

1437 CABRILLO AVENUE

ADDITION & REMODEL

1437 CABRILLO AVENUE, BURLINGAME, CA 94010

PERMIT SUBMITTAL

GENERAL NOTES

1. DIMENSIONS ON DRAWINGS: DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

2. COORDINATION OF WORK: THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THEIR WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS AND REQUIRED CLEARANCES OF UTILITIES, APPLIANCES, AND OTHER ITEMS ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY ARCHITECT OF PROBLEMATIC CONDITIONS.

3. CONFLICTS IN DOCUMENTS: NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.

4. CUTTING AND PATCHING: WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.

5. TEMPORARY SHORING AND UNDERPINNING: IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF BOTH EXISTING AND NEW WORK AS REQUIRED TO STABILIZE THE WORK AND TO MINIMIZE RISK OF PROPERTY DAMAGE OR INJURY ON SITE OR TO ADJACENT PROPERTIES. SHORING AND UNDERPINNING WORK IS TO BE PERFORMED UNDER SEPARATE PERMIT OBTAINED BY THE GENERAL CONTRACTOR.

6. AGENCY, INSPECTIONS, AND UTILITY COORDINATION: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER, THE OWNER AND THE ARCHITECT.

7. SPECIAL INSPECTIONS AND TESTING: IF REQUIRED BY THE GOVERNING AGENCIES, THE OWNER IS TO PROVIDE REQUIRED SPECIAL INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE ARCHITECT, STRUCTURAL ENGINEER AND OWNER A MINIMUM FIVE DAY NOTIFICATION ONCE THE WORK IS READY FOR INSPECTION. KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION.

8. SITE UTILITIES: THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPGRADES ARE REQUIRED TO MEET THE THE REQUIREMENTS OF THE CODE. VERIFY THE EXISTING ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

9. PROTECTION OF PROPERTY: PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AND ARCHITECT AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES, RESTORE TO PREVIOUS EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER. DURING CONSTRUCTION COVER ANY DUCT OPENINGS.

10. OWNER'S PROPERTY: IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK, COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE WORK.

11. TEMPORARY BARRIERS: PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREAS AND NEW WORK COMPLETED FROM DISTURBANCE. DUST, DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO COST TO THE OWNER.

12. DEBRIS REMOVAL: MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS. LEAVE THE JOB SITE CLEAN AND SECURE AT THE END OF EACH WORKING DAY.

13. FINAL CLEANING: THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE BUILDING INTERIOR, EXTERIOR AND SITE. WIPE DOWN AND DUST ALL SURFACES, VACUUM OR MOP ALL FLOORS, WASH AND POLISH GLASS, REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE ALL DEBRIS AND TRASH.

14. WARRANTIES: ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTURERS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT WARRANTIES, USER MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK.

15. DOORS AND WINDOWS: THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND WINDOW COORDINATION:

A.) REVIEW ALL ROUGH OPENING SIZES AND LOCATIONS WITH ARCHITECT AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN OPENINGS SHOWN ON THE ARCHITECTURAL DRAWINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTURAL DRAWINGS.

B.) AT COMPLETION OF ROUGH FRAMING, REVIEW OPENINGS WITH ARCHITECT AND WINDOW SUPPLIER. SUBMIT COPY OF WINDOW ORDER TO ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH ORDER.

C.) VERIFY WITH SUPPLIER THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE. PROVIDE FIRE RATINGS AND TEMPERED GLAZING AS REQUIRED BY THE DRAWINGS OR AS SET FORTH IN THE BUILDING CODE.

D.) COORDINATE INSTALLATION OF ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.

16. MECHANICAL: THE CONTRACTOR IS TO PROVIDE DESIGN-BUILD SERVICES FOR THE PLUMBING AND MECHANICAL SCOPE OUTLINED IN THE DRAWINGS. COMPLY WITH ALL APPLICABLE CODES AND TITLE 24 ENERGY COMPLIANCE. SECURE AND PAY FOR ALL REQUIRED PERMITS. REVIEW DRAWINGS AND COORDINATE PATHWAYS SUCH THAT THEY ARE HIDDEN FROM VIEW. IF PATHWAYS CANNOT BE CONCEALED WITHIN THE WALLS, SOFFITS AND CEILING PROFILES AS SHOWN ON THE DRAWINGS, COORDINATE ALTERNATE LOCATIONS WITH ARCHITECT ON SITE PRIOR TO PROCEEDING WITH THE WORK.

ABBREVIATIONS

@	AT	ELEC.	ELECTRICAL	INSUL.	INSULATION	R.W.L.	RAIN WATER LEADER
&	AND	ELEV.	ELEVATION	INT.	INTERIOR	S.	SOUTH
A.B.	ANCHOR BOLT	EQ.	EQUAL	JST.	JOIST	S.C.	SOLID CORE
A.D.	AREA DRAIN	(ER)	EXISTING TO BE REMOVED	LAM.	LAMINATE	SIM.	SIMILAR
ADJ.	ADJACENT	EXT.	EXTERIOR	LIN.	LINEN	S.L.D.	SEE LANDSCAPE DWGS.
A.F.F.	ABOVE FINISH FLOOR	F.A.U.	FORCED AIR UNIT	L.P.	LOW POINT	S.T.D.	SLOPE TO DRAIN
A.F.G.	ABOVE FINISH GRADE	FDN.	FOUNDATION	MAX.	MAXIMUM	STO.	STORAGE
ALUM.	ALUMINUM	F.D.	FLOOR DRAIN	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
BM.	BEAM	F.F.	FINISH FLOOR	MET.	METAL	S.S.D.	SEE STRUCTURAL DWGS.
B.O.B.	BOTTOM OF BEAM	FL.	FLOOR	MIN.	MINIMUM	STL.	STEEL
BLK.	BLOCKING	F.O.C.	FACE OF CONCRETE	#	NUMBER	T.	TREAD(S)
CAB.	CABINET	F.O.F.	FACE OF FINISH	N.	NORTH	T.M.E.	TO MATCH EXISTING
CARP.	CARPET	F.O.S.	FACE OF STUD	(N)	NEW	THLD.	THRESHOLD
C.H.	CEILING HEIGHT	F.O.W.	FACE OF FINISH WALL	O.C.	ON CENTER	TEMP.	TEMPERED
CL.	CEILING	F.P.	FIRE PLACE	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	T.O.D.	TOP OF DECK
CEM.	CEMENT	FIN.	FINISH	OPNG.	OPENING	T.O.G.	TOP OF GUARD
C.J.	CONTROL JOINT	FTG.	FOOTING	+/-	PLUS OR MINUS	T.O.S.	TOP OF SLAB
CONC.	CONCRETE	GALV.	GALVANIZED	PLAS.	PLASTER	T.O.W.	TOP OF WALL
COL.	COLUMN	G.C.	GENERAL CONTRACTOR	PLY.	PLYWOOD	TYP.	TYPICAL
C.M.U.	CONCRETE MASONRY UNIT	GL.	GLASS	PNT.	PAINT	U.O.N.	UNLESS OTHERWISE NOTED
D	DISPOSAL	G.L.B.	GLUE-LAM BEAM	P.T.	PRESSURE TREATED	V.B.	VAPOR BARRIER
DBL.	DOUBLE	GR.	GRADE	R.	RISER(S)	V.I.F.	VERIFY IN FIELD
DET.	DETAIL	G.S.M.	GALVANIZED SHEET METAL	R/A	RETURN AIR	W.	WEST
DN	DOWN	GYP. BD.	GYPSPUM BOARD	R.D.	ROOF DRAIN	W/	WITH
D.S.	DOWN SPOUT	H.B.	HOSE BIB	(RE)	RE-USE EXISTING	WD.	WOOD
D.W.	DISH WASHER	HDR.	HEADER	REF.	REFRIGERATOR	WD	WASHER / DRYER
DWG(S).	DRAWING(S)	H.P.	HIGH POINT	(RES)	RE-USE EXISTING SWITCH FOR NEW LIGHT(S)	W.H.	WATER HEATER
E.	EAST	HRD.WD.	HARD WOOD	R.D.	ROOF DRAIN	W.W.M.	WELDED WIRE MESH
(E)	EXISTING	HT.	HEIGHT	RM.	ROOM		
EA.	EACH	HTR.	HEATER				
E.J.	EXPANSION JOINT	INFO.	INFORMATION				

PROJECT DATA

PROJECT NAME	1437 CABRILLO AVENUE
PROJECT DESCRIPTION	SCOPE DESCRIPTION REMODEL EXISTING FIRST FLOOR. ADD SECOND FLOOR: RELOCATE FIRST FLOOR BEDROOM TO SECOND FLOOR; ADD TWO BEDROOMS, TWO FULL BATH, AND ONE POWDER ROOM; NEW WINDOWS; NEW EXTERIOR SIDING AND ROOF. ADD CONDITIONED STAIRWELL ACCESS FROM EXISTING UNCONDITIONED GARAGE TO UPPER LEVELS
PROJECT ADDRESS	1437 CABRILLO AVENUE, BURLINGAME, CA 94010
BLOCK / LOT	47 / 11
APN	026-042-090
ZONING	R1
OCCUPANCY CLASS	R-3
CONSTRUCTION TYPE	V-B
GOVERNING CODES	ALL WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING: 2022 CALIFORNIA BUILDING CODE W/ LOCAL AMENDMENTS 2022 CALIFORNIA ELECTRICAL CODE W/ LOCAL AMENDMENTS 2022 CALIFORNIA MECHANICAL CODE W/ LOCAL AMENDMENTS 2022 CALIFORNIA PLUMBING CODE W/ LOCAL AMENDMENTS 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE W/ S.F. AMEND. 2022 CALIFORNIA RESIDENTIAL CODE
LOT AREA	6,000 SQ FT
BUILDING AREA (GROSS FLOOR AREA - INCLUDING EXTERIOR WALLS)	
	EXISTING PROPOSED CHANGE
	(SQ. FT.) (SQ. FT.) (SQ. FT.)
GARAGE (UNCONDITIONED)	438 527 +89
1ST FLR. (CONDITIONED)	1,172 1,190 +18
2ND FLR. (CONDITIONED)	0 1,038 +1,038
TOTAL BLDG. FLR. AREA (UNCOND.)	438 527 +89
TOTAL BLDG. FLR. AREA (CONDITIONED)	1,172 2,228 +1,056
BUILDING FOOTPRINT	1,172 1,190 +18

DRAWING INDEX

ARCHITECTURAL

A0.0 - COVER PAGE, PROJECT INFORMATION, & GENERAL NOTES

A0.1 - RENDERINGS

A0.2 - CONSTRUCTION BEST MANAGEMENT PRACTICES

TOPOGRAPHIC SURVEY

L1 - LANDSCAPE PLAN

L2 - IRRIGATION PLAN

A1.0 - EXISTING & PROPOSED SITE PLANS

A1.1 - EXISTING AND PROPOSED SITE SECTIONS

A1.2 - EXISTING FLOOR PLANS

A1.3 - PROPOSED FLOOR PLANS

A1.4 - PROPOSED FLOOR PLAN AND ROOF PLAN

A2.1 - EXISTING & PROPOSED FRONT (NORTH) ELEVATION

A2.2 - EXISTING & PROPOSED REAR (SOUTH) ELEVATION

A2.3 - EXISTING & PROPOSED SIDE (WEST & EAST) ELEVATIONS

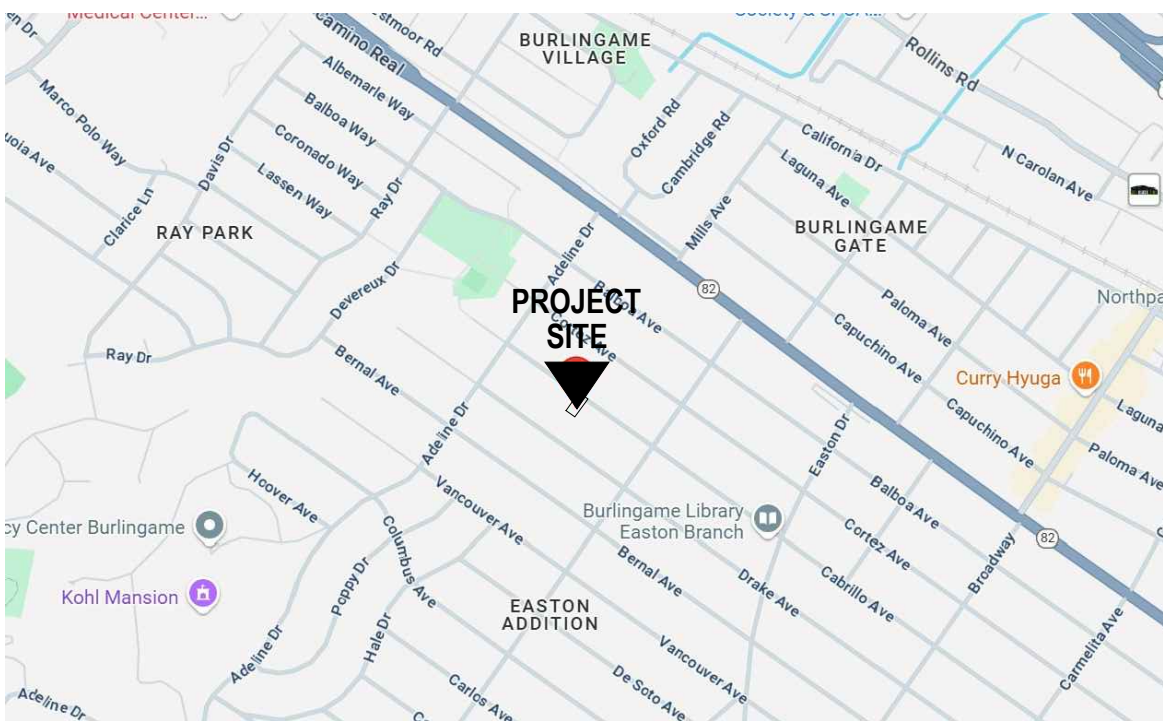
A3.1 - EXISTING & PROPOSED LONGITUDINAL SECTIONS

A3.2 - EXISTING & PROPOSED CROSS SECTIONS

PROJECT DIRECTORY

OWNER	KIERAN J. WOODS
ADDRESS:	1437 CABRILLO AVENUE BURLINGAME, CA 94010 415.740.0335
PHONE:	
ARCHITECT	MARK BRAND ARCHITECTURE
ADDRESS:	744 HARRISON STREET SAN FRANCISCO, CA 94107 415.543.7300
PHONE:	415.543.7300
CONTACT:	MARK BRAND, AIA
EMAIL:	mark@markbrandarchitecture.com

VICINITY MAP



DRAWING LEGEND

NOTE: NOT ALL SYMBOLS OCCUR IN DRAWING SET

WALL TYPE	99	BLDG. SECTION REF.	2 A3.1
DOOR TYPE	01	DETAIL TAG	2 A3.1
WINDOW TYPE	A	EXT. ELEVATION REF.	2 A3.1
FINISH TYPE	material finish WW 99	INT. ELEVATION REF.	A A4.1
ELEVATION DATUM		COLUMN GRIDLINE	99
REVISION			

WALL LEGEND

EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	
AREA NOT IN SCOPE	

FIRE NOTE

FIRE SPRINKLER TO BE A DEFERRED SUBMITTAL

NOTES

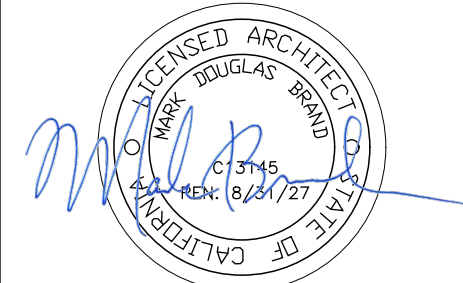
THERE WILL WILL BE NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOX, ETC) PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.

RECEIVED

January 8, 2026

City of Burlingame
CDD-Planning DIV

mark
brand
architecture
744 HARRISON STREET
SAN FRANCISCO, CA 94107



PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

1437 CABRILLO ADDITION AND REMODEL

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

ISSUE: DATE:
DESIGN REVIEW REV 1 11/11/25
DESIGN REVIEW REV 2 01/08/26

DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED

COVER PAGE, PROJECT INFORMATION & GENERAL NOTES

SHEET NO.

A0.0



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OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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RENDERINGS

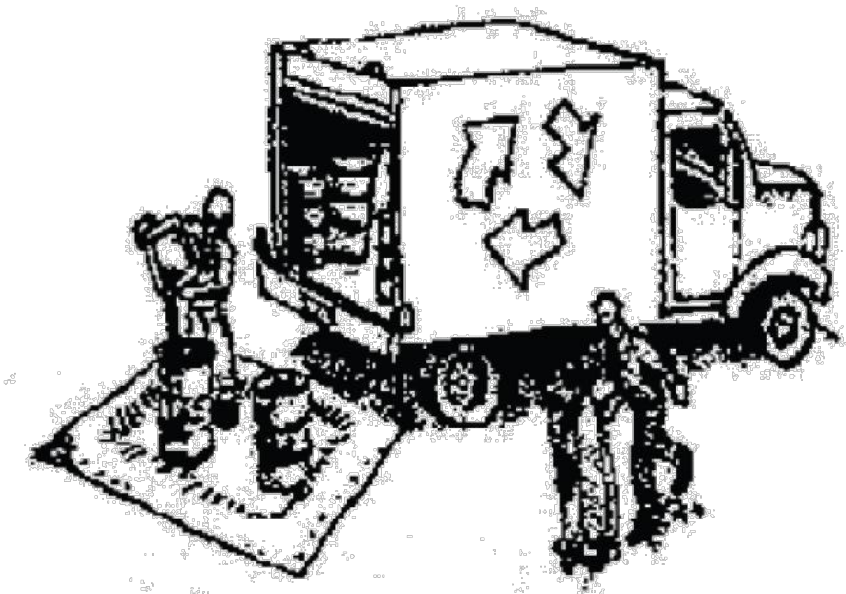
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A0.1

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



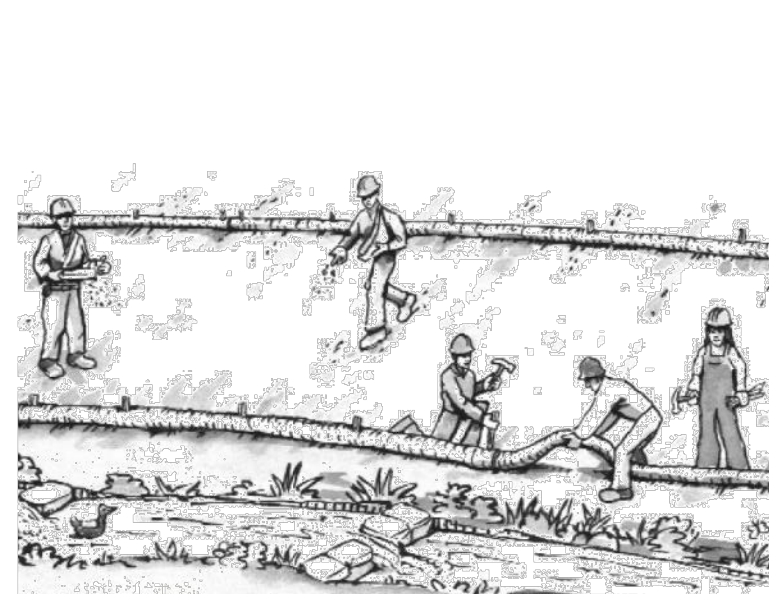
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

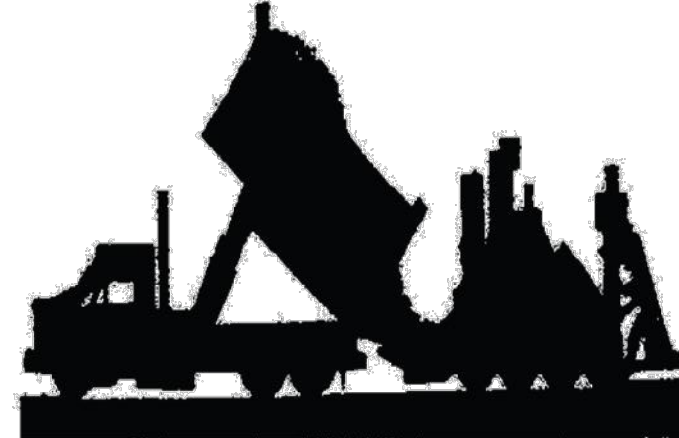


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

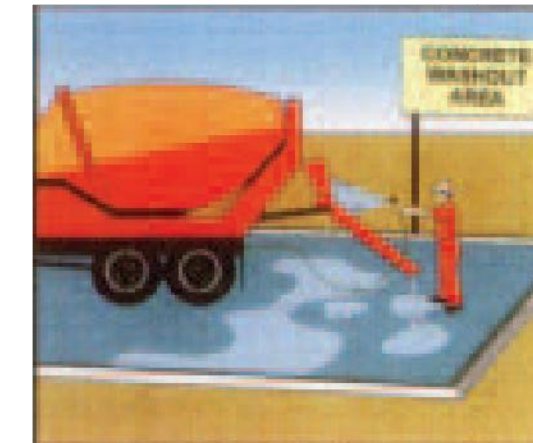


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



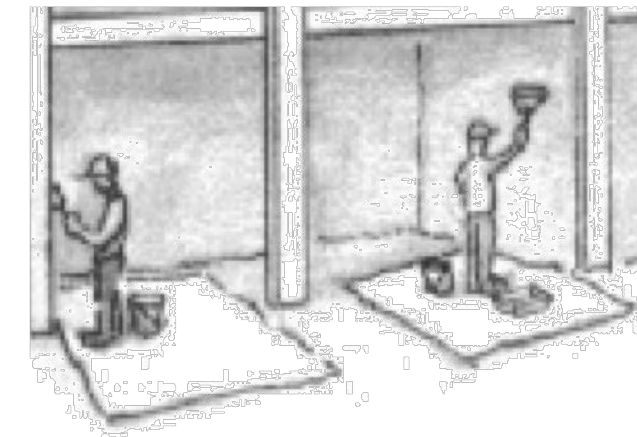
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

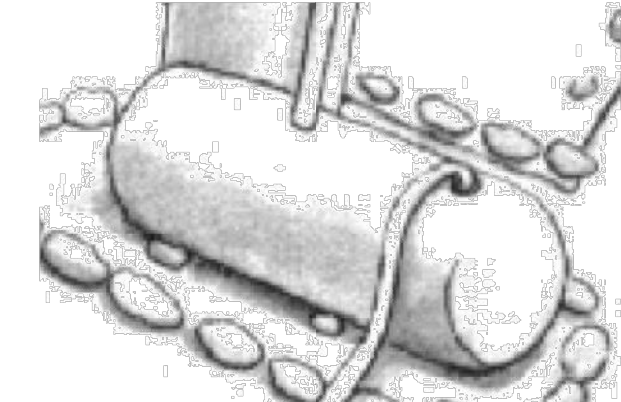
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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SHEET NO.

A0.2

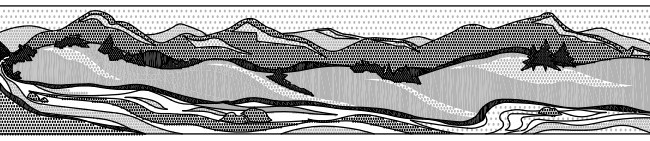
TOPOGRAPHIC SURVEY

LANDS OF WOODS
LOT 11, BLOCK 47
EASTON ADDITION TO BURLINGAME NO. 4
(4-M-57)
1437 CABRILLO AVENUE

CITY OF BURLINGAME SAN MATEO COUNTY CALIFORNIA

SCALE: 1" = 8'

JUNE 2025



QUIET RIVER

Land Services Inc.

11501 Dublin Boulevard, Suite 200
Dublin, CA 94568
(925) 734-6788 Phone

BASIS OF BEARINGS

CORNER RECORD MAP NO 2483 FILED MAY 4, 2016 IN THE RECORDS OF SAN MATEO COUNTY, AND TWO MONUMENTS FOUND AS SHOWN.

BASIS OF ELEVATION

THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A IGA173 RECEIVER AND POST-PROCESS USING THE CORS NETWORK. ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

PROPERTY BOUNDARY NOTE

THIS IS NOT A PROPERTY BOUNDARY SURVEY THIS MAP REFLECTS A TOPOGRAPHIC SURVEY OF THE SUBJECT PARCEL. PROPERTY MONUMENTS WERE NOT REQUESTED AND NONE WERE SET. THE PROPERTY BOUNDARY LINE AND PARCEL AREA DATA AS SHOWN HEREON IS FOR INITIAL PLANNING PURPOSES ONLY AND ARE NOT FINAL, AS PER AGREEMENT. THE LINES AS SHOWN REFLECT RECORD INFORMATION AND AVAILABLE DATA FOR THE SUBJECT PARCEL AND RIGHT-OF-WAY LINES.

NOTES

- NO TITLE REPORTS WERE SUPPLIED FOR THIS PROJECT AND ONLY LIMITED PROPERTY/DEED RESEARCH WAS DONE, CONSEQUENTLY EASEMENTS OF RECORD, IF ANY, AND ANY RECENT CHANGES IN LAND PARCEL BOUNDARIES WILL NOT BE REFLECTED HEREON. UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- DATE OF FIELD SURVEY: JUNE 11, 2025
- PROJECT BENCHMARK: VARIOUS CONTROL POINTS SET WITHIN SUBJECT PARCEL SHOWN AS "CP-XX" ALL ELEVATIONS SHOWN ARE AMSL (NAVD88).
- CONTOURS SHOWN HEREON ARE AT ONE FOOT (1.0') INTERVALS.

SURVEYOR'S STATEMENT

I, KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN, ARE BASED UPON A FIELD SURVEY PERFORMED JUNE 11, 2025 BY OUR COMPANY FIELD CREW, AND I FURTHERMORE DO STATE THAT THE PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND THE ITEMS AND INFORMATION AS SHOWN, WERE DONE UNDER MY SUPERVISION AND DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

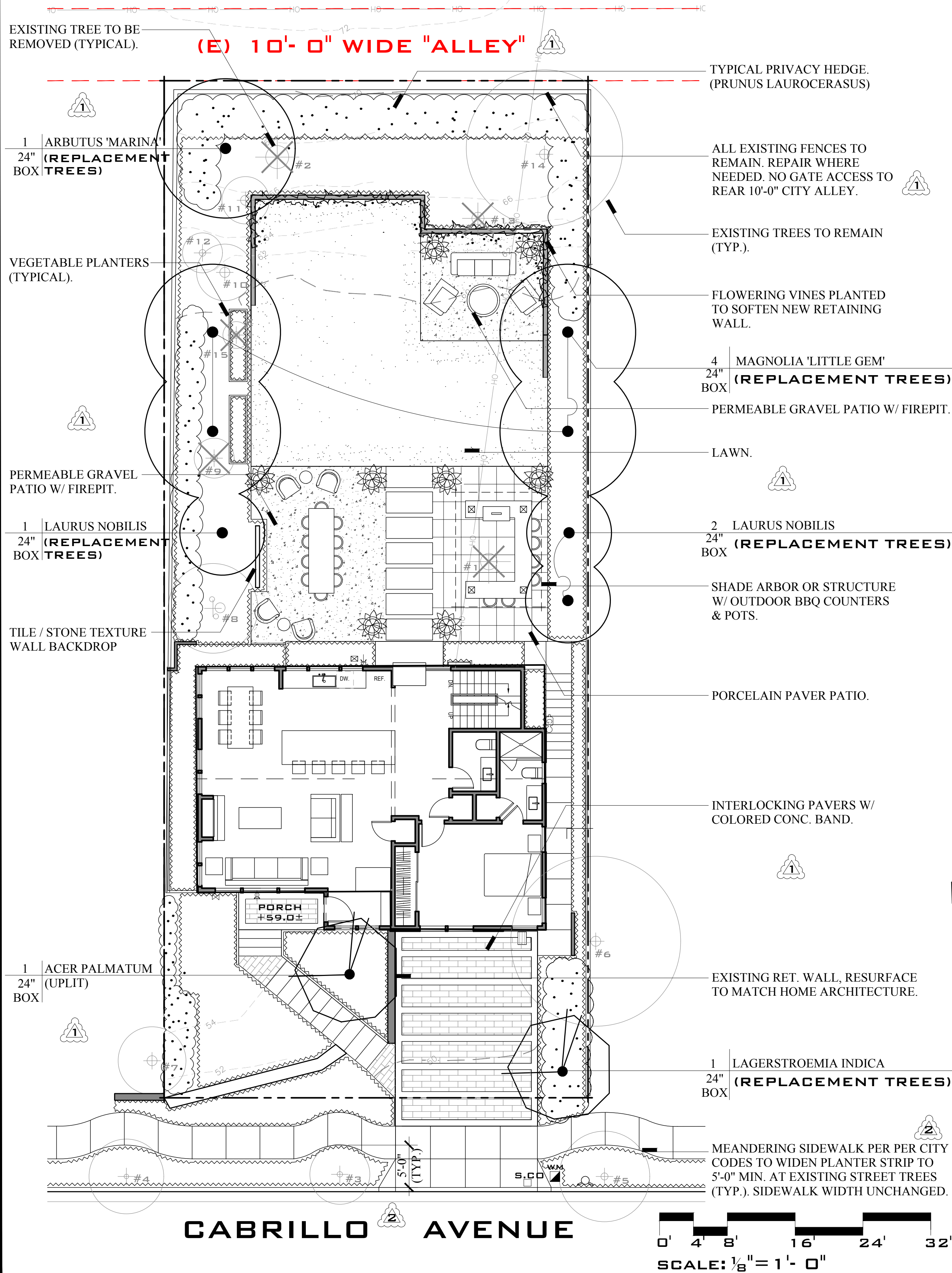
KEVIN M. MCGUIRE, CA PLS #6437

6/23/25
DATE

LEGEND

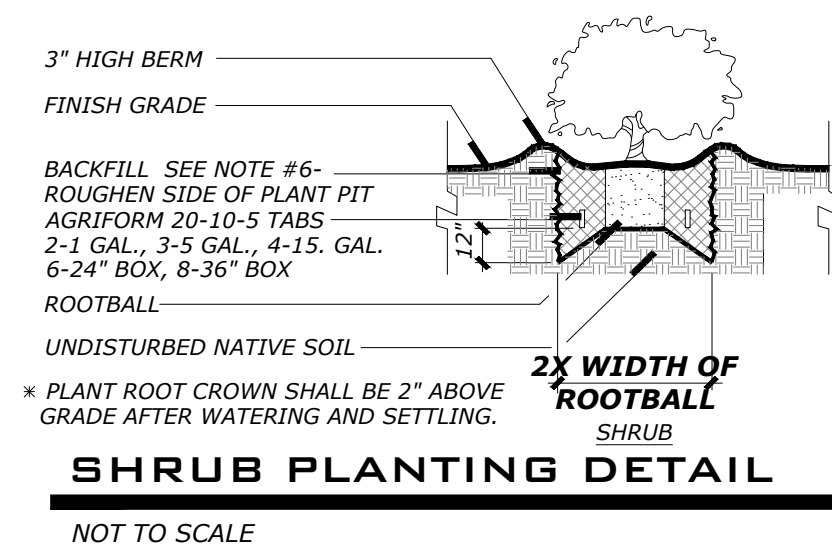
AD	AREA DRAIN	---	SUBJECT PROPERTY LINE
APN:	ASSESSOR'S PARCEL NUMBER	---	ADJOINER PROPERTY LINE
CP	CONTROL POINT	---	EXISTING EASEMENT
CONC.	CONCRETE	---	ROOF GUTTER/EAVE LINE
EL.	ELEVATION	---	MAJOR CONTOUR
FH	FIRE HYDRANT	---	MINOR CONTOUR
FND.	FOUND	---	EXISTING FENCE LINE
HB	HOSE BIB	---	
HT.	HEIGHT	---	
ICV	IRRIGATION CONTROL VALVE	---	
(TYP.)	TYPICAL	---	
x 33.0	SPOT ELEVATION	---	
Δ	SURVEY CONTROL POINT	---	
x	FOUND CHISELED X (NO RECORD)	---	
		---	CLEANOUT
		---	GAS METER
		---	HOSE BIB
		---	VALVE
		---	WATER METER

M:\Projects\2025 PROJECTS FOLDER\WOODS2501\dwg\WOODS2501.dwg Jun. 22, 2025 - 12:40pm Melan2



PLANTING NOTES

- ALL WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR AND PERSONNEL FAMILIAR WITH THE WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
- ALL TREES SHALL BE STAKED AS SHOWN IN THE DETAILS.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CASES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF/WHEN NECESSARY.
- THE PLANT COUNT IS FOR THE CONTRACTOR'S CONVENIENCE. IN CASE OF A DISCREPANCY, THE PLAN SHALL GOVERN.
- LOOSEN THE TOP 10" OF TOPSOIL AND BLEND THE TOP 4" LAYER OF SOIL W/ FOLLOWING AMOUNTS / 1000 SQUARE FEET:
4.0 CU. YDS. NITROGEN STABILIZED ORGANIC AMENDMENT* (4" LAYER)
50.0 LBS. GYPSUM
25.0 LBS. NITROFORM (38-0-0)
50.0 LBS. TREBLE SUPERPHOSPHATE (0-45-0)
25.0 LBS. POTASSIUM SULFATE (0-0-50)
15.0 LBS. FERROUS SULFATE (10% FE)
THE TOP 12" OF PLANT BACKFILL AROUND THE SIDES OF THE ROOTBALL OF TREES AND SHRUBS SHALL CONSIST OF THE ABOVE AMENDED SOIL. PREPARED AS FOLLOWS:
3 PARTS PULVERIZED SITE SOIL
1 PART NITROGEN STABILIZED ORGANIC AMENDMENT*
1.0 LBS. IRON SULFATE
UNIFORMLY BLENDED WITH: (AMOUNT / CUBIC YARD BACKFILL MIX)
3/4 POUND 6-20-20 COMPLETE FERTILIZER
1/4 POUND POTASSIUM SULFATE (0-0-50)
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES FOR A PERIOD OF ONE YEAR AND ALL SHRUBS AND GROUND COVERS FOR A PERIOD OF 90 DAYS.
- ANY REQUIREMENTS IN THE PLANS SHALL BE CONSIDERED BINDING. IN CASE OF DISCREPANCIES THE OWNER AND LAND. ARCH. SHALL BE IMMEDIATELY NOTIFIED FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- THERE SHALL BE REGULAR SITE VISITS BY THE LANDSCAPE ARCHITECT AND THE OWNER THROUGHOUT CONSTRUCTION AND A FINAL SITE REVIEW.
 - TO INSPECT PLANTS ON ARRIVAL FROM NURSERY
 - AT TIME OF PLANTING
 - A FINAL SITE REVIEW
- ALL PLANT MATERIAL NOT APPROVED BY LANDSCAPE ARCHITECT MAY BE SUBJECT TO REJECTION.
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
- PROTECT EXISTING TREES AS NECESSARY. FENCE AS NECESSARY. LOCATE ALL UTILITIES COORDINATE ALL DIGGING AND TRENCHING BEFORE PROCEEDING WITH THE WORK. PRIOR TO BEGINNING WORK WITH THE PROJECT SUPERVISOR FIRST.
- THE DESIGN INTENT OF THE PLANTING PLAN IS TO ESTABLISH AND IMMEDIATE, ATTRACTIVE AND MATURE LANDSCAPE APPEARANCE. FUTURE PLANT GROWTH WILL NECESSITATE TRIMMING, SHAPING, PRUNING AND IN MOST CASES, REMOVAL OF TREES AND SHRUBS AS PART OF AN ON-GOING MAINTENANCE PROGRAM.
- ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- APPLY "RONSTAR" OR "ELANCO XL" PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECS. THE LANDSCAPE SHALL BE WEED FREE AT THE TIME OF THE FINAL WALK-THROUGH.
- FOR A PERIOD OF 10 DAYS FOLLOWING OWNER'S ACCEPTANCE OF THE COMPLETION OF THE FINAL PUNCH LIST AS PART OF HIS BID. ALL PRUNING, SPRAYING, FERTILIZING, MOWING, CLEAN-UP AND ASSOCIATED LANDSCAPE PRACTICES SHALL BE INCLUDED. THE 10 DAY MAINTENANCE PERIOD DOES NOT END UNTIL FINAL ACCEPTANCE BY THE OWNER IS GRANTED.
- CONTRACTOR TO SUBMIT UNIT PRICES FOR THE POSSIBLE ADDITION OF PLANTS TO THE PROJECT. SUBMIT UNIT PRICES FOR 15 GALLON TREES, 5 GALLON SHRUBS, 1 GALLON SHRUBS, LAWN AND GROUND COVER AT SQ. FT. PRICES.
- CONTRACTOR SHALL INSTALL EPOXY VINE TIES AT ALL VINES PLANTING LOCATIONS TO TIE VINES TO WALLS AND POSTS AS NEEDED.
- 3" LAYER OF SHREDDED FIR BARK OVER ALL PLANTED AND IRRIGATED AREAS.
- ON ALL SLOPES 3:1 OR GREATER, INSTALL JUTE MESH NETTING, LAP MIN. 12", STAPLE AT 24" O.C. TYP.
- ALL PLANT MATERIAL SHALL BE OF THE QUALITY AND SIZE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK GUIDELINES, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE OWNER'S PROPERTY ALL WASTE MATERIAL GENERATED BY FROM THE PLANTING OPERATIONS. (2X WEEKLY).
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED SUB-CONTRACTORS AND WITH THE GENERAL CONSTRUCTION CONTRACTOR OF THE PROJECT.



PROPOSED PLANTING LEGEND

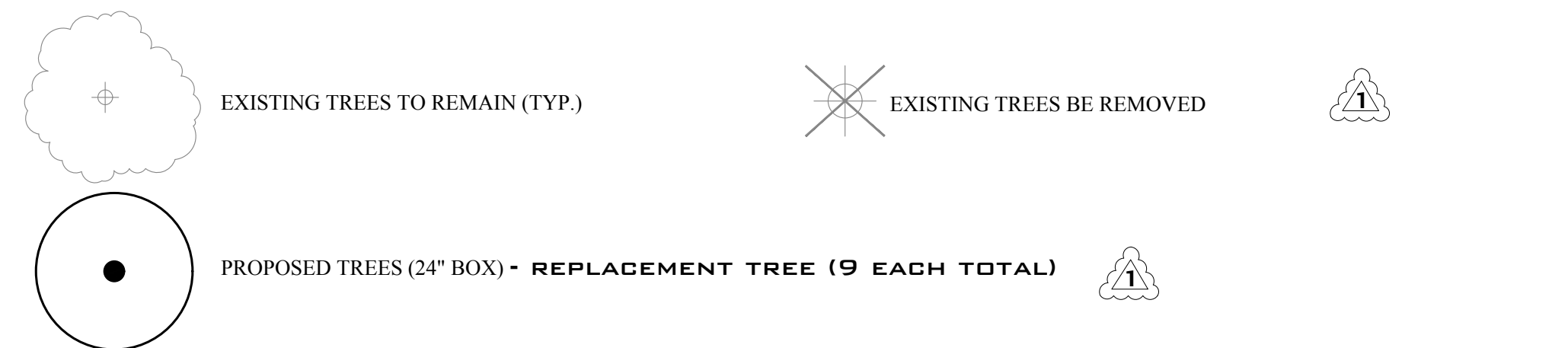
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	SPACING
TREES:					
Ace. pal.	24" BOX	Acer palmatum	Japanese Maple	MOD	PER PLAN
Arb. 'Mar.'	24" BOX	Arbutus 'Marina'- REPLACEMENT TREE	Marina Strawberry Tree	LOW	PER PLAN
Lau. nob.	24" BOX	Laurus nobilis - REPLACEMENT TREE	Grecian laurel	MOD	PER PLAN
Lag. ind.	24" BOX	Lagerstroemia Indica- REPLACEMENT TREE	Crape Myrtle	MOD	PER PLAN
Mag. 'L. G.'	24" BOX	Magnolia 'Little Gem'- REPLACEMENT TREE	Magnolia	MOD	PER PLAN
SHRUBS:					
Aga. afr.	1 GAL	Agapanthus africanus	Lily of the Nile	LOW	12" O.C.
Bud. dav.	5 GAL	Buddleja Davidii	Butterfly Bush	MOD	24" O.C.
Bux. 'G.M.'	1 GAL	Buxus 'Green Mountain'	Boxwood	MOD	18" O.C.
Cam. sas.	5 GAL	Camellia sasanqua - Single/Double White	White Camellia	MOD	48" O.C.
Das. whe.	5 GAL	Dasyliiron wheeleri	Spoon Yucca	LOW	36" O.C.
Die. bic.	1 GAL	Dietes bicolor	Yellow Fortnight Lily	LOW	24" O.C.
Esc. spp.	1 GAL	Escallonia Spp. - Dwarf	Escallonia - Dwarf	LOW	36" O.C.
Fes. gla.	5 GAL	Festuca Glaucia	Blue Fescue	LOW	8" O.C.
Heb. spp.	1 GAL	Hebe Spp.	Hebe Species	MOD	36" O.C.
Lav. int.	1 GAL	Lavandula Intermedia	Lavender	LOW	18" O.C.
Lig. 'Tex.'	5 GAL	Ligustrum japonicum 'Texanum'	Waxleaf Privet - Columnar	MOD	18" O.C.
Lir. gig.	1 GAL	Liriope gigantea	Giant Lily Turf	MOD	48" O.C.
Ner. ole.	1 GAL	Nerium Oleander - Pink / Red	Oleander	MOD	36" O.C.
Pho. 'Jes.'	5 GAL	Phorrium 'Jester'	Jester Flax	MOD	36" O.C.
Pru. lau.	5 GAL	Prunus laurocerasus	English Laurel	MOD	60" O.C.
Sal. leu.	5 GAL	Salvia leucantha	Mexican Bush Sage	LOW	48" O.C.
Tra. jas.	5 GAL	Trachelospermum Jasminoides	Jasmine	LOW	48" O.C.

GROUNDCOVERS:

1 GAL	Arctostaphylos edmundsii 'Carmel Sur'	Carmel Sur Manzanita	LOW	24" O.C.
1 GAL	Agapanthus africanus 'White'	White Lily of the Nile - Dwarf	MOD	12" O.C.
FLATS	Dymondia margaretae	Silver Carpet	LOW	48" O.C.
1 GAL	Gazania spp. - Purple	African Daisy - Purple	LOW	12" O.C.
FLATS	Myoporum parvifolium	Creeping Myoporum	LOW	6" O.C.
FLATS	Viola hederacea	Australian Violet	MOD	12" O.C.

VINES:

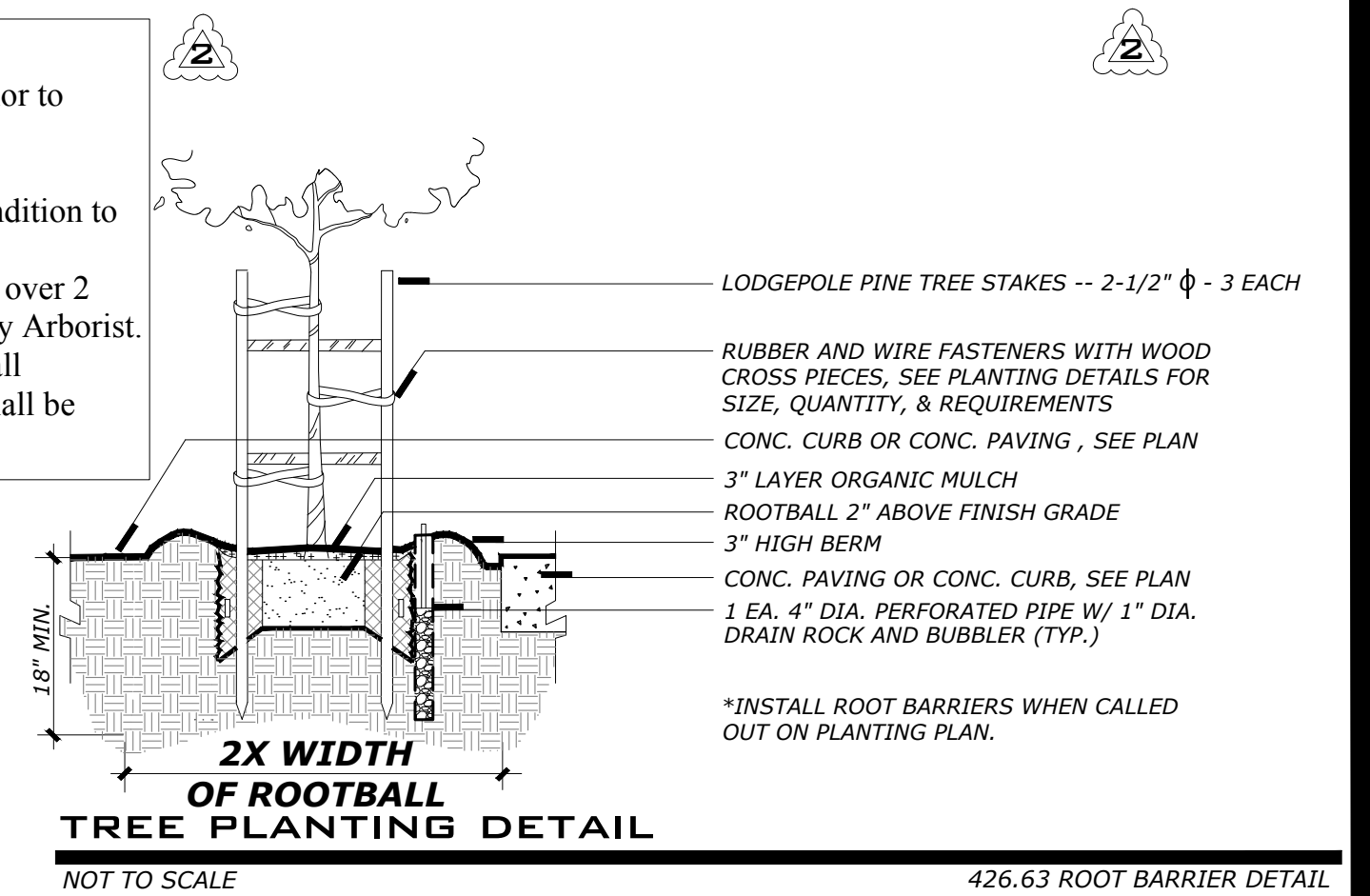
5 GAL	Gelsemium sempervirens	Carolina Jessamine	MOD	N/A
5 GAL	Rosa Banksiae	Lady Banks' Rose	MOD	48" O.C.
5 GAL	Wisteria chinensis - Blue	Blue Wisteria	MOD	48" O.C.



SEE ARBORIST REPORT PREPARED BY KIELTY ARBORISTS SERVICES LLC., DATED JAN, 6 2026

TREE PROTECTION NOTES:

- All tree protection measures shall be installed prior to commencement of construction.
- All Protected Trees, Street Trees, and Required Landscape Trees shall be maintained in good condition to pass Parks Division final inspection.
- Construction shall not impact any street tree root over 2 inches in diameter without approval from the City Arborist.
- All required landscape trees, existing or new, shall become Protected Trees regardless of size and shall be disclosed upon sale or transfer of the property.



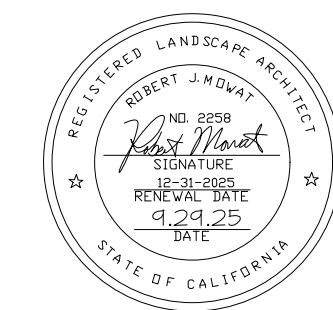
ROBERT MOWAT ASSOCIATES

LANDSCAPE ARCHITECTURE + LAND PLANNING
1501 N. Broadway Suite 400 Walnut Creek, CA 94596
Phone 925.705.7424 Fax 925.954.1390
www.rmalandscape.com

1437 CABRILLO AVENUE
BURLINGAME, CA 94010

LANDSCAPE PLAN

DATE 9-29-2025	
REVISIONS	
1	CITY COMMENTS #1 10-30-25
2	CITY COMMENTS #2 1-6-26

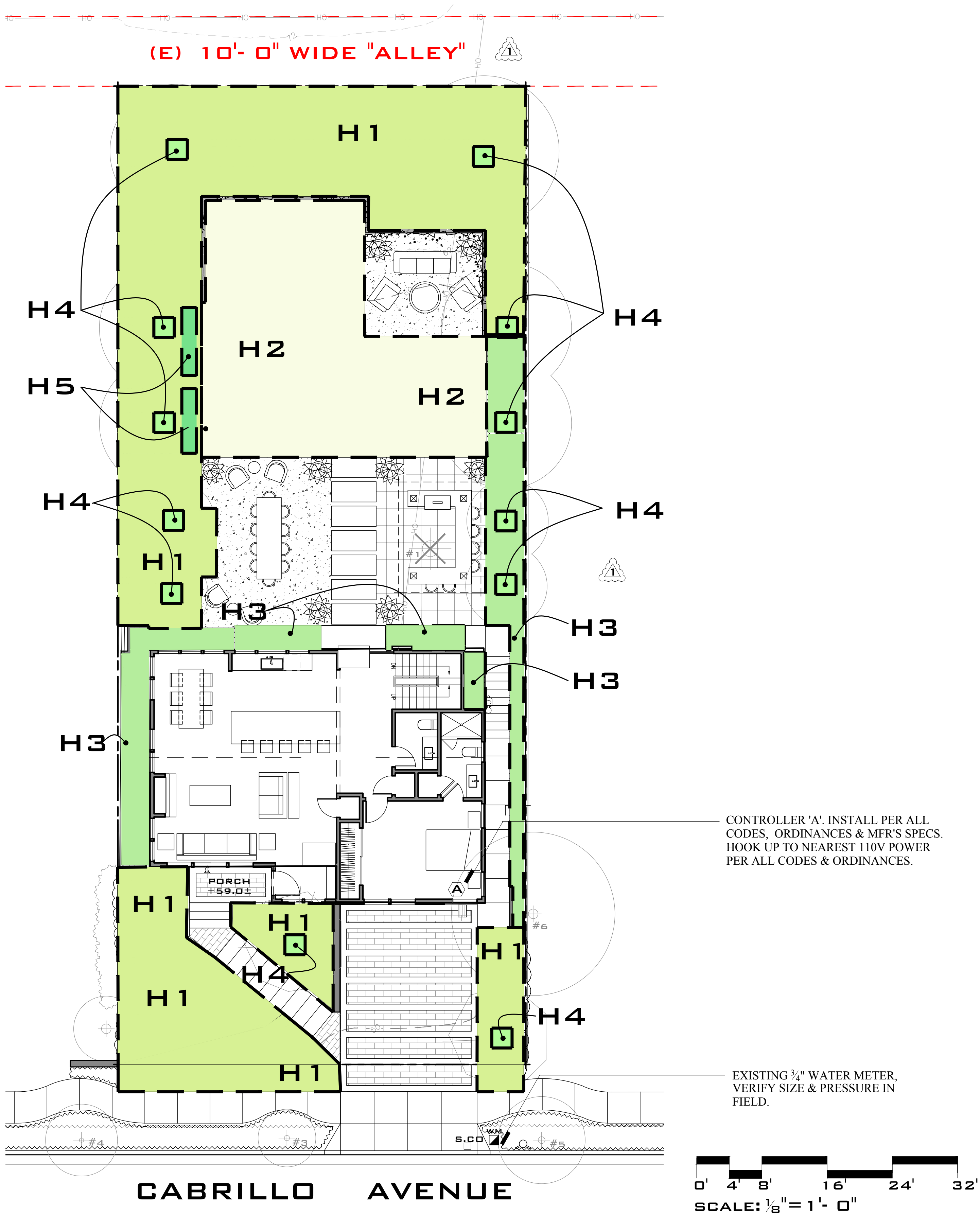


SCALE:
1/8" = 1'-0"

NORTH

L-1
OF 2

PRINT DATE: 1-6-26



MWELD CALCULATIONS

SYMBOL:	HYDROZONE TYPE:	PLANT FACTOR (PF):	HYDROZONE AREA - SF (HA):	IRRIGATION EFFICANCY (IE):	(PF X HA) IE
H1	SHRUBS/GROUNDCOVER LOW WATER USE MP ROTATOR STREAM	0.3	1928	.75	771
H2	LAWN - MOD WATER USE MP ROTATOR STREAM	0.5	847	.75	565
H3	SHRUBS/GROUNDCOVER LOW WATER USE DRIP	0.3	424	.81	157
H4	TREES - MOD WATER USE BUBBLER	0.5	48	.81	30
H5	VEGE PLANTER - HIGH WATER USE DRIP	1.0	28	.81	34
TOTAL:			3275		1557
ETWU:	38.2 X 0.62 (1557+30)				= 37,586 GAL/YR
MAWA:	38.2 X 0.62 [(0.55 X 3275)+(1.0-.55) X28]				= 42,959 GAL/YR

MWELD CALCULATION REFERENCE

ETWU: ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)
CALCULATION FORMULA: $ET_o \times 0.62 \left(\frac{PF \times HA}{IE} + SLA \right)$

ET_o: REFERENCE EVAPOTRANSPIRATION (38.2 INCHES PER YEAR IN BURLINGAME)
0.62: CONVERSION FACTOR (INCHES PER SQAURE FOOT TO GALLONS PER SQUARE FEET)
PF: PLANT FACTOR FROM WUCOLS IV, REGION 2
HA: HYDROZONE AREA [HIGH, MEDIUM AND LOW WATER USE AREAS] (IN SQUARE FEET)
IE: IRRIGATION EFFICIENCY (MINIMUM 0.70)
SLA: SPECIAL LANDSCAPED AREA (SQUARE FEET)

MAWA: MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)
CALCULATION FORMULA: $(ET_o) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$

ET_o: REFERENCED EVAPOTRANSPIRATION (44.2 INCHES PER YEAR IN UNION CITY)
0.62: CONVERSION FACTOR (INCHES PER SQAURE FOOT TO GALLONS PER SQUARE FEET)
0.55: RESIDENTIAL REFERENCE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF)
LA: LANDSCAPED AREA INCLUDING SLA (SQUARE FEET)
0.55: ADDITIONAL WATER ALLOWANCE FOR SLA
SLA: SPECIAL LANDSCAPED AREA (SQUARE FEET)

- A CONTROLLER - PROPOSED LOCATION.
- EXISTING 3/4" WATER METER, VERIFY SIZE & PRESSURE IN FIELD.
- EXISTING TREES TO REMAIN.
- PROPOSED TREES

IMPERVIOUS / PERMEABLE SURFACE COVERAGE CALCULATIONS

#	HARDSCAPE & SOFTSCAPE	SQ. FT.
1	ROOF (IMPERVIOUS) - SEE ARCH DWGS	1,296
2	IMPERVIOUS PAVED AREA	992
3	PERMABLE GRAVEL PATIO	497
4	PLANTING AREA	3,275
5	LAWN	847 (22%)
TOTAL LANDSCAPE AREA (PLANTING AREA, LAWN & PERMEABLE PAVING)		3712 (62.0%)
TOTAL IMPERVIOUS COVERAGE		2,288 (38.0%)
OVERALL SITE SQ.FT.		6,000

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
- DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY AND LAND ARCH. FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE ELECTROLIER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OR PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED INSTALLERS. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIRED FEES.
- CONTRACTOR IS TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF THEIR WORK AT NO ADDITIONAL COST TO THE OWNER. CALL USA ALERT 3 DAYS PRIOR TO ANY EXCAVATION (800) 227-2600.(811)
- SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 60 P.S.I. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AFTER THE BACK FLOW DEVICE) IS 80 P.S.I. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 40 P.S.I. WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE, THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 16 GPM ON 5/8" METER, AND NO MORE THAN 1 VALVE SHALL BE RUN AT THE ANY ONE TIME.
- TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINE UNDER STREETS TO BE 24" DEEP, MINIMUM.
- FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
- IRRIGATION CONTROL WIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 U.L. APPROVED FOR DIRECT BURIAL. WHITE IN COLOR. INSTALL DRY SPICE "SPEARS" CONNECTORS. WIRES TO INDIVIDUAL REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS. RUNS OVER 250' SHALL BE #12 U.L. APPROVED WIRES. INSTALL ONE SPARE FROM CONTROLLER TO EACH GANGED VALVE LOCATION.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION (MIN.). CONTRACTOR TO REPAIR SETTLED TRENCHES FOR ONE YEAR AFTER COMPLETION OF WORK.
- CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST AND ADD HEADS IF NECESSARY FOR RADIUS (ARC IF APPLICABLE), FOR OPTIMUM COVERAGE AND ELIMINATE SPRAYING ONTO PAVEMENT, BUILDINGS, AND WALLS. USE FLAT SPRAY NOZZLES NEAR ANY BUILDING.
- CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF THE WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
- CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH ACCEPTANCE AT THE FINAL SITE REVIEW.
- ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
- THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LAND ARCH. & OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITH TWO DAYS PRIOR NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 - PRESSURE TEST TO MAIN LINE PRIOR TO BACKFILLING TRENCHES. 100 PSI - 48 HRS.
 - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 - FINAL WALK-THROUGH OF ALL ASPECTS OF THE IRRIGATION SYSTEM.

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

ISSUE:	DATE:
DESIGN REVIEW REV <u>1</u>	11/11/25
DESIGN REVIEW REV 2	01/08/26

DATE:	09/29/25
DRAWN BY:	MB/DC/PM
JOB NO:	25-RE-03
SCALE:	AS NOTED
SHEET TITLE:	

EXISTING & PROPOSED SITE PLAN

SHEET NO.

A1.0

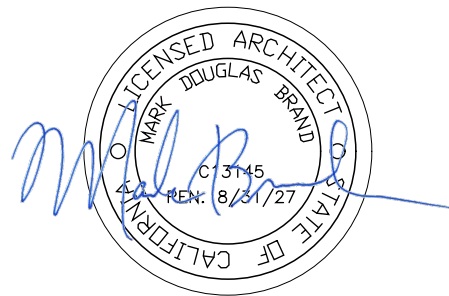
IMPERVIOUS AREA IS 38%. SEE CALCULATION ON SHEET L2. IF IMPERVIOUS AREA EXCEEDS MORE THAN 60% , IT WILL TRIGGER A REASSESSMENT OF THE ANNUAL STORM DRAIN FEE FOR THE PARCEL



EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

1437
CABRILLO
ADDITION AND
REMODEL

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

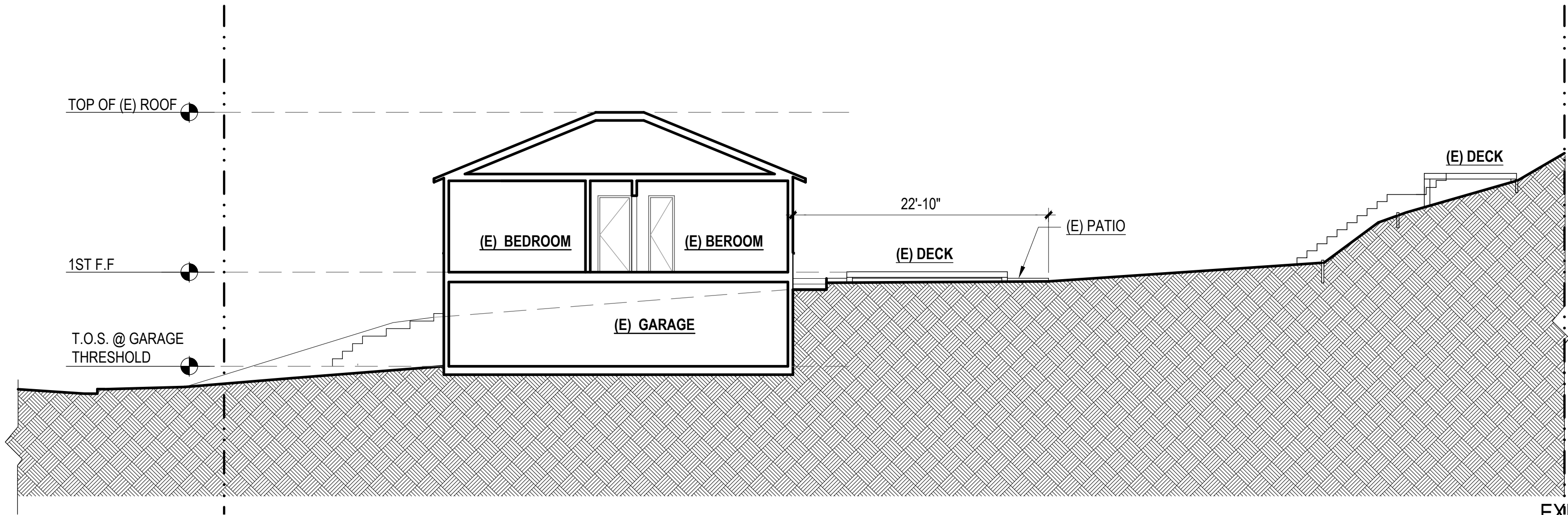
ISSUE: DATE:
DESIGN REVIEW REV 1 11/11/25
DESIGN REVIEW REV 2 01/08/26

DATE: 09/29/25
DRAWN BY: MB/DC/PM
JOB NO: 25-RE-03
SCALE: AS NOTED

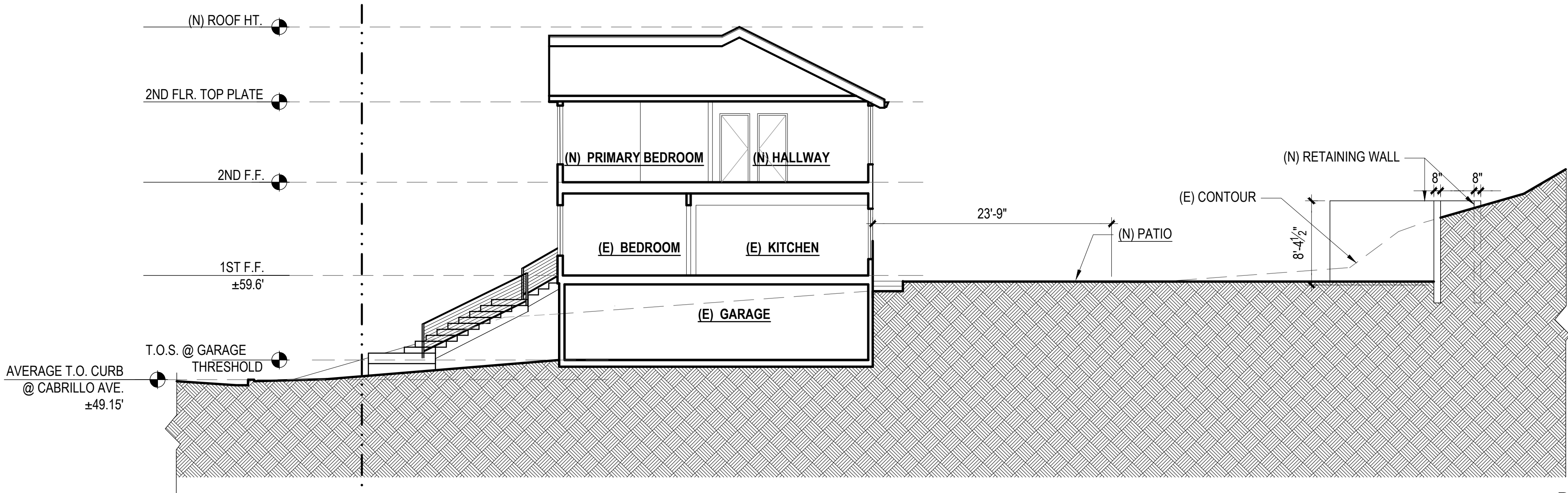
EXISTING
AND
PROPOSED
SITE
SECTIONS

SHEET NO.

A1.1



EXISTING SITE SECTION 2
SCALE: 1/8"=1'-0"



PROPOSED SITE PLAN 1
SCALE: 1/8"=1'-0"



PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

1437
CABRILLO
ADDITION AND
REMODEL

1437 CABRILLO AVE
BURLINGAME,
CA 94010
APN: 026-042-090

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JOB NO: 25-RE-03
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SHEET TITLE:

EXISTING /
DEMOLITION
FLOOR
PLANS

SHEET NO.

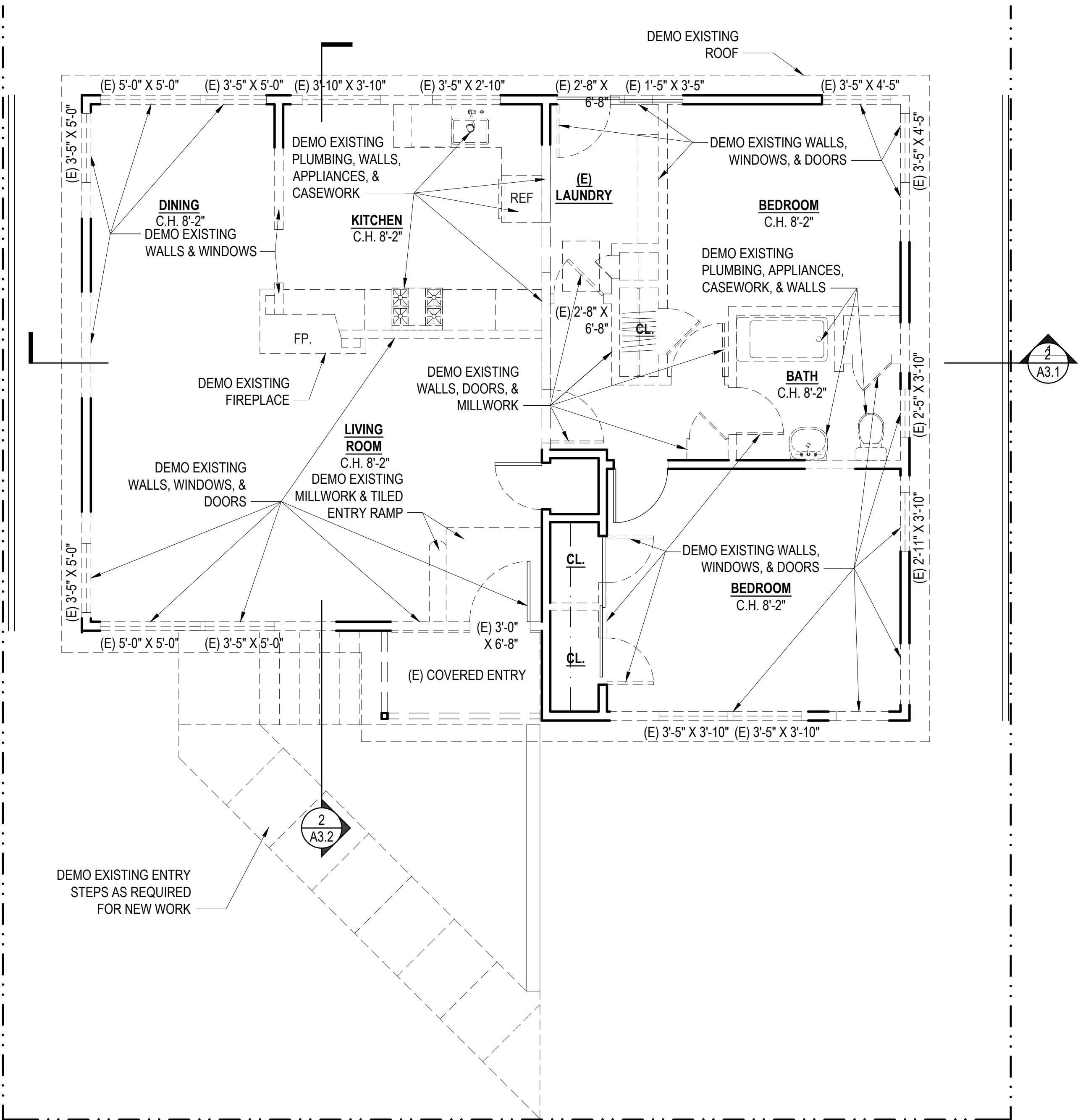
A1.2

WALL LEGEND

EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	
AREA NOT IN SCOPE	

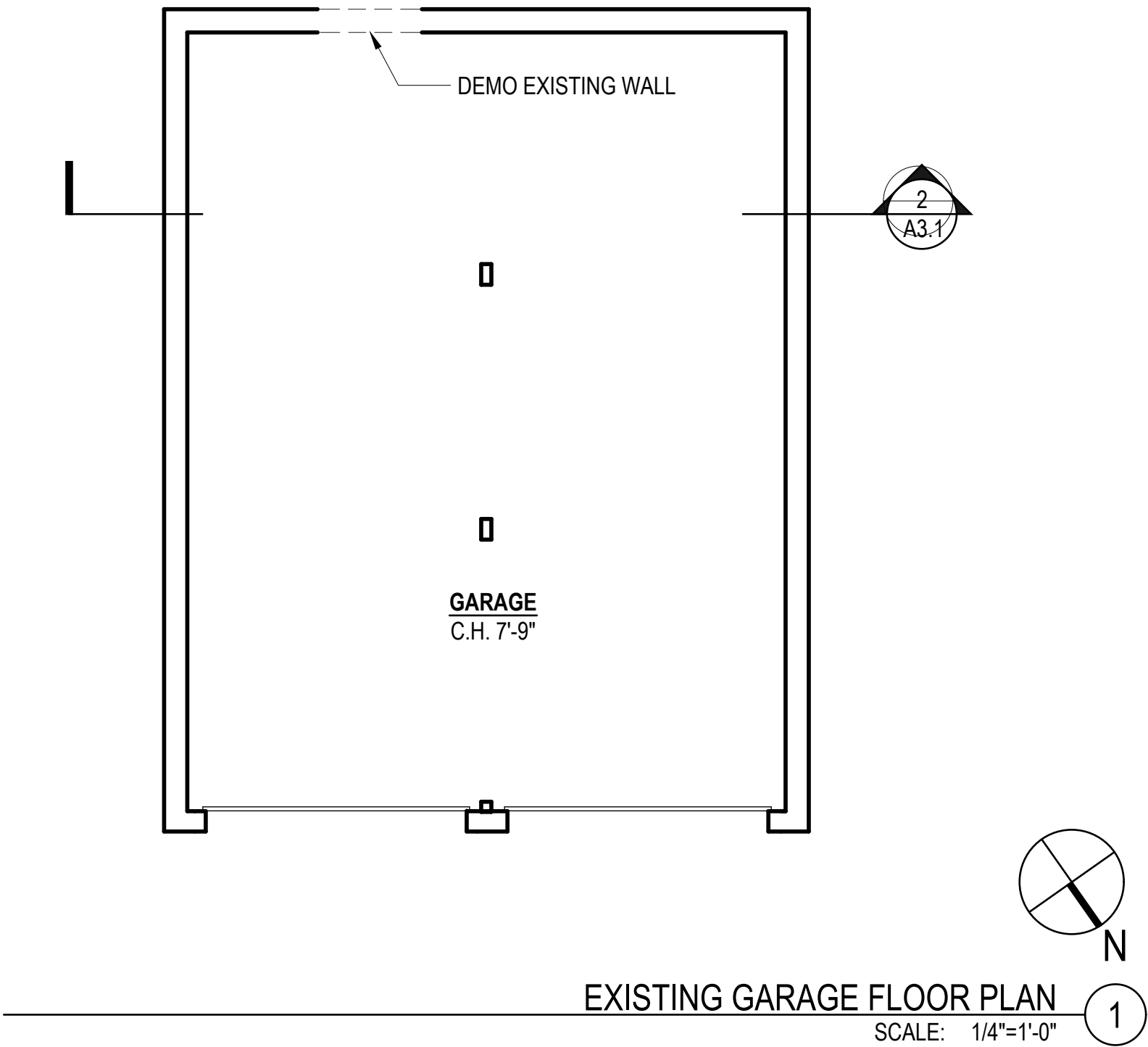
DEMOLITION CALCULATIONS

TOTAL FIRST FLOOR WALL PERIMETER = 144'
TOTAL FIRST FLOOR WALLS TO BE REMOVED = 94'
REMOVAL PERCENTAGE = 94'/144' = 65.27%



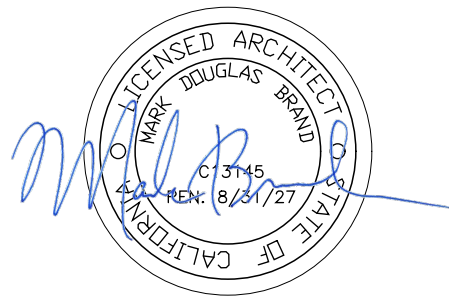
EXISTING FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"



PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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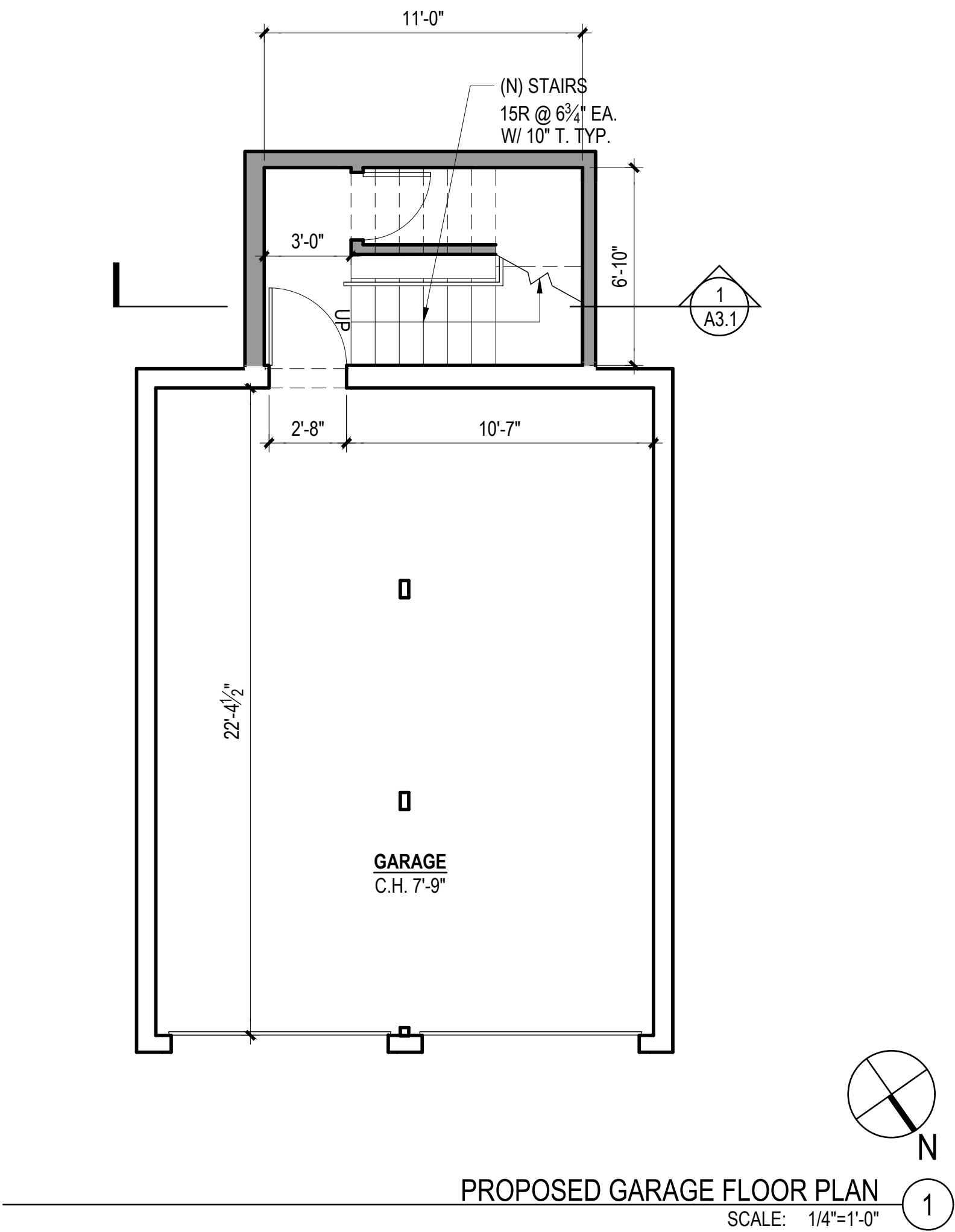
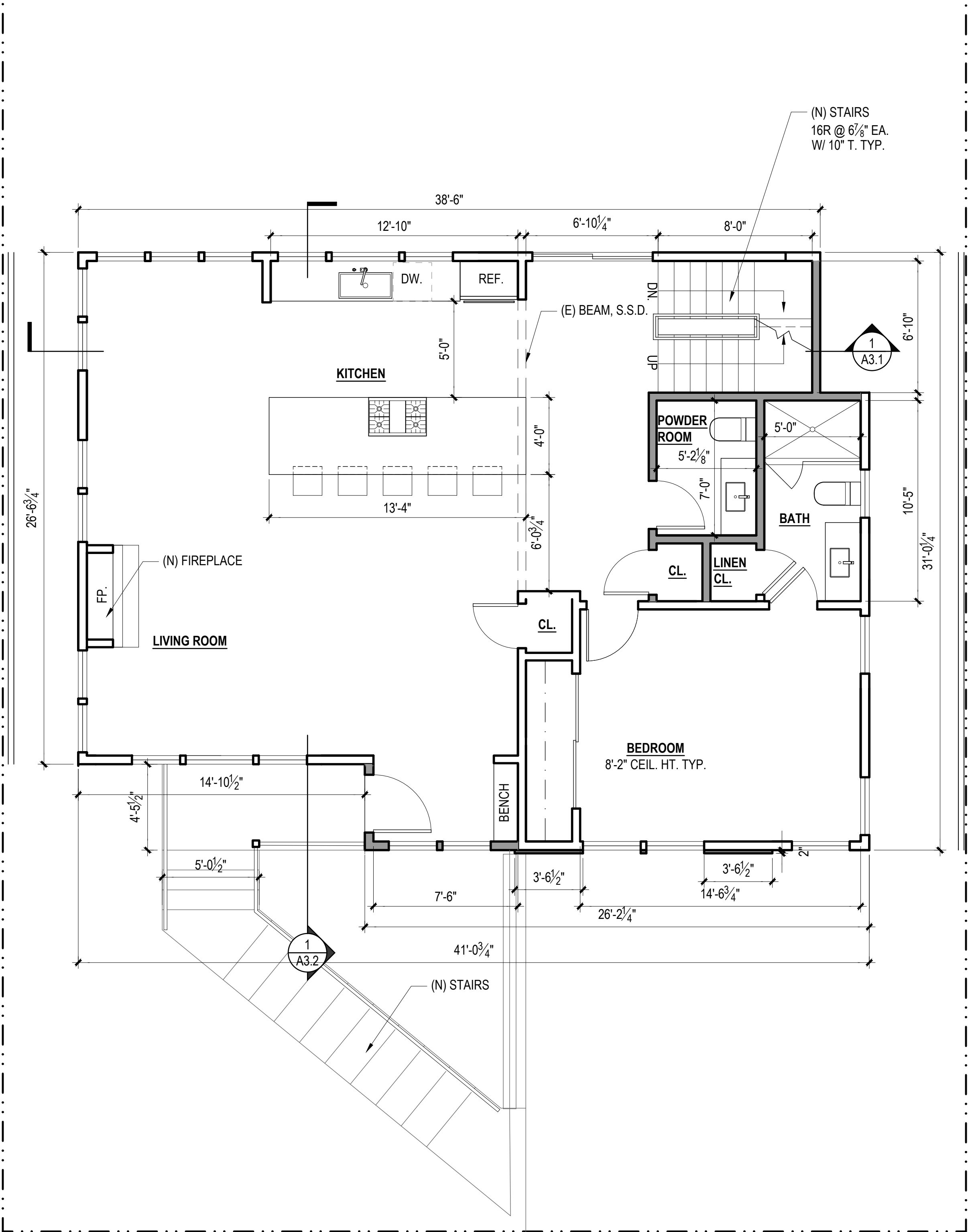
PROPOSED
FLOOR PLANS

SHEET NO.

A1.3

WALL LEGEND

EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	
AREA NOT IN SCOPE	





PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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SHEET TITLE:

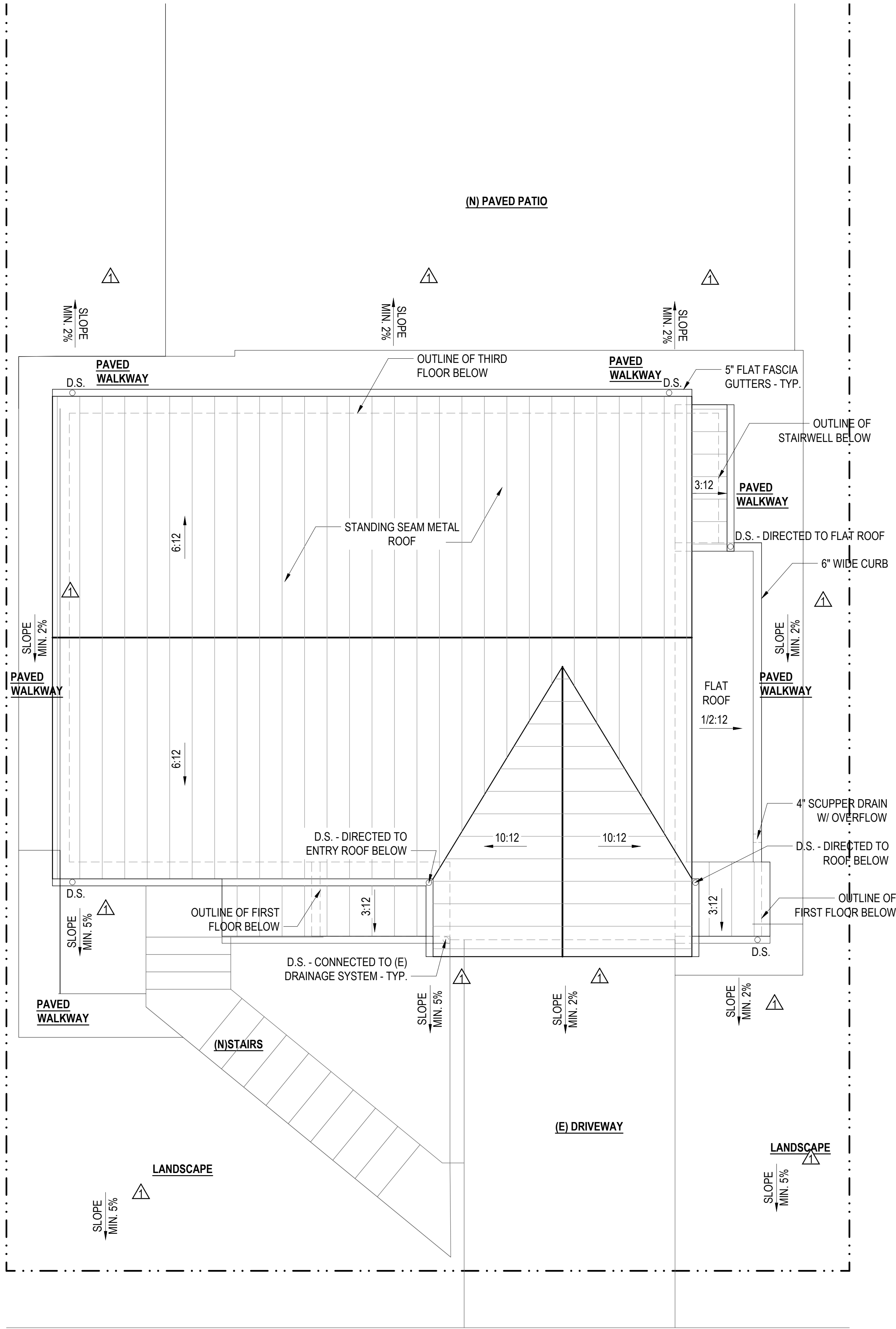
PROPOSED
FLOOR AND
ROOF PLANS

SHEET NO.

A1.4

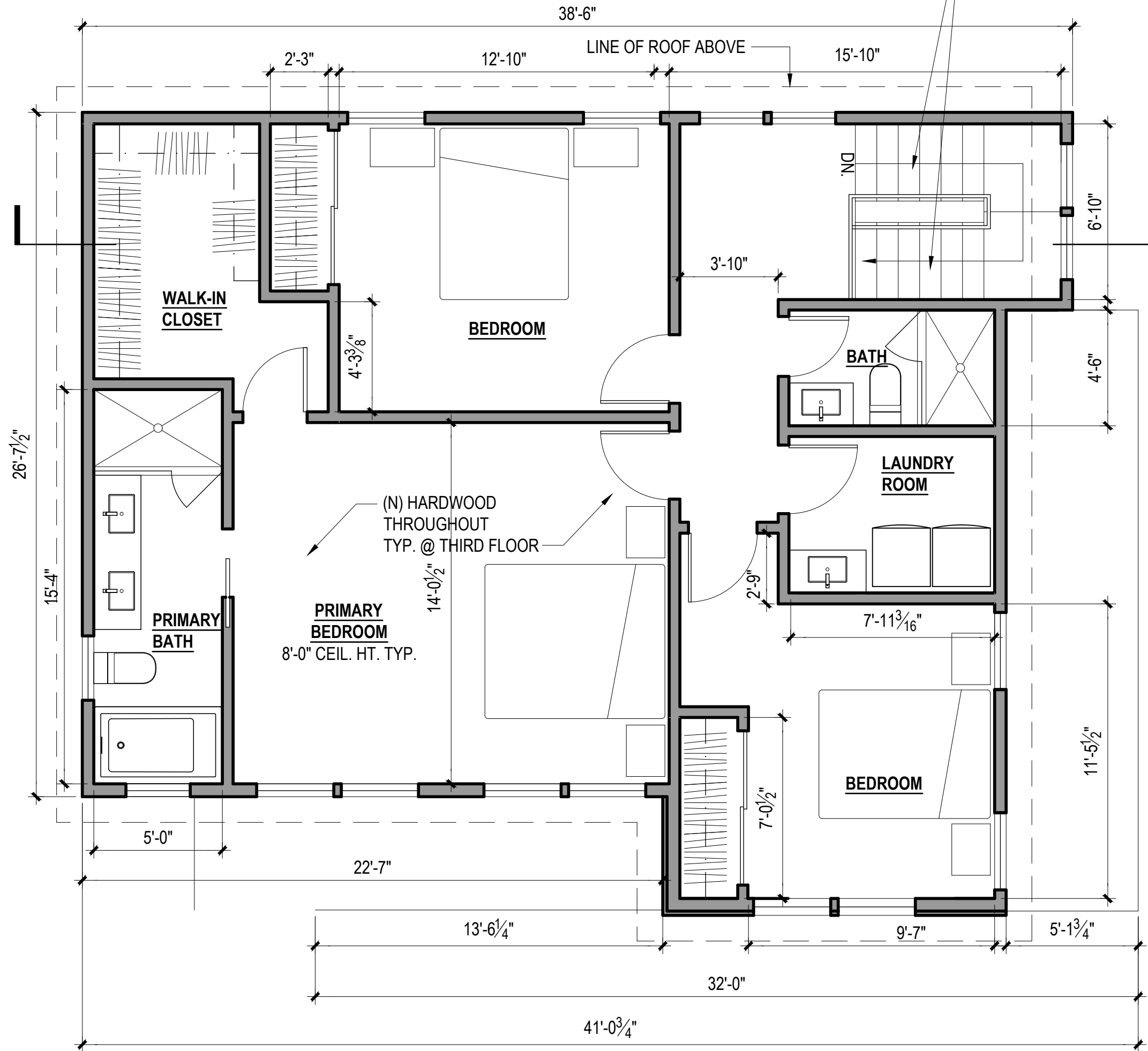
WALL LEGEND

EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
NEW NON-RATED WALL	
NEW 1-HOUR FIRE-RESISTANCE-RATED WALL	
GARAGE - DWELLING SEPARATION WALL	
SHEAR WALL LOCATION	
AREA NOT IN SCOPE	
(N) STAIRS 15 R @ 7 3/8" EA. W/ 10" T. TYP.	



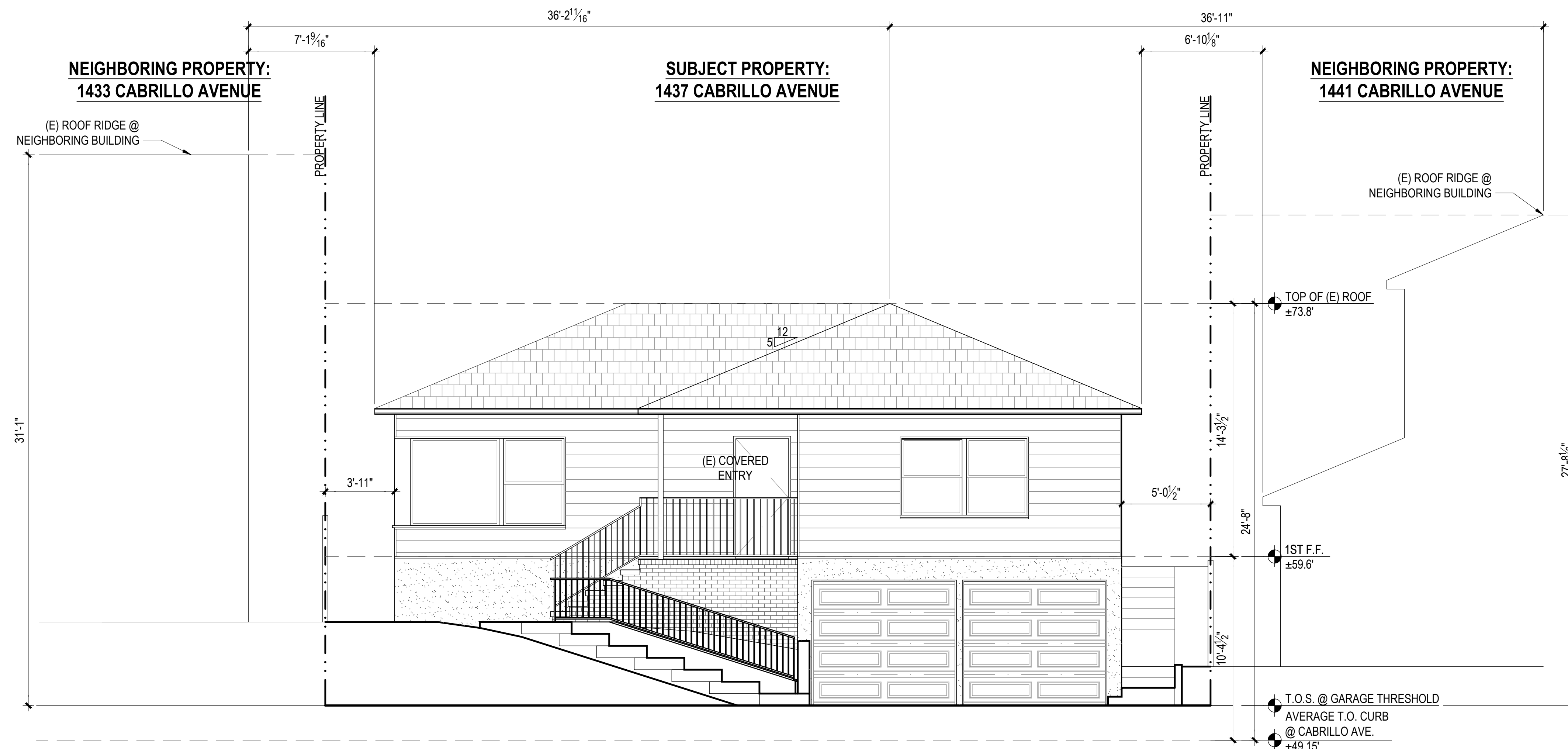
PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

2



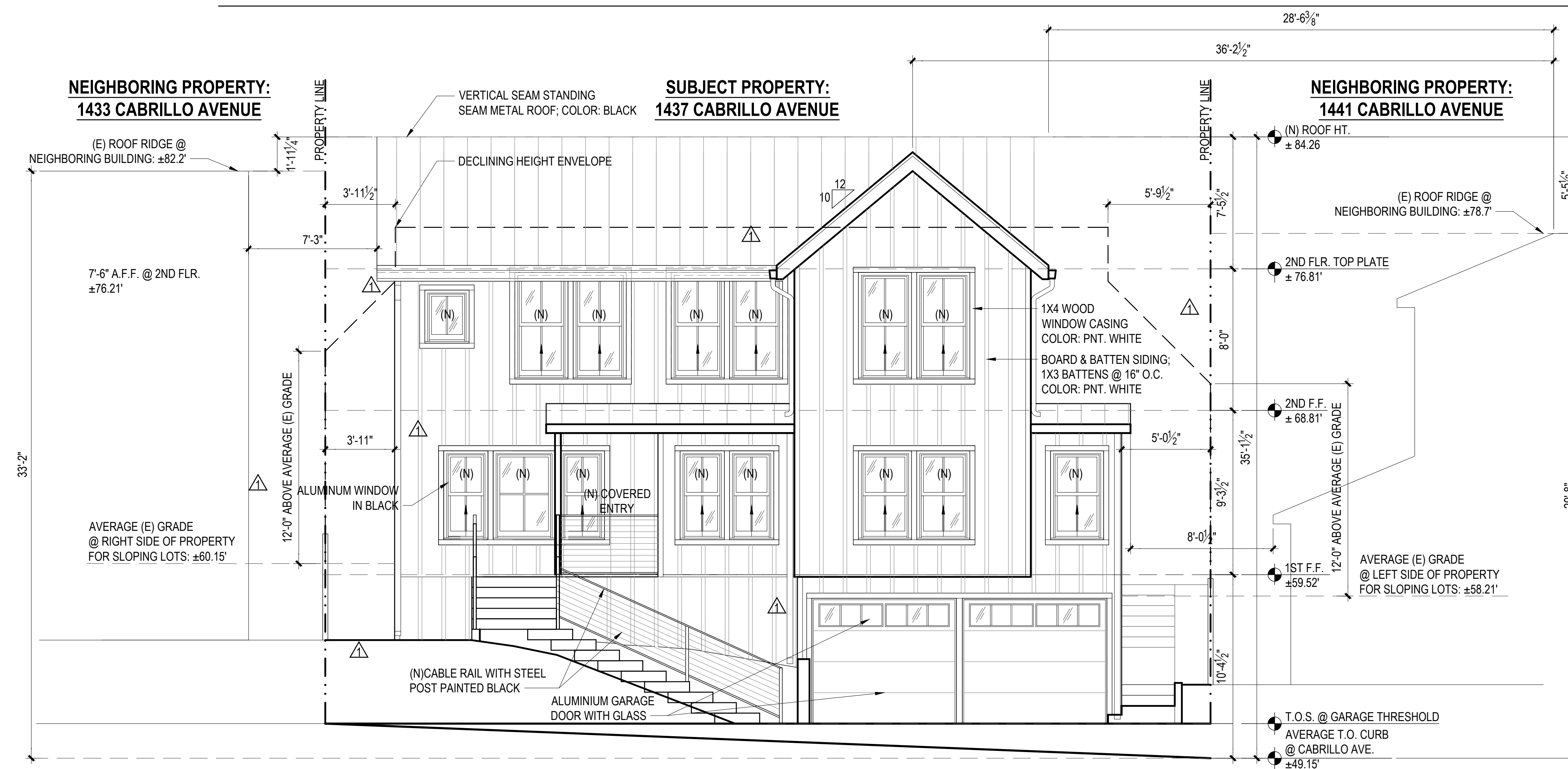
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

1



EXISTING FRONT (NORTH) ELEVATION
SCALE: 1/4"=1'-0"

1



PROPOSED FRONT (NORTH) ELEVATION
SCALE: 1/4"=1'-0"

2

PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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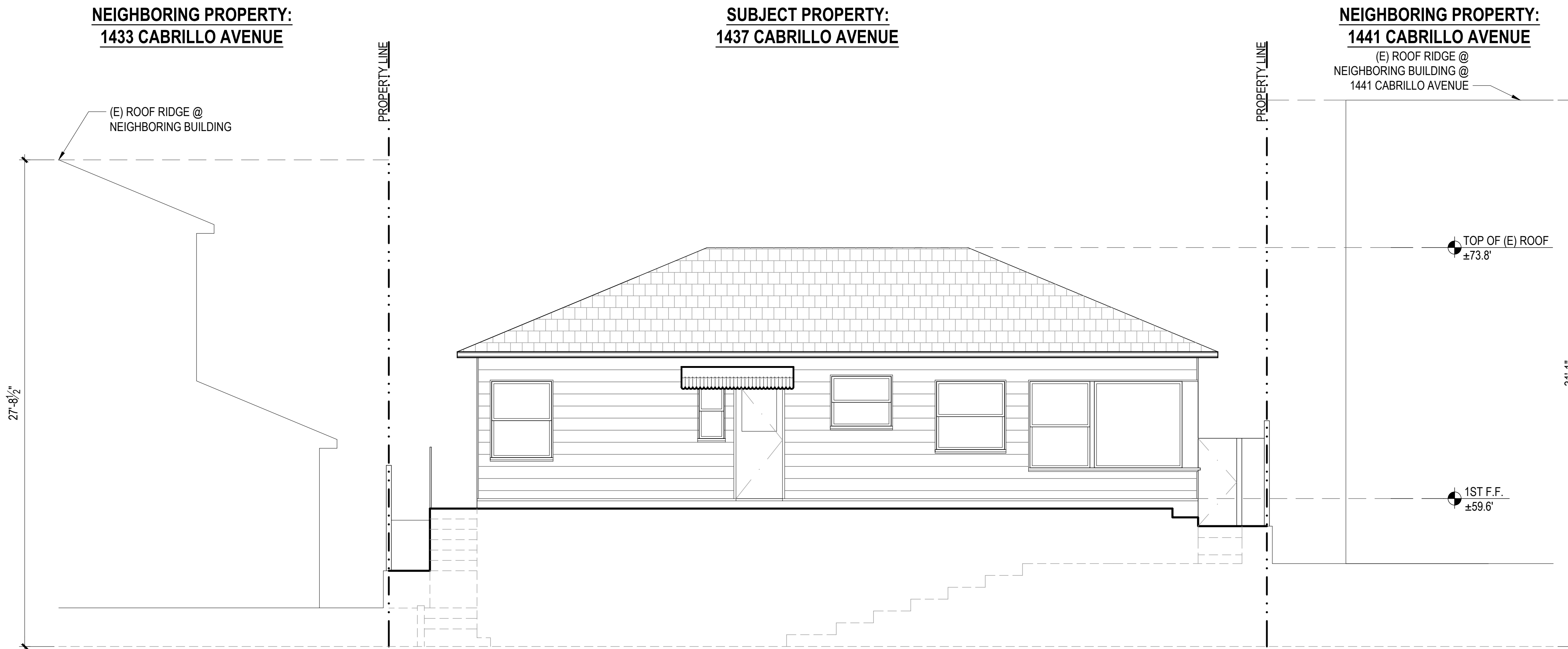
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SHEET TITLE:

EXISTING &
PROPOSED
FRONT
(NORTH)
ELEVATIONS

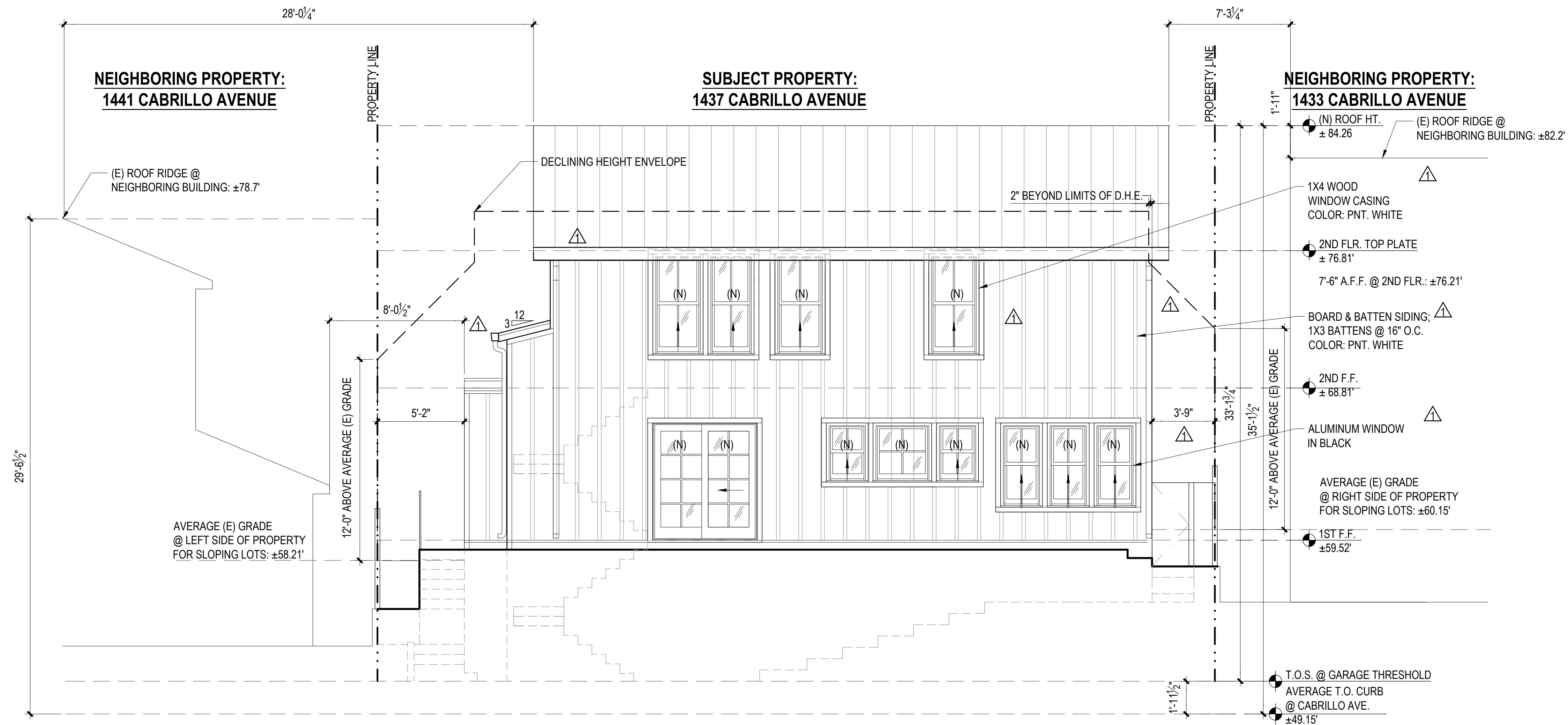
SHEET NO.

A2.1



EXISTING REAR (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

1



PROPOSED REAR (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

2

PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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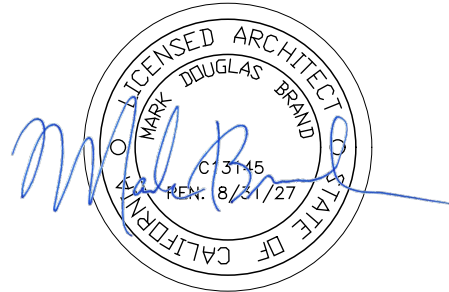
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SCALE: AS NOTED
SHEET TITLE:

EXISTING &
PROPOSED
REAR
(SOUTH)
ELEVATIONS

SHEET NO.

A2.2



PROJECT DIRECTORY

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

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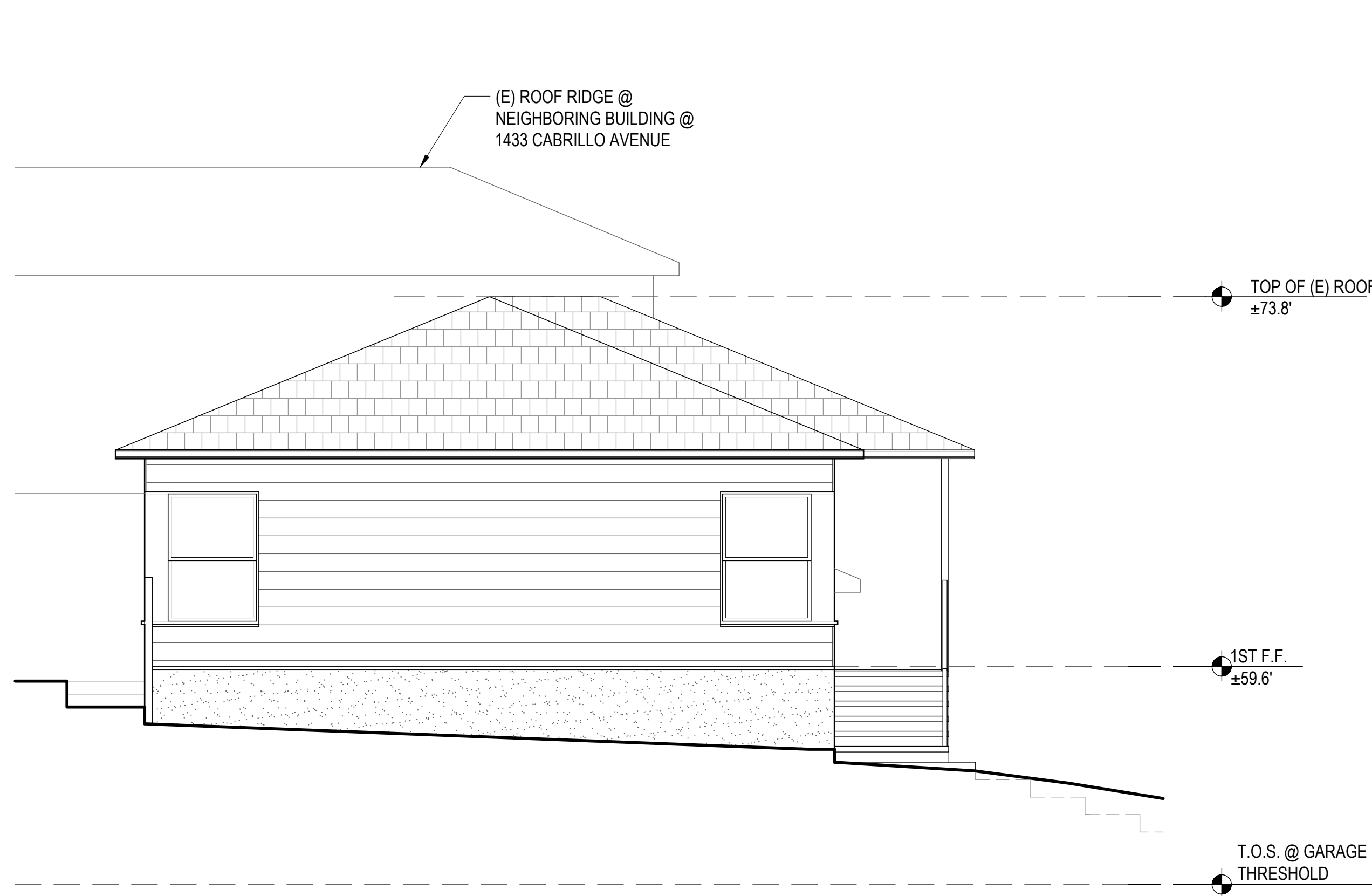
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SHEET TITLE:

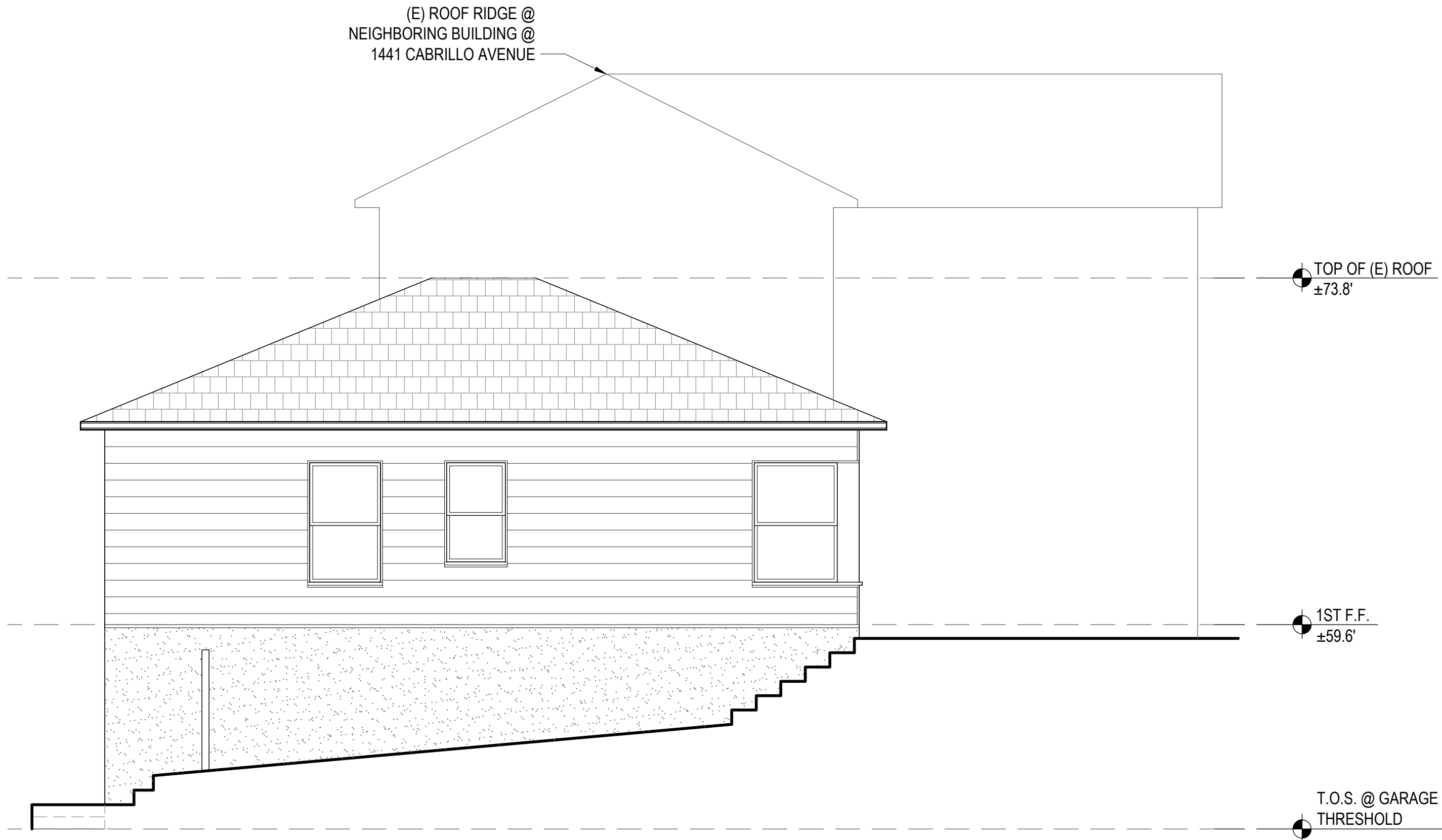
EXISTING &
PROPOSED
LEFT (EAST) &
RIGHT (WEST)
ELEVATIONS

SHEET NO.

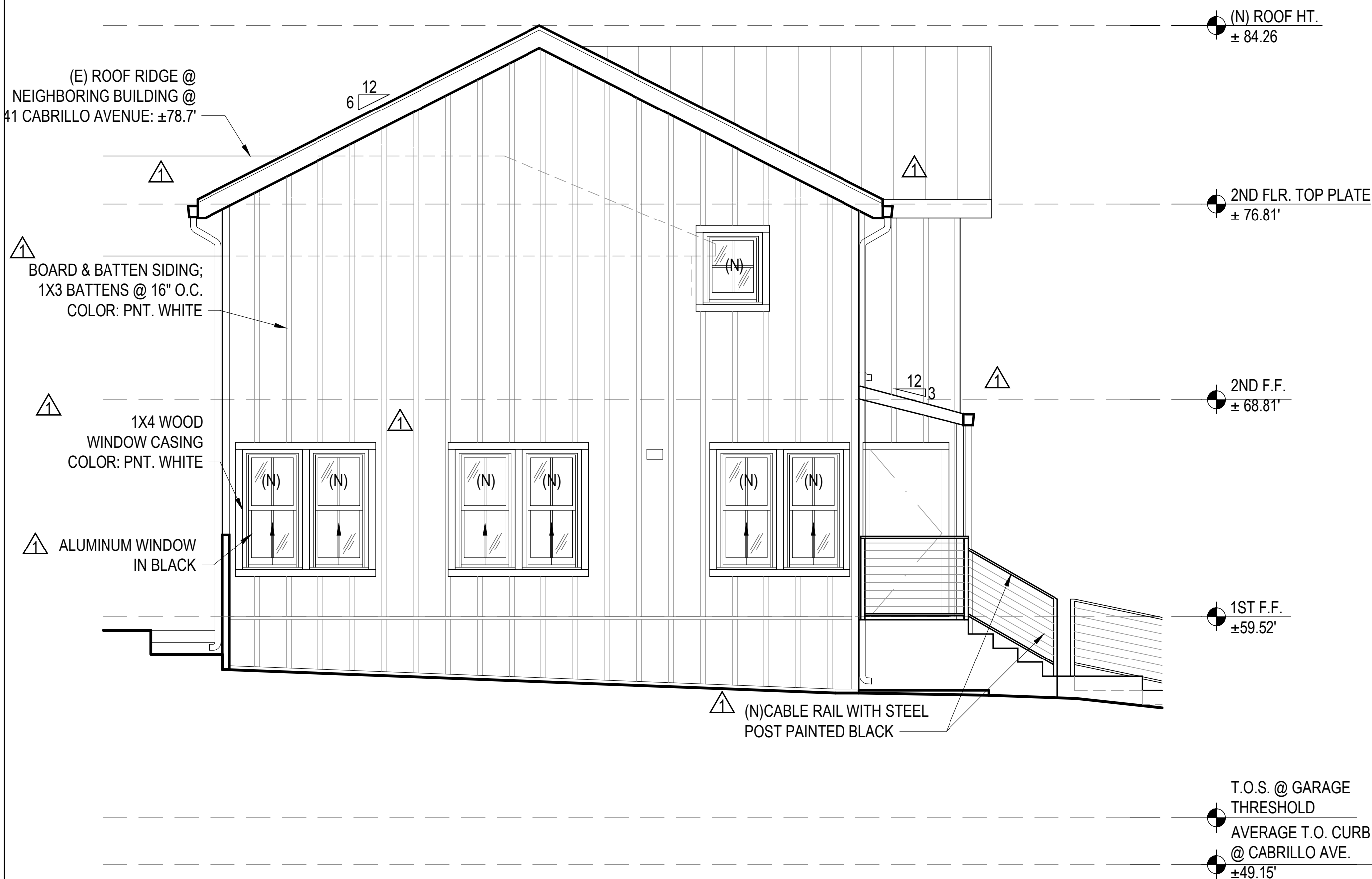
A2.3



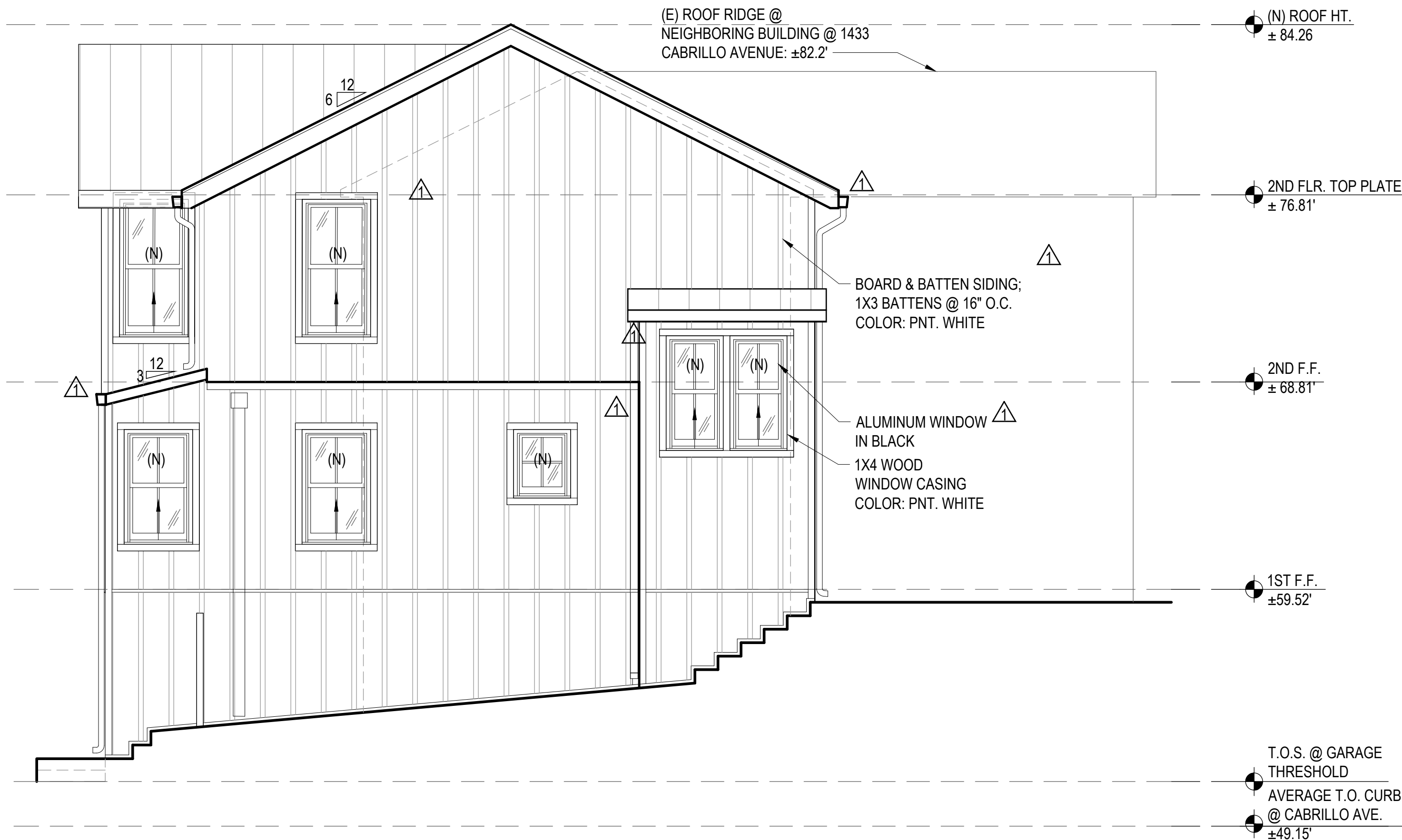
EXISTING LEFT (EAST) ELEVATION 3
SCALE: 1/4"=1'-0"



EXISTING RIGHT (WEST) ELEVATION 1
SCALE: 1/4"=1'-0"



PROPOSED LEFT (EAST) ELEVATION 4
SCALE: 1/4"=1'-0"



PROPOSED RIGHT (WEST) ELEVATION 2
SCALE: 1/4"=1'-0"

OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
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SHEET TITLE:	

EXISTING & PROPOSED LONGITUDINAL BUILDING SECTIONS

SHEET NO

A3.1



OWNER
KIERAN J. WOODS
1437 CABRILLO AVENUE
BURLINGAME, CA 94010
PHONE: 415.740.0335

ARCHITECT
MARK BRAND
ARCHITECTURE
744 HARRISON STREET
SAN FRANCISCO, CA 94107
PHONE: 415.543.7300

1437 CABRILLO AVE
BURLINGAME,
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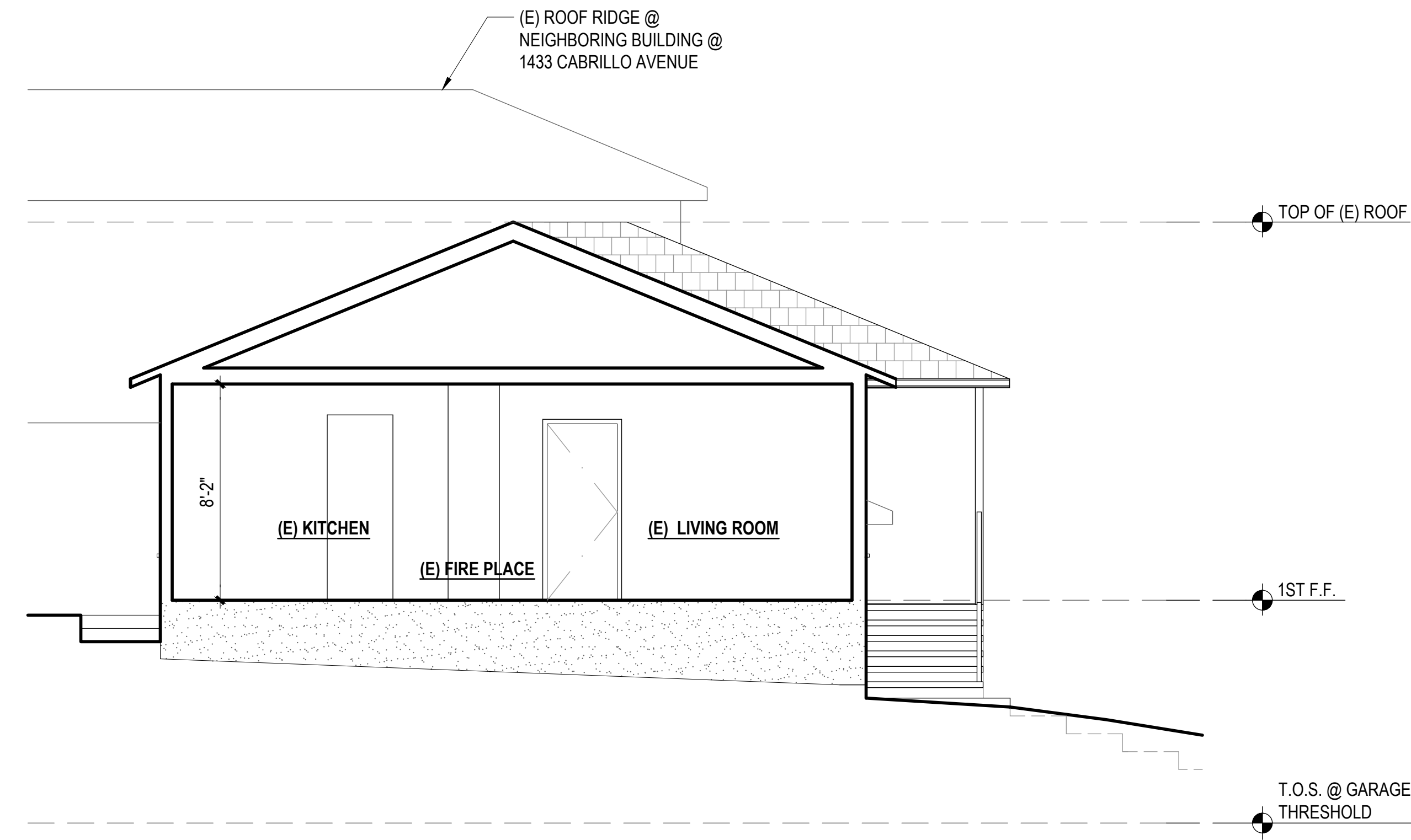
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SHEET TITLE:	

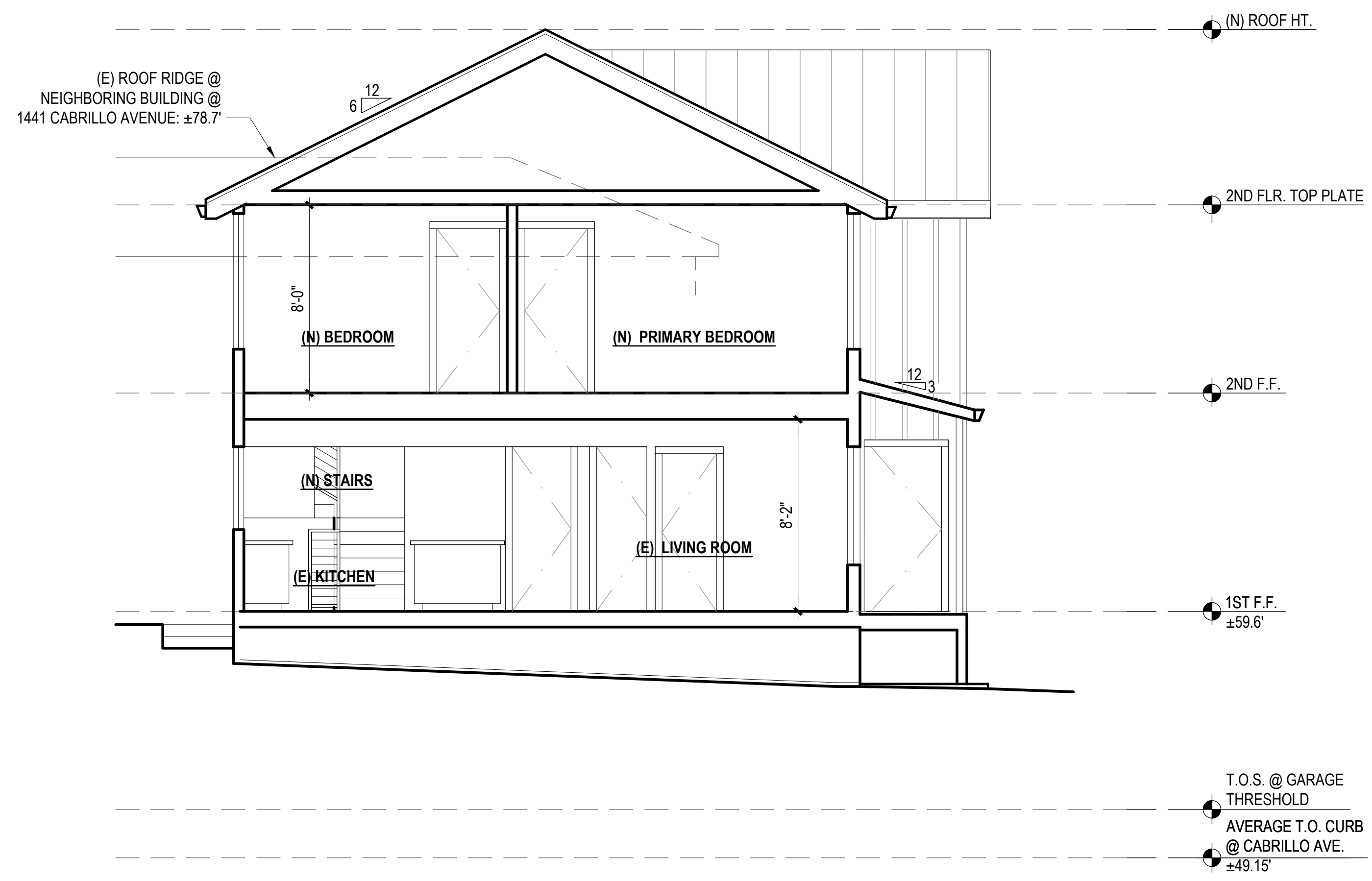
EXISTING & PROPOSED CROSS BUILDING SECTIONS

SHEET NO.

A3.2



EXISTING CROSS BUILDING SECTION
SCALE: 1/4"=1'-0"



PROPOSED CROSS BUILDING SECTION
SCALE: 1/4"=1'-0"