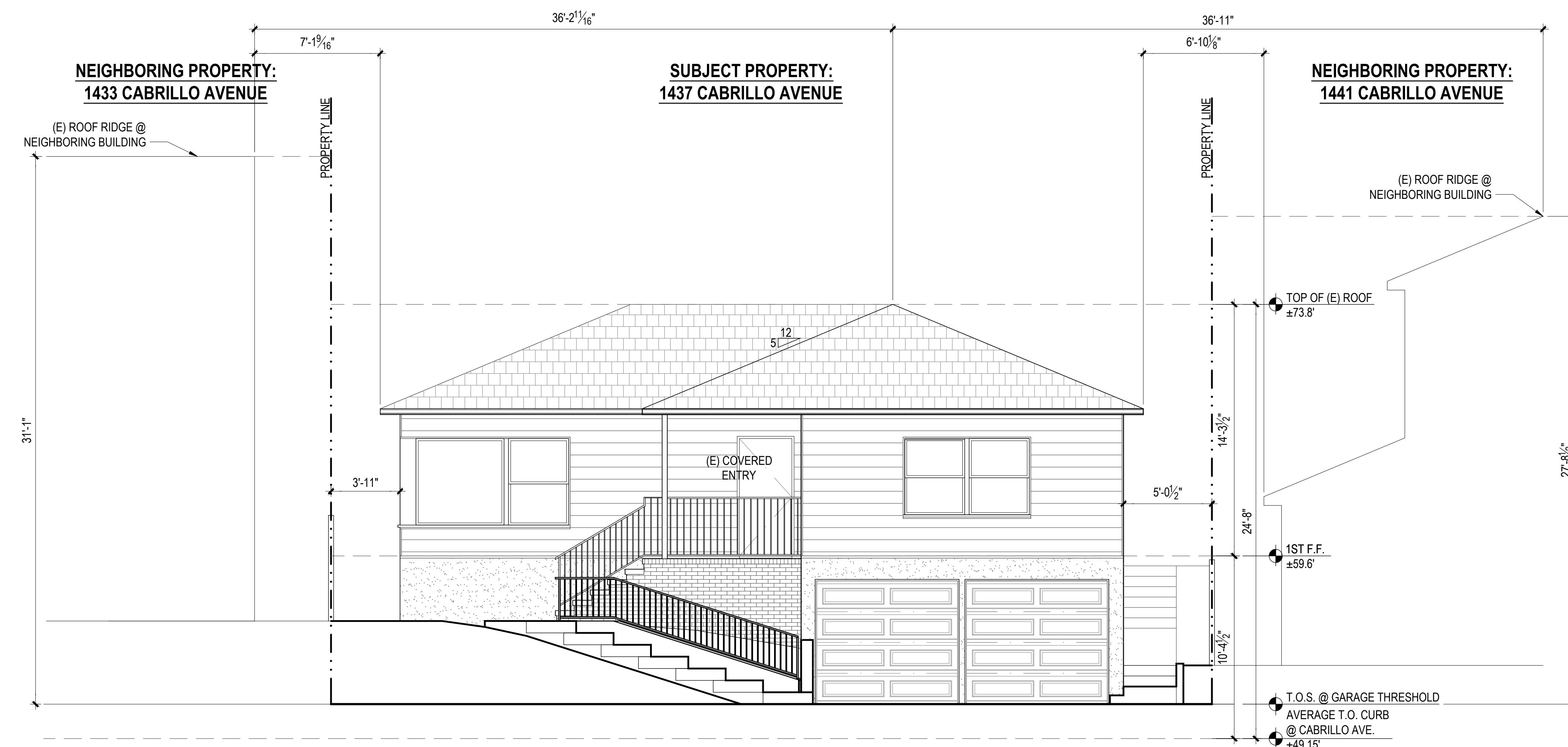
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DRAWN BY:	MB/DC/PM
OB NO:	25-RE-0
SCALE:	AS NOTED
SHEET TITLE:	

PROPOSED FLOOR AND ROOF PLANS

SHEET NO _____

A1.4





EXISTING FRONT (NORTH) ELEVATION 1

PROJECT DIRECTORY

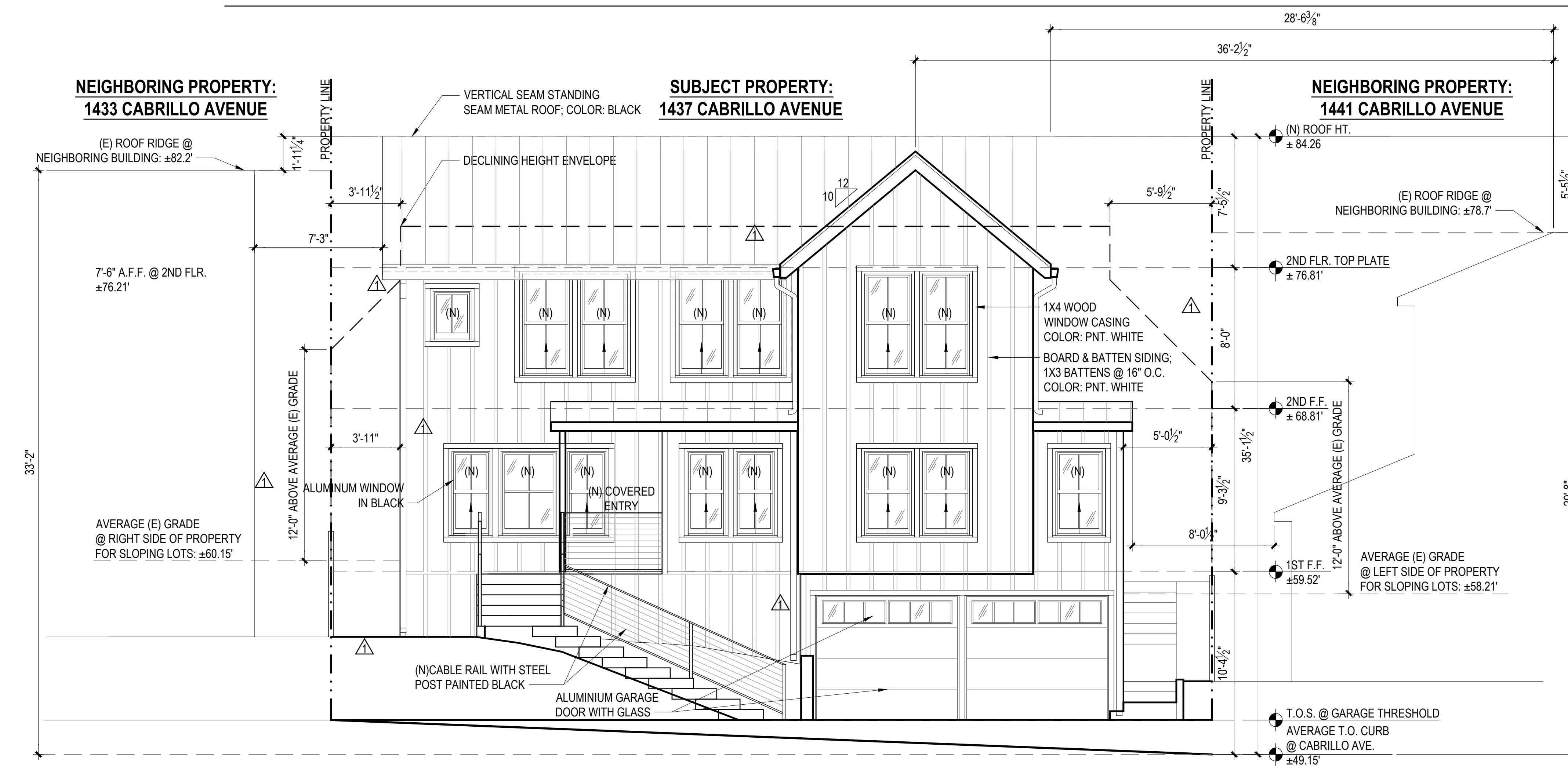
OWNER
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ARCHITECT
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ARCHITECTURE
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1437 CABRILLO ADDITION AND REMODEL

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

ISSUE: DATE:
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JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE:

EXISTING & PROPOSED FRONT (NORTH) ELEVATIONS

SHEET NO.

A2.1

PROPOSED FRONT (NORTH) ELEVATION 2

SCALE: 1/4"=1'-0"



PROJECT DIRECTORY

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**1437
CABRILLO
ADDITION AND
REMODEL**

1437 CABRILLO AVE
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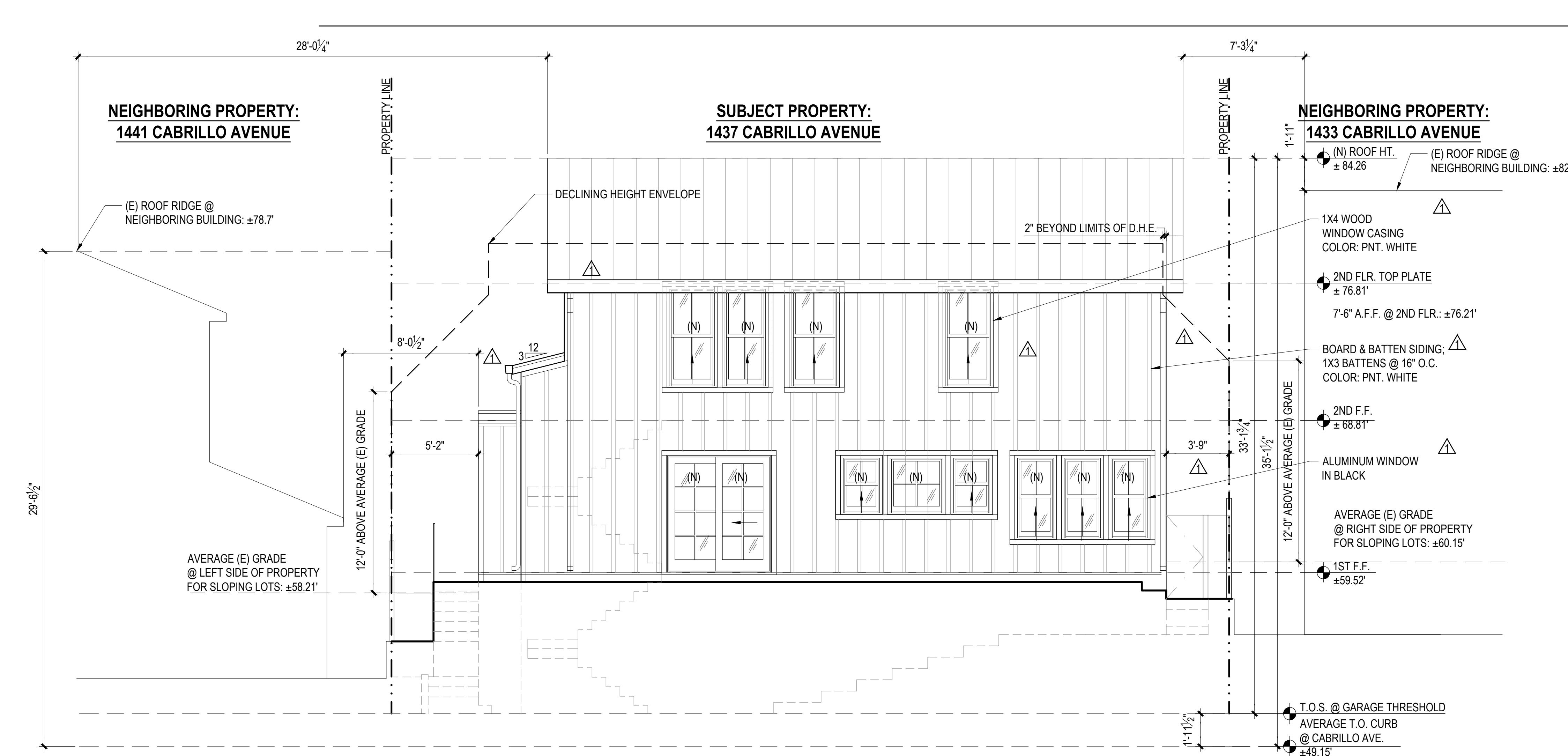
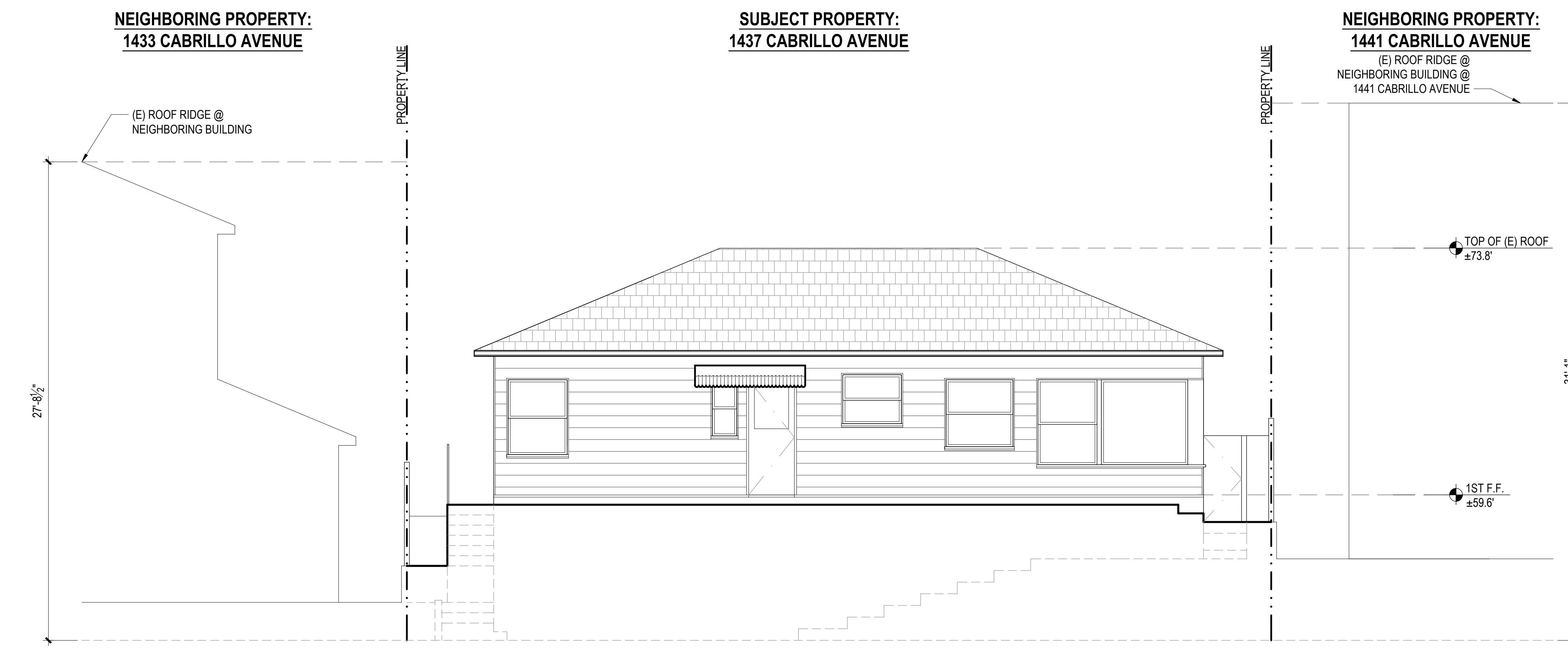
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DESIGN REVIEW REV 2 01/08/26

DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE:

**EXISTING &
PROPOSED
REAR
(SOUTH)
ELEVATIONS**

SHEET NO.

A2.2



PROJECT DIRECTORY

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**1437
CABRILLO
ADDITION AND
REMODEL**

**1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090**

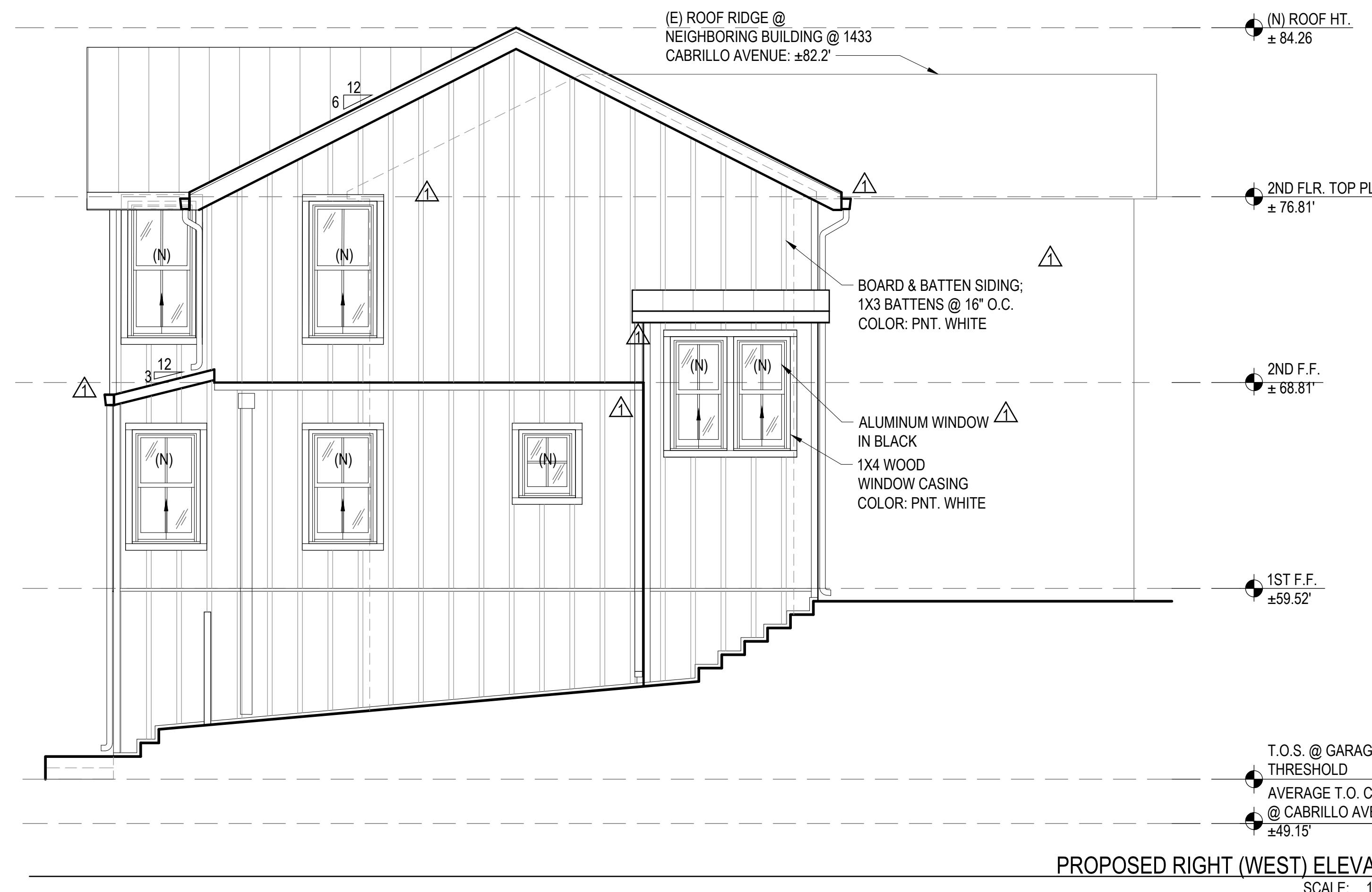
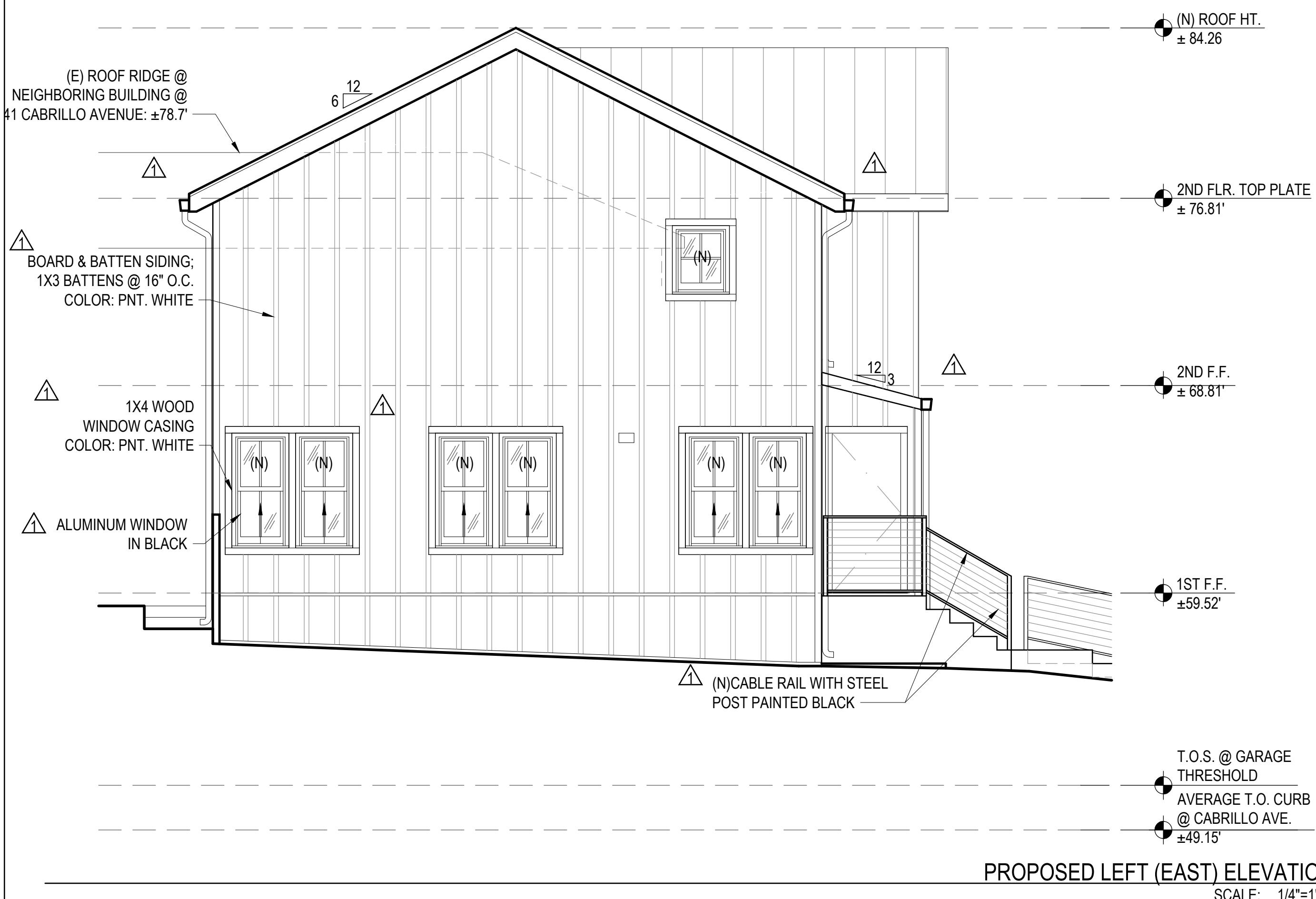
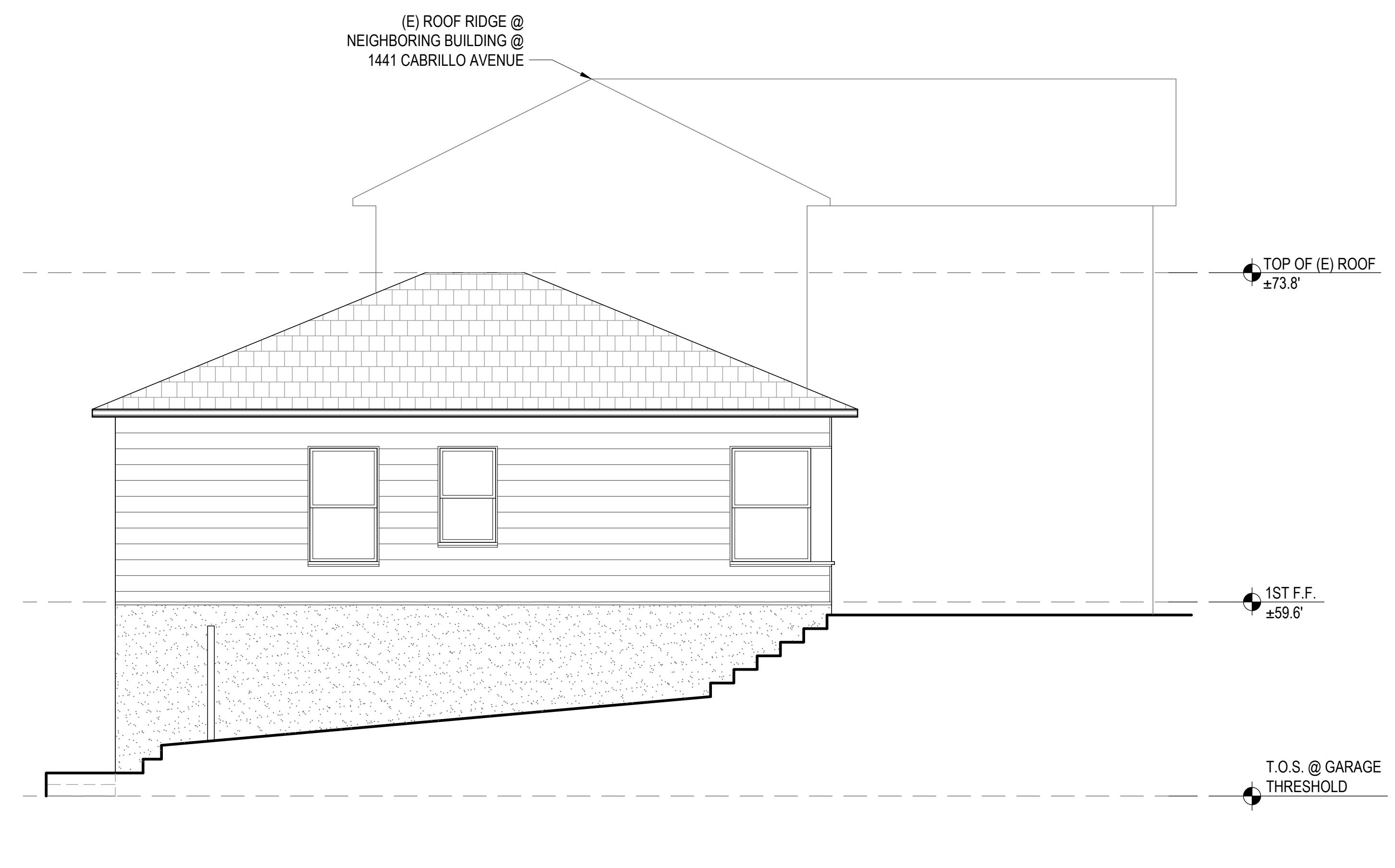
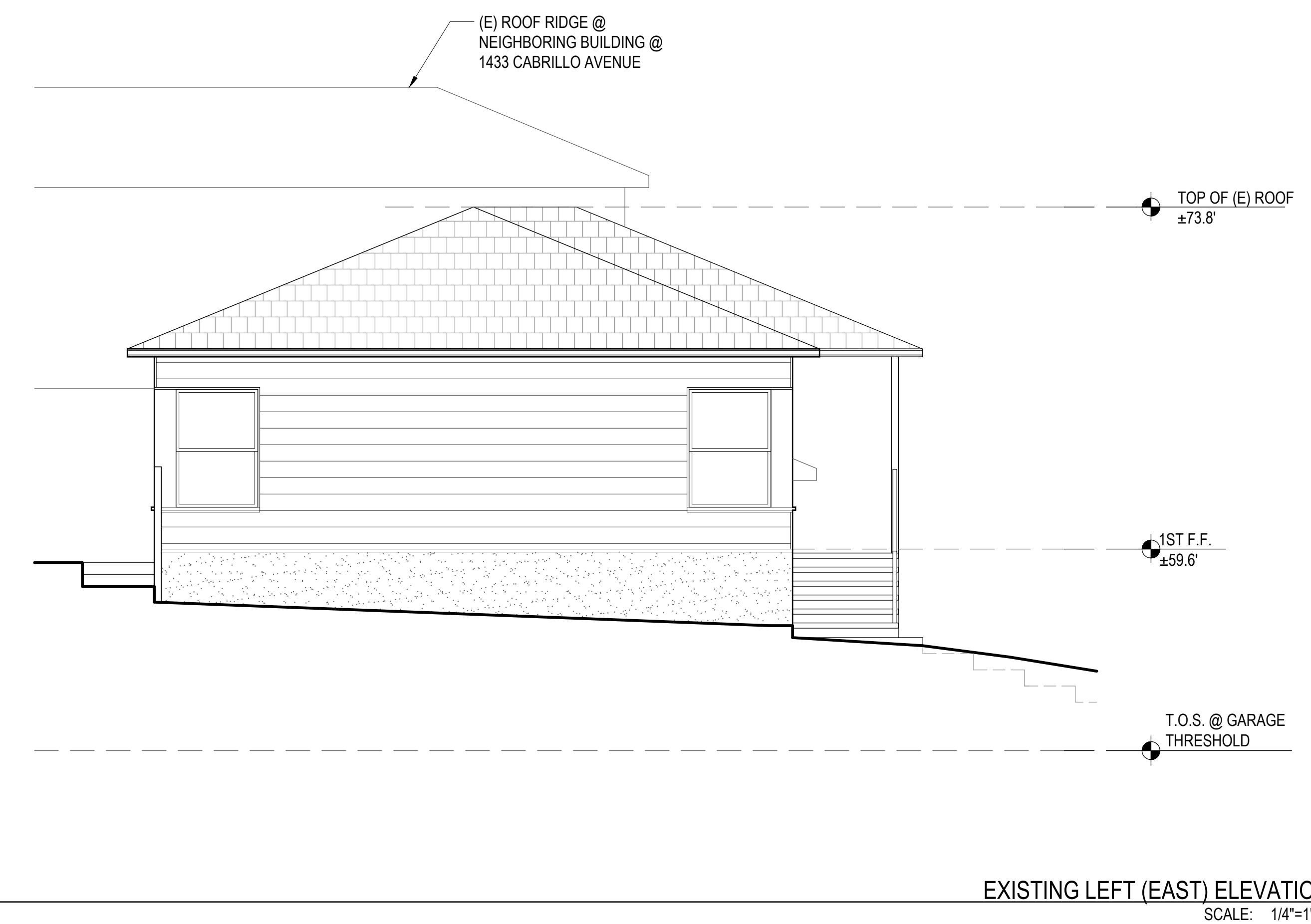
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DESIGN REVIEW REV 2 01/08/26

DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE:

**EXISTING &
PROPOSED
LEFT (EAST) &
RIGHT (WEST)
ELEVATIONS**

SHEET NO.

A2.3



PROJECT DIRECTORY

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**1437
CABRILLO
ADDITION AND
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1437 CABRILLO AVE
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SCALE: AS NOTED
SHEET TITLE:

**EXISTING &
PROPOSED
LONGITUDINAL
BUILDING
SECTIONS**

SHEET NO.

A3.1

**NEIGHBORING PROPERTY:
1433 CABRILLO AVENUE**

(E) ROOF RIDGE @
NEIGHBORING BUILDING

31'-1"

PROPERTY LINE

**SUBJECT PROPERTY:
1437 CABRILLO AVENUE**

(E) LIVING
ROOM

(E) BATH

(E) GARAGE

8'-2"

7'-10"

8'-5"

**NEIGHBORING PROPERTY:
1441 CABRILLO AVENUE**

(E) ROOF RIDGE @
NEIGHBORING BUILDING

TOP OF (E) ROOF

14'-3 3/8"

22'-8 3/8"

1ST F.F.

T.O.S. @ GARAGE THRESHOLD

27'-8 1/2"

EXISTING LONGITUDINAL BUILDING SECTION

SCALE: 1/4"=1'-0"

**NEIGHBORING PROPERTY:
1433 CABRILLO AVENUE**

(E) ROOF RIDGE @
NEIGHBORING BUILDING

31'-1"

PROPERTY LINE

**SUBJECT PROPERTY:
1437 CABRILLO AVENUE**

(N) WALK-IN
CLOSET

(N) CL.

(N) BEDROOM

(E) DINING

(E) KITCHEN

TRAP
PULL-OUT

DW

(N) STAIRS

8'-2"

8'-0 1/8"

7'-4 5/8"

7'-0"

6'-8"

(N) STAIRS

**NEIGHBORING PROPERTY:
1441 CABRILLO AVENUE**

(N) ROOF HT.

(E) ROOF RIDGE @
NEIGHBORING BUILDING

2ND FLR. TOP PLATE

33'-1 3/4"

2ND F.F.

1ST F.F.

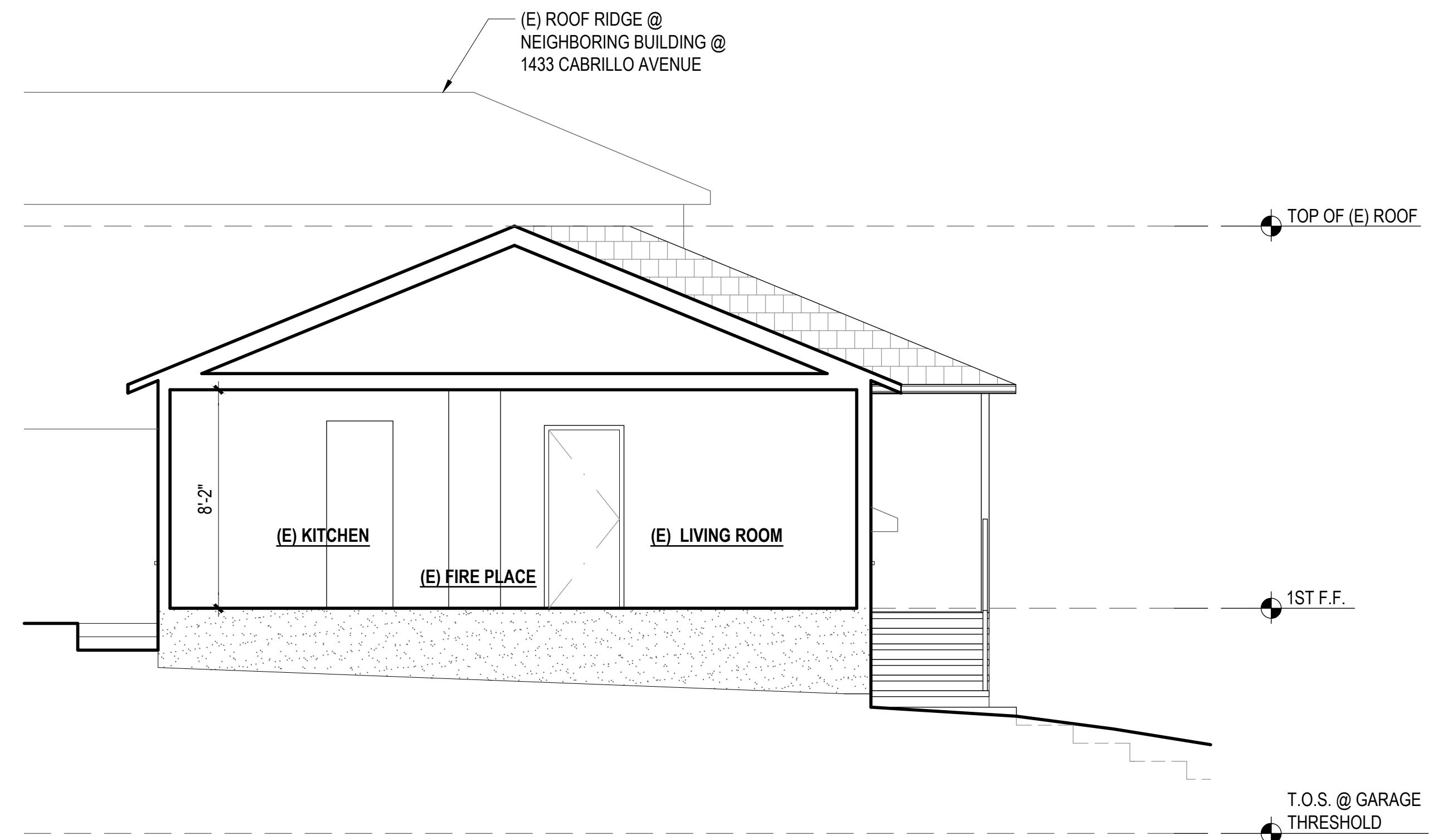
T.O.S. @ GARAGE THRESHOLD
AVERAGE T.O. CURB
@ CABRILLO AVE.
±49.15'

27'-8 1/2"

PROPOSED LONGITUDINAL BUILDING SECTION

SCALE: 1/4"=1'-0"

1



PROJECT DIRECTORY

OWNER
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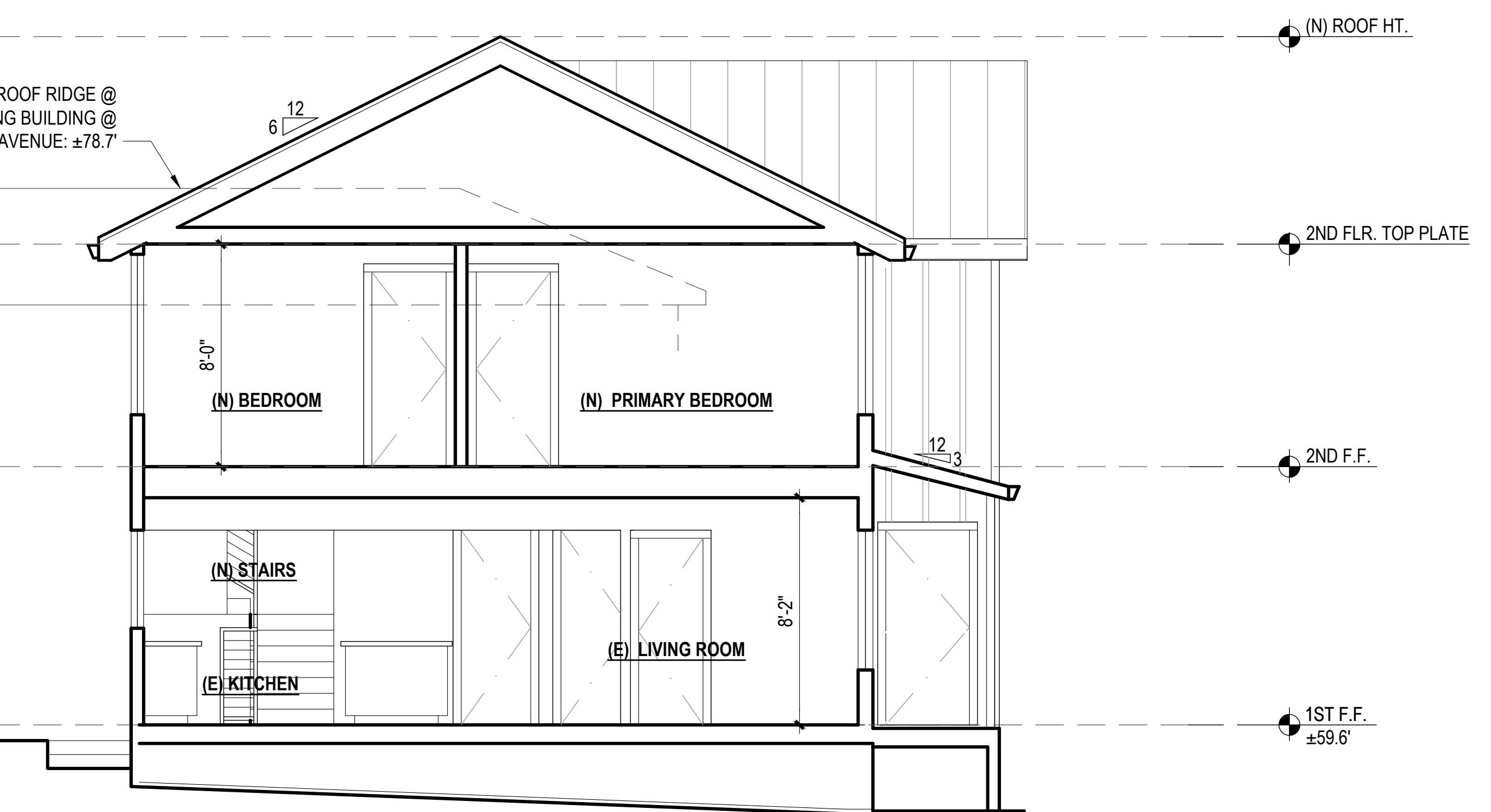
ARCHITECT
MARK BRAND
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744 HARRISON STREET
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**1437
CABRILLO
ADDITION AND
REMODEL**

**1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090**

ISSUE: 11/11/25
DATE: 11/11/25
DESIGN REVIEW REV 1
DESIGN REVIEW REV 2 01/08/26

EXISTING CROSS BUILDING SECTION
SCALE: 1/4"=1'-0"



DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED
SHEET TITLE:

**EXISTING &
PROPOSED
CROSS
BUILDING
SECTIONS**

SHEET NO.

A3.2

PROPOSED CROSS BUILDING SECTION
SCALE: 1/4"=1'-0"

T.O.S. @ GARAGE
THRESHOLD
AVERAGE T.O. CURB
@ CABRILLO AVE.
±49.15'