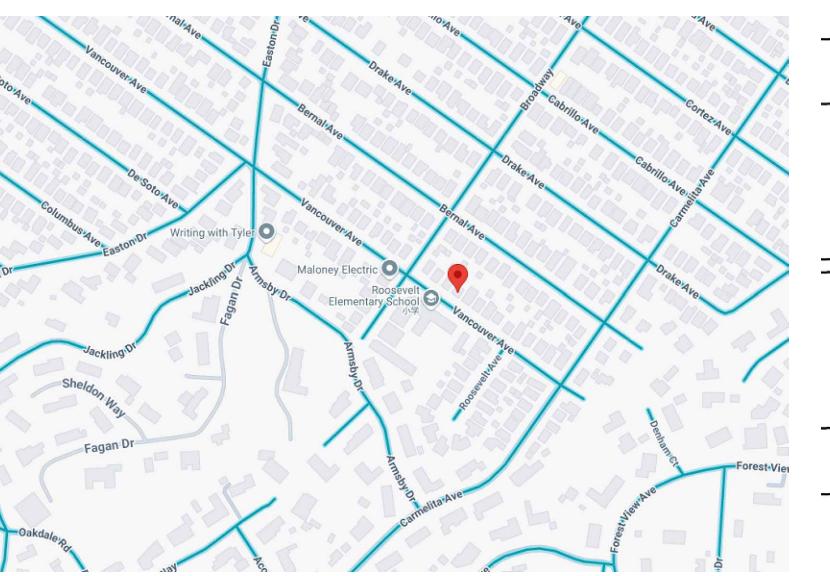
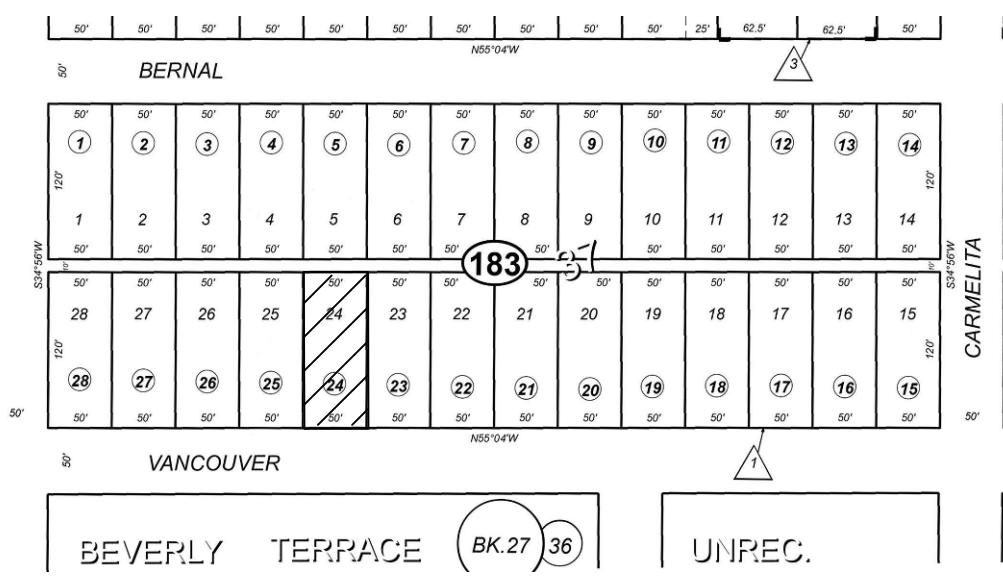


GENERAL NOTES <p>1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.</p> <p>2. BEFORE STARTING ANY PORTION OF WORK, THE CONTRACTOR SHALL VERIFY ANY AND ALL EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS AGAINST THE ACTUAL EXISTING CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT VERIFYING EXISTING CONDITIONS AND DISCOVERS AFTER THE WORK HAS STARTED ANY DISCREPANCIES, HE SHALL PROCEED TO PERFORM WHATEVER WORK IS REQUIRED TO CORRECT THE DISCREPANCIES AND BRING ABOUT THE PROPER EXECUTION OF THE PROJECT TO THE SATISFACTION OF THE DESIGNER, AT NO EXTRA COST TO THE OWNER.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.</p> <p>4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL OR STATE CODES AND REGULATIONS.</p> <p>5. ALL MATERIAL, EQUIPMENT AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS.</p> <p>6. ALL DIMENSIONS ARE ROUGH UNLESS OTHERWISE NOTED. ALL CABINETRY, TILE AND THE LIKE NEED TO BE FIELD VERIFIED PRIOR TO INSTALLATION.</p> <p>7. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AS SOON AS THEY ARE DISCOVERED.</p> <p>8. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES OR FAILURE OF THE CONTRACTOR TO VERIFY LOCATIONS AND MEASUREMENTS ON THE JOB.</p> <p>9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING, OR OTHER PERMITS AS MAY BE REQUIRED BY THE LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE STRUCTURAL ENGINEER FOR ANY SITE VISITS OR SPECIAL TESTING AS NEEDED TO COMPLETE ALL STRUCTURAL WORK AS DIRECTED BY THE STRUCTURAL ENGINEER.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FORWARDING ALL SHOP DRAWINGS TO THE DESIGNER FOR REVIEW AND APPROVAL. NO FABRICATION SHALL COMMENCE UNTIL BOTH DESIGNER AND OWNER HAVE REVIEWED AND APPROVED BY SIGNATURE ALL SHOP DRAWINGS.</p> <p>12. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.</p> <p>13. THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE.</p>	
CONSTRUCTION NOTES <p>CONSTRUCTION HOURS: WEEKDAYS 8AM-7PM SATURDAYS 9AM-6PM SUNDAYS AND HOLIDAYS NO WORK ALLOWED</p> <p>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.</p> <p>DEMOLITION PERMIT A COMPLETED SUPPLEMENTAL DEMOLITION PERMIT APPLICATION SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT APPLICATION. NOTE: THE DEMOLITION PERMIT WILL NOT BE ISSUED AND NO WORK CAN BEGIN (INCLUDING THE REMOVAL OF ANY BUILDING COMPONENTS) UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT. THE OWNER IS RESPONSIBLE FOR ASSURING THAT NO WORK IS AUTHORIZED OR PERFORMED. DEMOLITION OF A STRUCTURE REQUIRES A PERMIT FROM BAAQMD AND REQUIRED SIGN-OFFS FROM THE WATER, SEWER, PLANNING, AND RECYCLING DEPARTMENTS. THE PINK DEMOLITION PERMIT APPLICATION WILL NEED TO BE COMPLETED PRIOR TO BUILDING DEPARTMENT APPROVAL AND THE START OF WORK. CONTACT BAAQMD FOR QUESTIONS. (415)749-4979, EMAIL AT WWW.BAAQMD.GOV.</p> <p>CITY OF BURLINGAME BUSINESS LICENSE ANYONE DOING BUSINESS IN CITY OF BURLINGAME MUST HAVE A CURRENT CITY OF BURLINGAME BUSINESS LICENSE.</p> <p>THE CERTIFICATE OF OCCUPANCY WILL BE RESCINDED ONCE CONSTRUCTION BEGINS. A NEW CERTIFICATE OF OCCUPANCY WILL BE ISSUED AFTER THE PROJECT HAS BEEN FINALED. NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.</p> <p>TRENCHING, DIGGING, FOUNDATION, AND EXCAVATION WORK WITHIN THE TREE PROTECTION ZONES OF TREE #1 (WITHIN 58.3' OF TREE) AND STREET TREE #1 (WITHIN 15' OF TREE) SHALL BE EXCAVATED BY HAND IN COMBINATION WITH HAND TOOLS SUCH AS AN AIR KNIFE, ROTARY HAMMER WITH CLAY SPADE ATTACHMENT, OR SHOVELS AND UNDER THE DIRECT SUPERVISION OF THE PROJECT ARBORIST.</p>	

PROJECT INFORMATION <p>PROJECT ADDRESS: 1150 VANCOUVER AVE, BURLINGAME</p> <p>A.P.N: 026183250 LOT AREA: 6,000 Sq. Ft. ZONING: R-1 YEAR BUILT: 1922 STORIES: 2 OCCUPANCY: R-1 CONSTRUCTION TYPE: VB OCCUPANCY CLASSIFICATION : R-3</p>		 <p>VICINITY MAP</p>	 <p>LOT LOCATION</p>																													
F.A.R DIAGRAM <table border="1"> <thead> <tr> <th></th> <th>EXISTING RESIDENCE</th> <th>EXISTING GARAGE</th> <th>EXISTING ADU</th> <th>PROPOSED RESIDENCE</th> <th>PROPOSED GARAGE</th> <th>PROPOSED ADU</th> </tr> </thead> <tbody> <tr> <td>HABITABLE AREA</td> <td>1082 SF</td> <td>X</td> <td>X</td> <td>2441SF</td> <td>X</td> <td>615 SF</td> </tr> <tr> <td>NON-HABITABLE AREA</td> <td>310 SF</td> <td>222 SF</td> <td>X</td> <td>441 SF</td> <td>441 SF</td> <td>X</td> </tr> <tr> <td>TOTAL</td> <td>1392 SF</td> <td>222 SF</td> <td>X</td> <td>2882 SF</td> <td>441 SF</td> <td>615 SF</td> </tr> </tbody> </table>			EXISTING RESIDENCE	EXISTING GARAGE	EXISTING ADU	PROPOSED RESIDENCE	PROPOSED GARAGE	PROPOSED ADU	HABITABLE AREA	1082 SF	X	X	2441SF	X	615 SF	NON-HABITABLE AREA	310 SF	222 SF	X	441 SF	441 SF	X	TOTAL	1392 SF	222 SF	X	2882 SF	441 SF	615 SF	SCOPE OF WORK <ul style="list-style-type: none"> DEMOLISH AND REMOVE THE ENTIRE EXISTING ONE-STORY CONSTRUCTION. CONSTRUCT A NEW TWO-STORY BUILDING WITH 4 BEDROOMS AND 4 BATHROOMS. BUILD A ATTACHED ACCESSORY DWELLING UNIT (ADU) WITH A TOTAL AREA OF 584 SQ. FT.. UPGRADE THE ELECTRICAL SERVICE FROM 100A TO 200A. PROVIDE ELECTRICAL FOR NEW DETACHED ADU 100A. TREE REMOVAL: IDENTIFY OBSTRUCTIVE TREES IN THE PROJECT AREA. PROVIDE PLUMBING FOR NEW EQUIPMENT. PROVIDE ELECTRICAL FOR NEW EQUIPMENT PROVIDE NEW HVAC FOR THE HOUSE. NEW LIGHTING WHERE OCCURS. NEW WINDOWS AND DOORS. 		
	EXISTING RESIDENCE	EXISTING GARAGE	EXISTING ADU	PROPOSED RESIDENCE	PROPOSED GARAGE	PROPOSED ADU																										
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IMPERVIOUS/PERVIOUS LOT COVERAGE DIAGRAM <table border="1"> <thead> <tr> <th>PRIMARY RESIDENCE</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>DECK/PORCH</td> <td>410 SF/37 SF</td> </tr> <tr> <td>LANDSCAPING</td> <td>1886 SF +/-</td> </tr> <tr> <td>PAVING</td> <td>1531 SF +/-</td> </tr> <tr> <td>TOTAL</td> <td>3864 SF +/-</td> </tr> </tbody> </table>		PRIMARY RESIDENCE	PROPOSED	DECK/PORCH	410 SF/37 SF	LANDSCAPING	1886 SF +/-	PAVING	1531 SF +/-	TOTAL	3864 SF +/-	UTILITIES NOTES <ul style="list-style-type: none"> PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, AND ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT THE MAIN AND PER CITY REQUIREMENTS. AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR THESE ITEMS. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. WATER METER SHALL BE SIZED TO ACCOMMODATE SPRINKLER SYSTEM FLOW DEMAND. UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL. SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1710. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT. PLUG AND DISCONNECT ALL GAS LINES AND REMOVE GAS METER. NO GAS IS ALLOWED TO BE SUPPLIED TO THE PROPERTY. 																				
PRIMARY RESIDENCE	PROPOSED																															
DECK/PORCH	410 SF/37 SF																															
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PUBLIC WORKS NOTES <p>CITY PUBLIC RIGHT-OF-WAY CONSTRUCTION HOURS (INCLUDING HAULING) WEEKDAYS 8AM-5PM SATURDAYS, SUNDAYS AND HOLIDAYS NO WORK ALLOWED</p> <p>IF REQUIRED, A GRADING PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS</p> <p>THIS PROJECT IS A "TYPE I" PROJECT THAT REQUIRES A STORMWATER CONSTRUCTION POLLUTION PREVENTION PERMIT. THIS PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).</p> <p>OWNER IS REQUIRED TO SUBMIT AN ELEVATION CERTIFICATE FOR REVIEW/APPROVAL BY THE PUBLIC WORKS ENGINEERING DEPARTMENT SHOWING THAT THE FINISH FLOOR IS 1' ABOVE THE DETERMINED BASE FLOOD ELEVATION, PRIOR TO BUILDING PERMIT FINAL.</p>		SHEET INDEX <p>A0 COVER SHEET/AREA MAP/ PLOT LOCATION MAP</p> <p>A1 SURVEY PLAN</p> <p>A2 EXISTING SITE PLAN-DEMOLITION PLAN</p> <p>A3 PROPOSED SITE PLAN</p> <p>A4 PROPOSED FLOOR PLAN-1ST FLOOR</p> <p>A5 PROPOSED FLOOR PLAN-2ND FLOOR</p> <p>A6-1 PROPOSED EXTERIOR ELEVATIONS</p> <p>A6-2 PROPOSED EXTERIOR ELEVATIONS</p> <p>A7 PROPOSED SECTIONS</p> <p>A8 PROPOSED ROOF PLANS</p> <p>A9 PROPOSED DOOR & WINDOWS SCHEDULE</p> <p>A10 3D RENDERING</p> <p>A11 FLOOR AREA DIAGRAM </p> <p>CG CAL GREEN CHECKLIST</p> <p>CG CAL GREEN CHECKLIST</p> <p>T1 TREE PROTECTION PLAN</p> <p>L1-1 PROPOSED LANDSCAPE PLAN</p> <p>L1-2 PROPOSED LANDSCAPE PLANTING PLAN</p> <p>OWNER RAREFUND PROJECT 9 LLC 750-752 CHARCOT AVE, SAN JOSE, CA 95131 TEL (412) 680 3449 EMAIL teammetricinc@gmail.com</p> <p>DESIGNER TEAM METRIC INC 750-752 CHARCOT AVE, SAN JOSE, CA 95131 TEL(412) 680 3449 EMAIL teammetricinc@gmail.com</p> <p>BUILDER TEAM METRIC INC 750-752 CHARCOT AVE, SAN JOSE, CA 95131 TEL(412) 680 3449 EMAIL teammetricinc@gmail.com</p> <p>SURVYOR ZHEN WANG ZHEN'S LAND SURVEYING CORP. TEL(415) 802 9945 EMAIL info@zhenlandsurveying.com</p> <p>STRUCTURE ENGINEER</p> <p>ENERGY CONSULTANT</p> <p>APPLICABLE CODES</p> <p>2024 BURLINGAME MUNICIPAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA GREEN CODE 2022 CALIFORNIA EXISTING BUILDING CODE 2022 INTERNATIONAL EXISTING BUILDING CODE</p> <p>DEFERRED SUBMITTALS</p> <ul style="list-style-type: none"> DEMOLITION OF EXISTING SFR FIRE SPRINKLERS EV CHARGER SOLAR PV  <p>NOTE: THE DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT.</p>																														



TEAM METRIC INC.
752 Charcot Avenue,
San Jose, CA 95131
408 899 8522
info@teammetricinc.com

1 07/14/2025
2 09/02/2025

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DEC 30, 2025

CITY OF BURLINGAME
CDD-PLANNING DIVISION

**SINGLE FAMILY
DESIGN**

1150 VANCOUVER
BURLINGAME
CA 94010



JOB NUMBER: TM20240815 DRAWN BY: CC

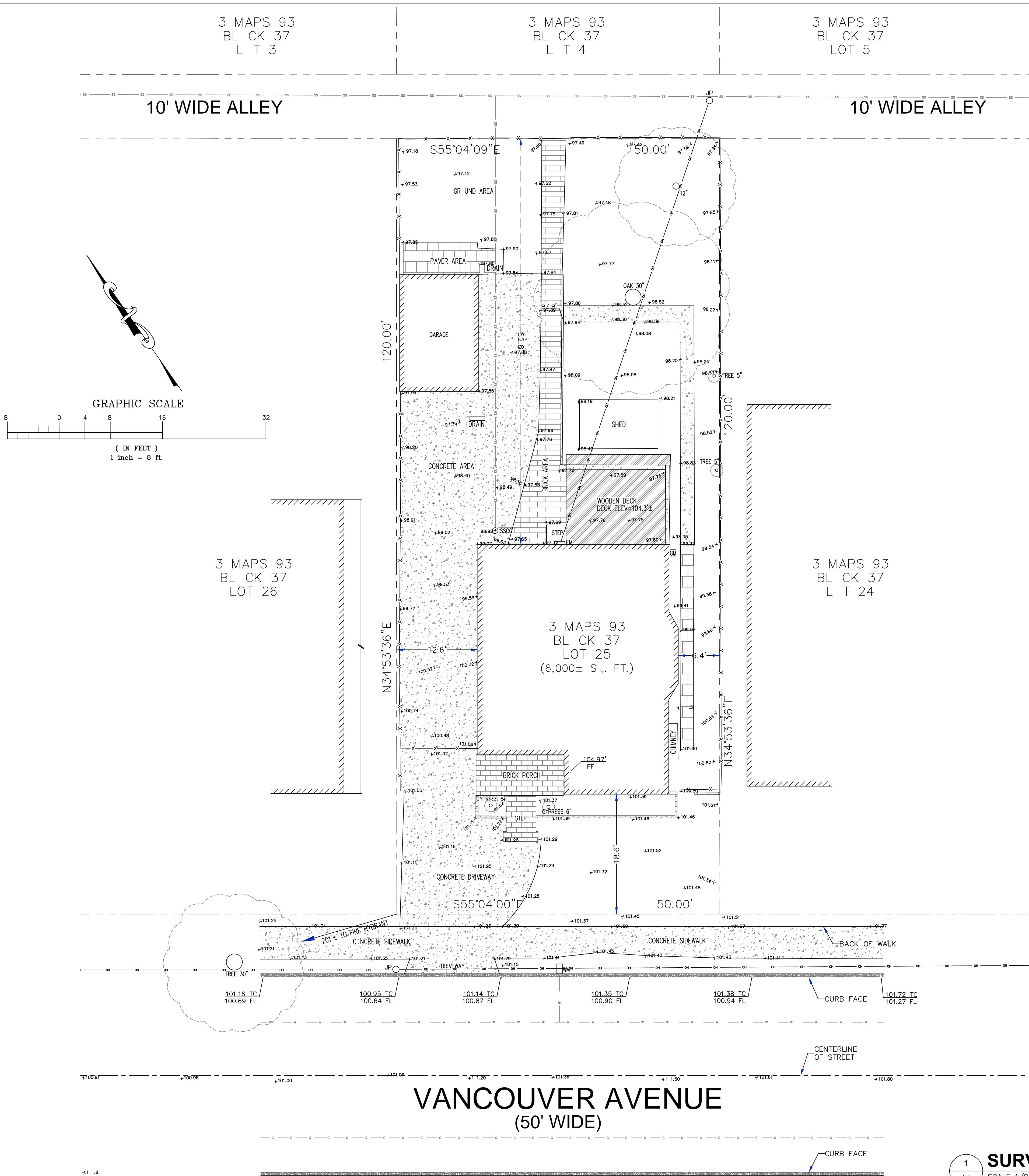
DATE: TM20240815 DRAWN BY: PG

SCALE: AS SHOWN IN DRAWINGS

**COVER SHEET/AREA MAP/
PLOT LOCATION MAP**

SHEET NUMBER:

A0



ABBREVIATIONS AND LEGEND			
BSBL	BUILDING SETBACK LINE		SANITARY SEWER MANHOLE
CB	CATCH BASIN		ST RM DRAIN MANH E
CONC	CONCRETE		FIRE HYDRANT
EM	ELECTRIC METER	—SS—	SANITARY SEWER LINE
FL	FLOW LINE	—W—	WATER LINE
FT	FRUIT TREE	—OH—	OVERHEAD ELECTRICAL LINE
GM	GAS METER	—G—	GAS LINE
GND	GROUND		
HCR	HANDICAP RAMP		
JP	JOINT POLE		
PUE	PUBLIC UTILITY EASEMENT		
SP	SIGN POLE		
SSCO	SANITARY SEWER CLEAN OUT		
SFNF	SEARCH FOR NOT FOUND		
TC	TOP OF CURB		
TEL	TELEPHONE		
UNK T	UNKNOWN TREE		
WM	WATER METER		
— - —	BOUNDARY LINE		
—X—X—	EXISTING FENCE LINE		
	EXISTING BUILDING OUTLINE		
()	INDICATES REFERENCE MAP NUMBER		

The logo for Team Metric consists of a stylized graphic element above the company name. The graphic is composed of several curved, overlapping black lines that create a shape resembling a rising sun or a flame. This is positioned above the text "TEAM METRIC" in a bold, sans-serif font.

TEAM METRIC INC.

752 Charcot Avenue,
San Jose, CA 95131

408 899 8522
info@teammetricinc.com

REFERENCE INFORMATION

(1) 3 MAPS 93, SAN MATEO COUNTY RECORDS
(2) 56 LLS 17, SAN MATEO COUNTY RECORDS

EASEMENTS:

EASEMENTS SHOWN ARE BASED ON A REVIEW OF THE SUBDIVISION MAP AND A TITLE REPORT BY CHICAGO TITLE COMPANY, DATED 01/06/2025.

NOTE:

- (1) DATE OF FIELD SURVEY: FEBRUARY, 2025.
- (2) UNLESS OTHERWISE NOTED, TREES SHOWN WERE MEASURED AT THE GROUND AND TRUNK DIAMETERS WERE MEASURED 4' ABOVE GROUND. DRIP LINES WERE NOT MEASURED AND DEPICTED GRAPHICALLY IN THEIR APPROXIMATE LOCATIONS ONLY.
- (3) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
- (4) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
- (5) ELEVATION SHOWN ARE ON ASSUMED ELEVATION DATUM.

SPECIAL NOTE:

THE LOT AREA SHOWN ON THIS BOUNDARY SURVEY MAP IS CALCULATED BASED ON PRECISE FIELD MEASUREMENTS AND THE DIMENSIONS RECORDED ON OFFICIAL SUBDIVISION OR RECORD OF SURVEY MAPS. THIS AREA IS DETERMINED BY A LICENSED SURVEYOR AND REFLECTS THE MOST ACCURATE AND RELIABLE INFORMATION AVAILABLE. PLEASE BE AWARE THAT FIGURES FROM CITY/COUNTY RECORDS OR REAL ESTATE WEBSITES MAY DIFFER DUE TO VARIATIONS IN DATA SOURCES OR ESTIMATION METHODS AND SHOULD NOT BE CONSIDERED AS ACCURATE AS THIS SURVEY.

UTILITY NOTE

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

BOUNDARY TOPOGRAPHIC SURVEY

L T 25, BL CK 37, AS SH WN N "MAP
F EAST N ADDITI N T BURLINGAME
NO. 2", B OK 3 OF MAPS AT PAGE 93,
SAN MATEO COUNTY RECORDS.
APN 026-183-250

(1150 VANCOUVER AVENUE)

The image shows a handwritten signature "Zhen Wang" in blue ink on the left, followed by a horizontal line. To the right is a circular official seal with the text "LICENSED LAND SURVEYOR" at the top, "ZHEN WANG" in the center, "Exp. 03-31-26" at the bottom, "9653" in the middle bottom, and "STATE OF CALIFORNIA" around the bottom edge.

ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: (415)802-9945 | INFO@ZHENSLANDSURVEYING.COM SHEET 1 OF 1 SHEET

SINGLE FAMILY DESIGN

1150 VANCOUVER
BURLINGAME
CA 94010

RE: DRAWN BY:
0240815 CC
0240815 DRAWN BY:
E: PG
SHOWN IN DRAWINGS
ATTITLE:

SURVEY PLAN

ST NUMBER:



SURVEY PLAN

SCALE $1/8''$ = $1'-0''$

N

A1



SCOPE OF WORK FOR DEMOLITION

- DEMOLISH AND REMOVE THE ENTIRE EXISTING ONE-STORY CONSTRUCTION.
- DEMOLISH EXISTING WOODEN DECK.
- DEMOLISH EXISTING SHED.
- DEMOLISH EXISTING DETACHED GARAGE.
- REMOVE GROUND MATERIALS SUCH AS BRICK PAVING AND PAVER PATHWAYS.
- REMOVE TREES T-1, T-2, T-6, T-7.
- PROVIDE PROTECTION FOR TREE T-3.

TREE REMOVAL SCHEDULE					
	CBH	LIVE OR DEAD	REMOVAL OR MAINTAIN	HERITAGE	TYPE
T01	13	LIVE	REMOVAL	NO	IRISH YEW
T02	13	LIVE	REMOVAL	NO	IRISH YEW
T03*	3	LIVE	MAINTAIN	NO	CHINESE PISTACHE
T04*	94	LIVE	REMOVAL	NO	LIVE OAK
T05	39	LIVE	MAINTAIN	NO	APPLE
T06	13	LIVE	MAINTAIN	NO	HOLLY
T07	14	LIVE	MAINTAIN	NO	CHAMELIA
T08*	50	LIVE	MAINTAIN	NO	LIVE OAK
T09	38	LIVE	MAINTAIN	NO	LIVE OAK
T10*	94	LIVE	MAINTAIN	NO	SWEET GUM

CBH= ADJUSTED TRUNK CIRCUMFERENCE T1-T10 TREE NUMBERS

T1-T10= TREE NUMBERS
T*= PROTECTED TREES

**T = PROTECTED TREES
X = TREE REMOVALS**

X- TREE REMOVALS

NOTE: T8, T9, AND T10 ARE NO

NOTE: 18, 19, AND 210 ARE NOT WITHIN THE APPLICATION PROPERTY BOUNDARY

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07/14/2025

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BURLINGAME
CA 94010

JOB NUBER: DRAWN BY:
TM20240815 CC

DATE: DRAWN BY:
TM20240815 PG

SCALE:
AS SHOWN IN DRAWINGS

EXISTING SITE PLAN DEMOLITION PLAN

SHEET NUMBER

UMBER.

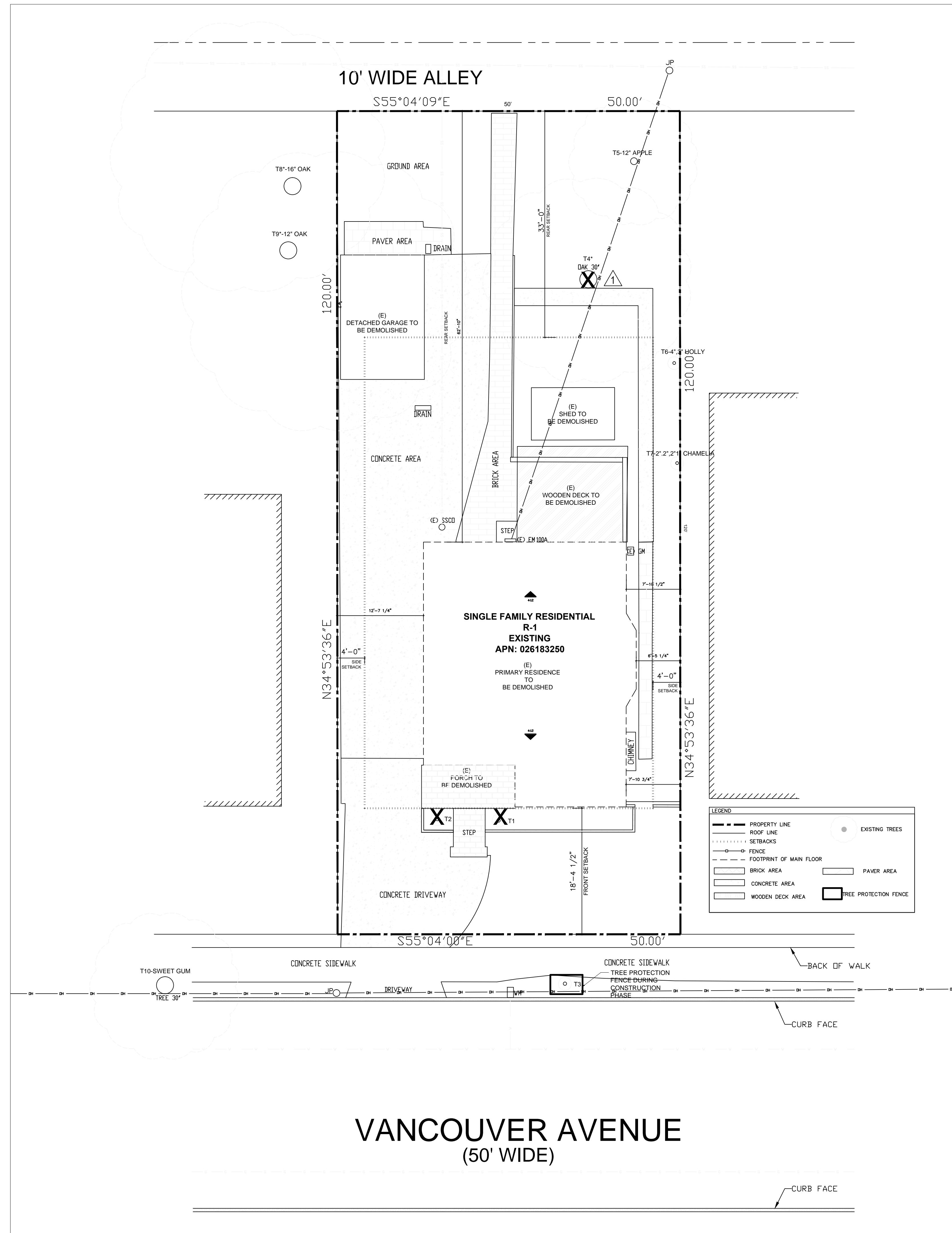
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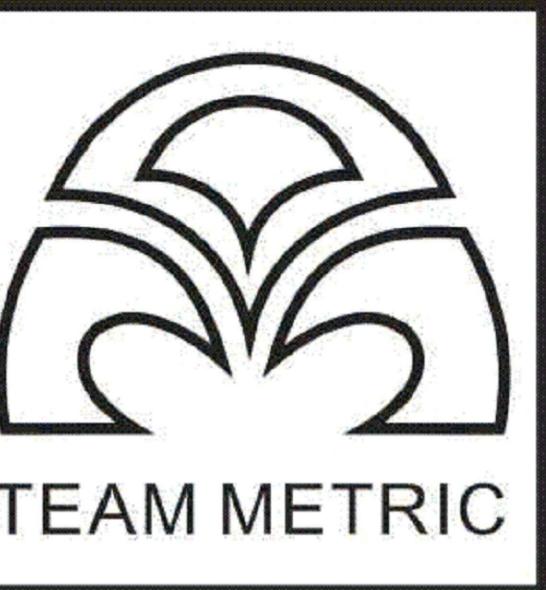
A2

Digitized by srujanika@gmail.com

A2

113



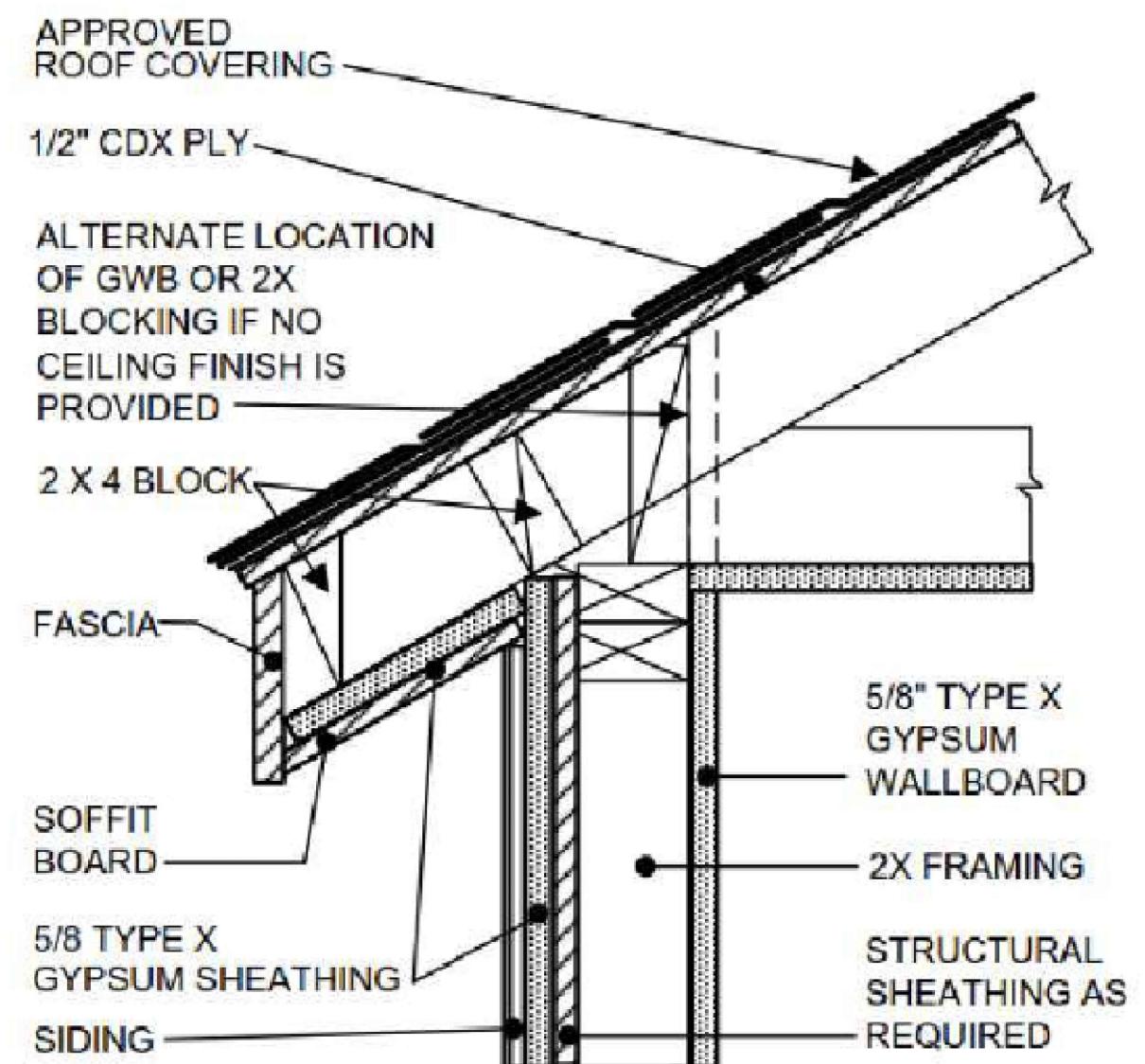


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1 07/14/2025
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3 10/07/2025



1 HR RATED WALL AND
PROTECTED EAVE OVERHANG
SCALE 3" = 1'-0"



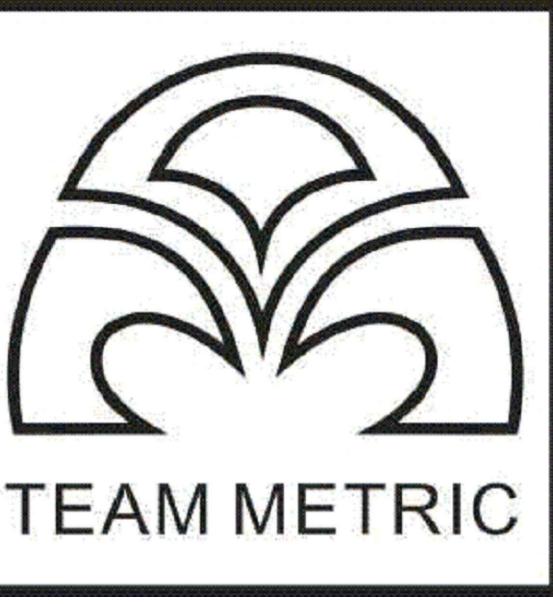
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CA 94010

JOB NUMBER: TM20240815 DRAWN BY: CC
DATE: TM20240815 DRAWN BY: PG
SCALE: AS SHOWN IN DRAWINGS
SHEET TITLE: PROPOSED SITE PLAN

SHEET NUMBER:

A3

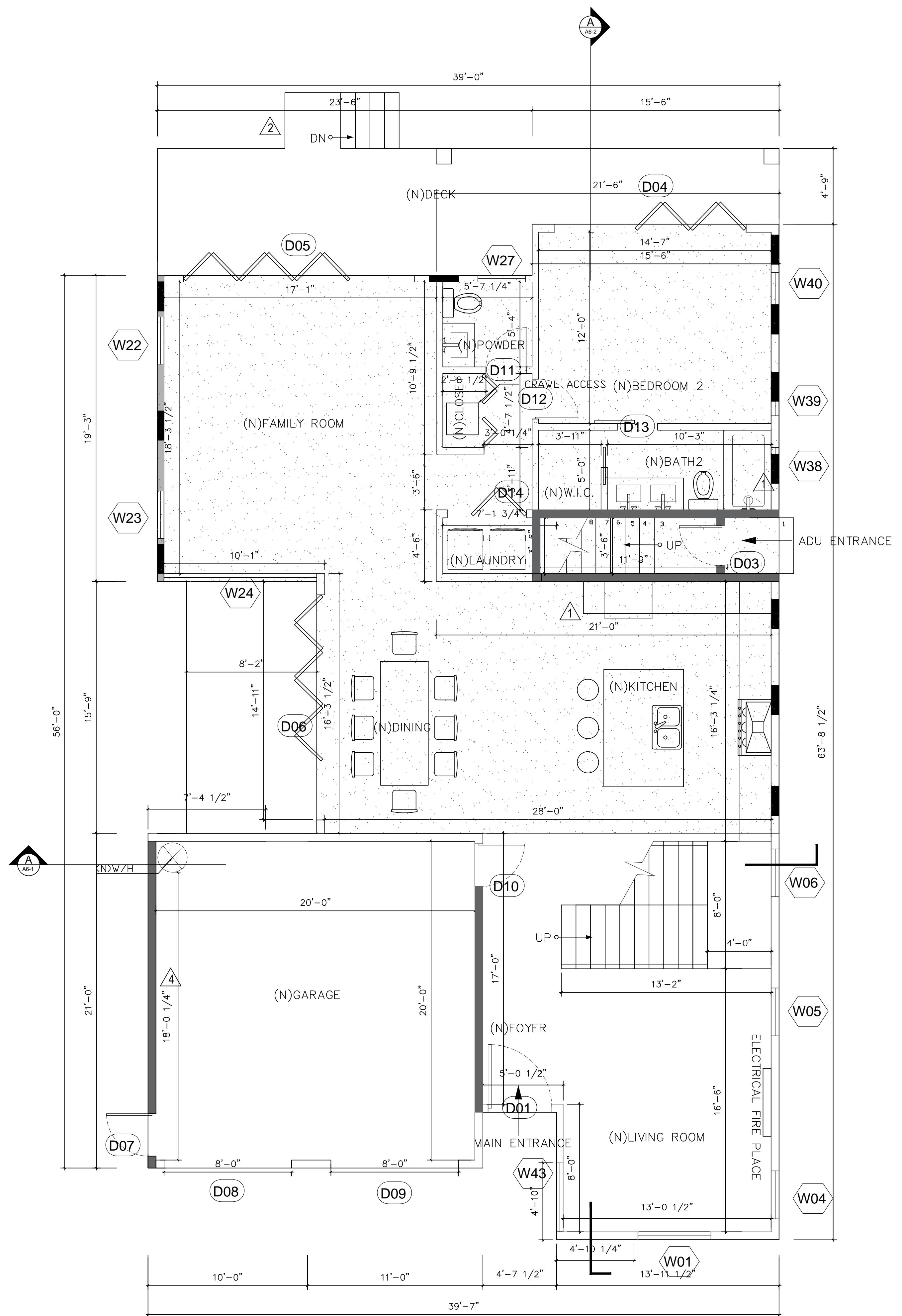


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1	07/14/2025
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4	10/28/2025



CRAWL SPACE CALCULATION

CRAWL SPACE VENTILATION REQUIREMENT:

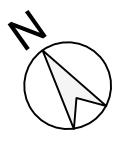
1 ST FL. 1257 S.F./150= 8.83 S.F.
PROVIDED CRAWL SPACE VENT: 11 X 0.84 S.F./EA=9.24 S.F.
9.24S.F. > 8.83 S.F. IS OK

LEGEND	
NEW WALL	
1 HOUR FIRE RATED WALL SEE DETAIL 3/A4-2	
CRAWL SPACE AREA 1257 SF	
CRAWL SPACE VENT	

PROPOSED FIRST FLOOR PLAN

1
A4

SCALE 1/4" = 1'-0"



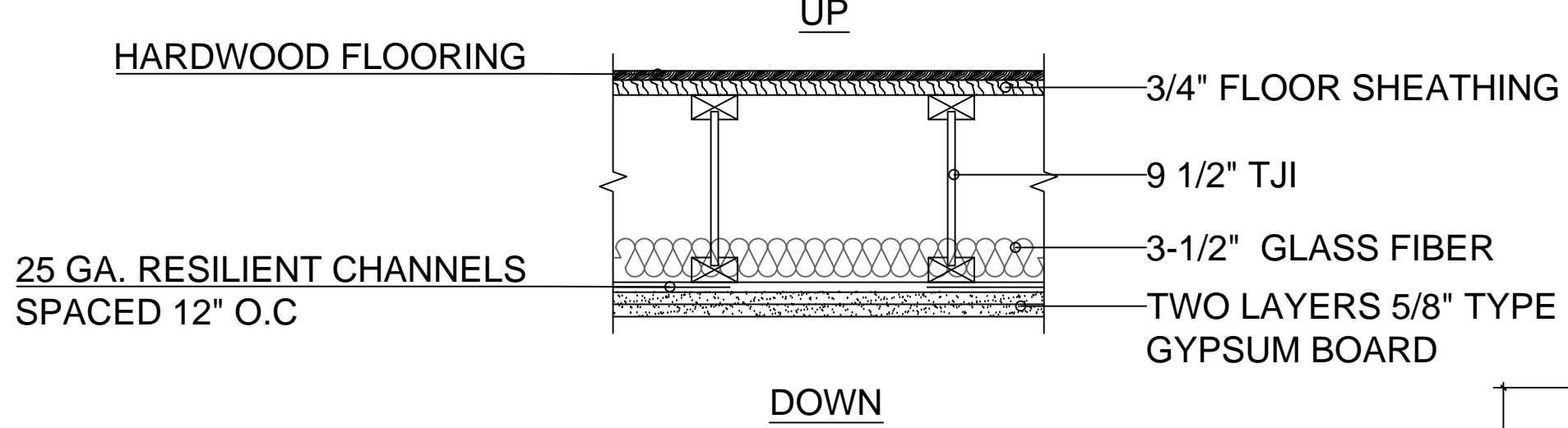
SINGLE FAMILY DESIGN

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BURLINGAME
CA 94010

JOB NUMBER: TM20240815 DRAWN BY: CC
DATE: TM20240815 DRAWN BY: PG
SCALE: AS SHOWN IN DRAWINGS
SHEET TITLE: PROPOSED FLOOR PLAN-1ST FLOOR
SHEET NUMBER:

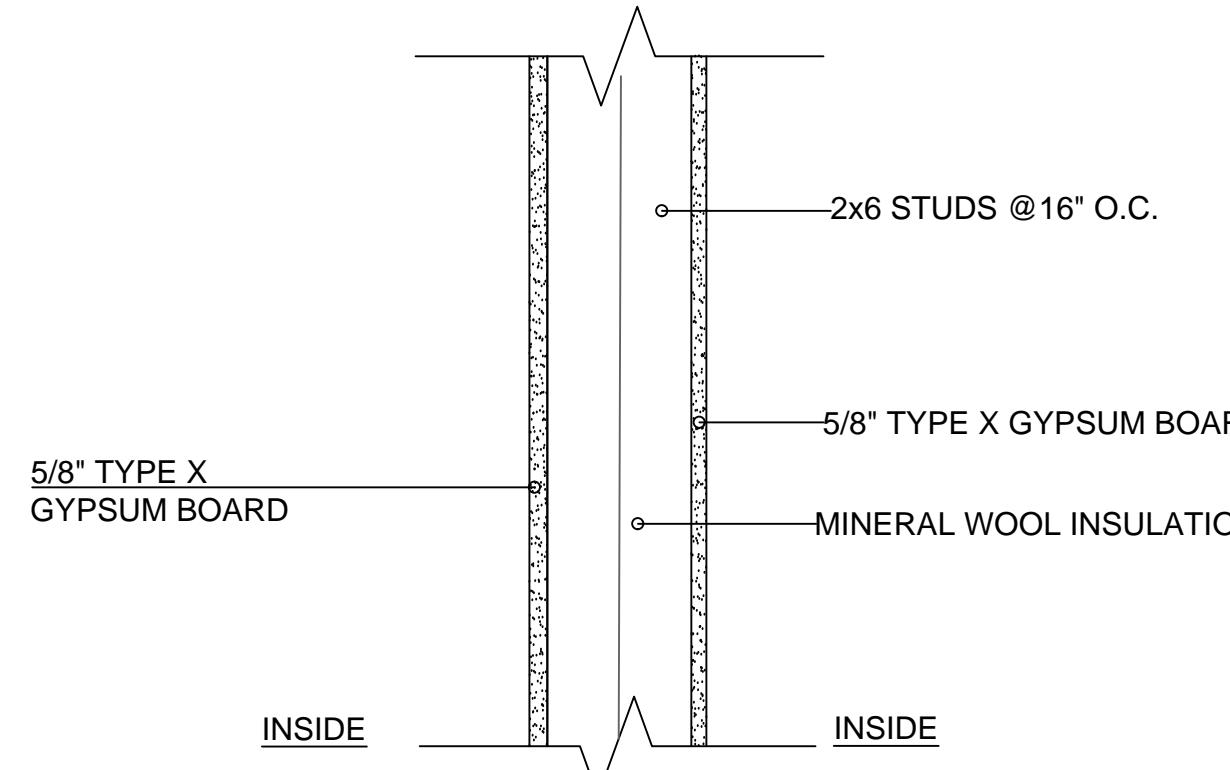
A4

1 HOUR RATED PER CBC 2022, TABLE 721.1(3) 21-1.1



PROPOSED 1 HOUR CEILING DETAIL

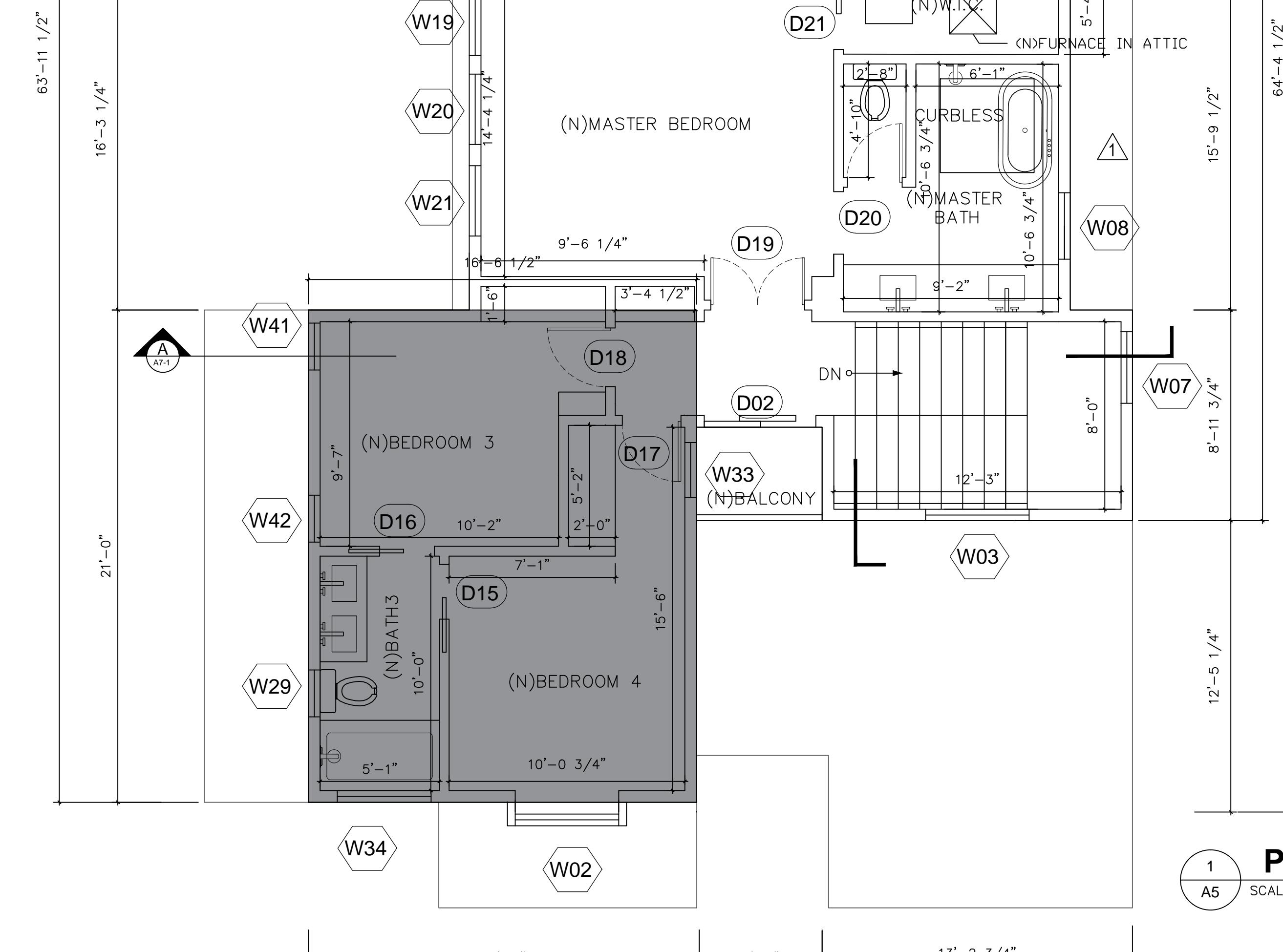
SCALE 11/2" = 1'-0"



1 HOUR RATED PER CBC 2022, TABLE 721.1(2) 15-1.12

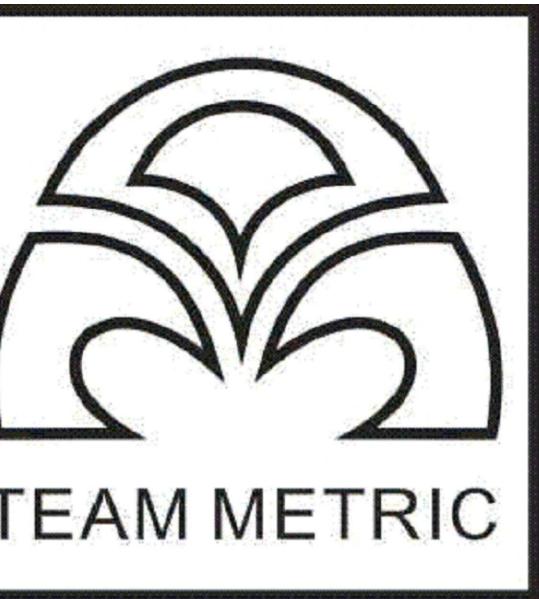
PROPOSED 1 HOUR INTERIOR WALL DETAIL

SCALE 11/2" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"



TEAM METRIC INC.

752 Charcot Avenue,
San Jose, CA 95131

408 899 8522
info@teammetricinc.com

07/14/2025

SINGLE FAMILY
DESIGN

1150 VANCOUVER
BURLINGAME
CA 94010

JOB NUMBER:
TM20240815

DRAWN BY:
CC

DATE:
TM20240815

DRAWN BY:
PG

SCALE:
AS SHOWN IN DRAWINGS

SHEET TITLE:
PROPOSED FLOOR PLAN-2ND FLOOR

SHEET NUMBER:

A5

MATERIALS LISTS

1. Window materials I

- BLACK ALUMINUM FRAME CASEMENT WINDOW.
- TEMPERED INSULATED GLASS UNIT.
- FRAME FINISH: MATTE BLACK, POWDER-COATED.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH SEALED PERIMETER JOINTS.
- PROVIDE CONTINUOUS FLASHING AND WEATHER-RESISTANT BARRIER INTEGRATION.

2. Wall materials I

- PREMIUM CLEA RIRON ASH SILLING

CRYPTOMERA JAPONICA

DIMENSIONS: 1 X 6 X 12 SHPLP

• 145-11/16" (370MM) LENGTH

• 5.33 SF/PIECE

3. Glass Panel

- 42" HIGH TEMPERED GLASS PANELS

FROSTED GLASS

PREMIUM BLACK STEEL TRIM

4. Garage Door

- 5

5. Roof materials I

GREY - MATTE

6. Roof materials II

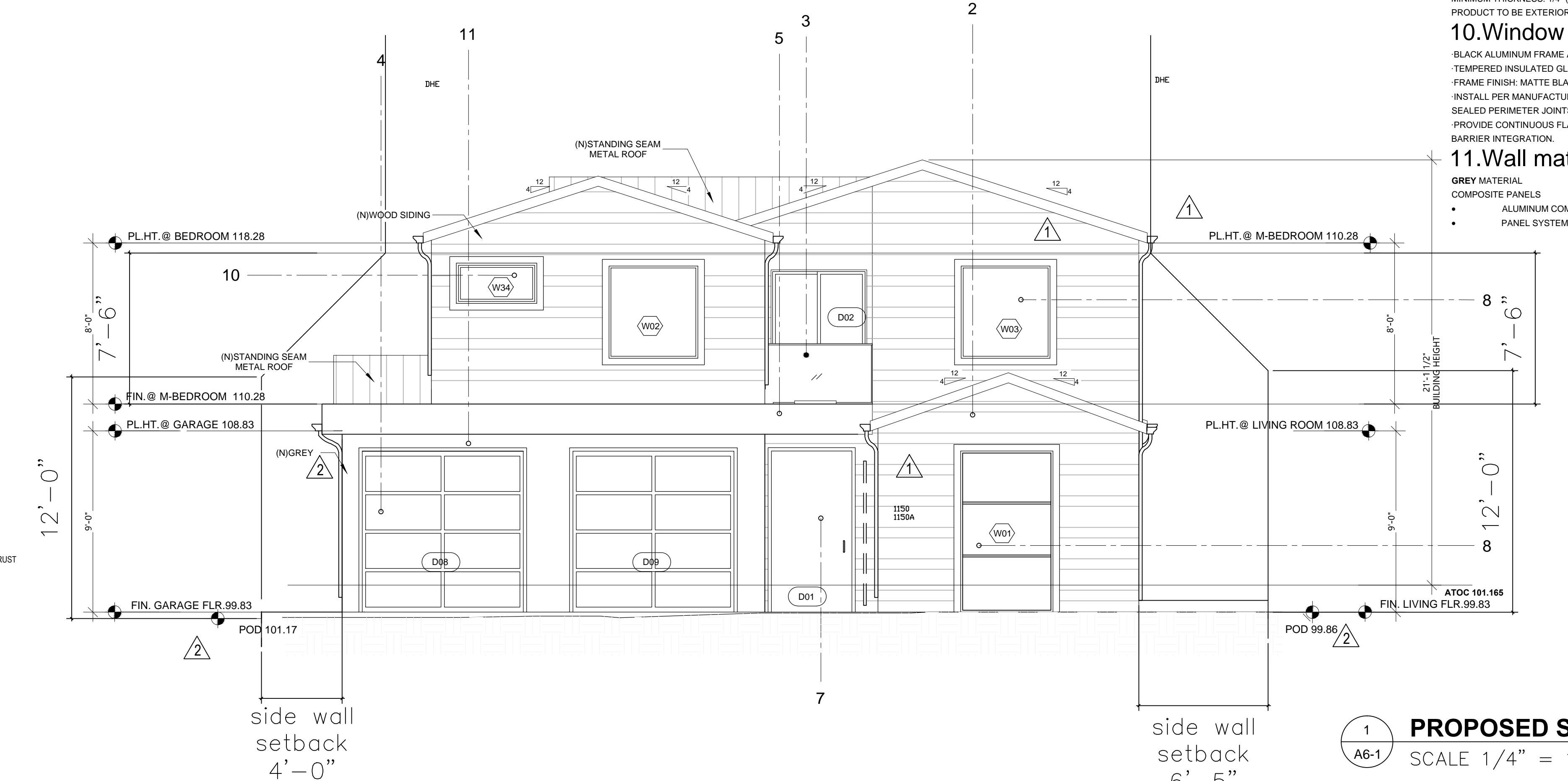
- BLACK STANDING SEAM METAL ROOF.
- 24 GAUGE PREFINISHED STEEL PANELS, COLOR: MATTE BLACK.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH CONCEALED FASTENERS.
- PROVIDE CONTINUOUS WATERPROOF MEMBRANE UNDERLayment.

7. Door materials

- STEEL: 12-GAUGE GALVANIZED STEEL.
- DOOR: PRE-HUNG 2" DOOR SLAB WITH 6" INSULATED JAMB FOR EASY INSTALLATION
- HINGES: HEAVY DUTY AEROSPACE GRADE BULLET HINGES THAT CAN SUPPORT OVER 1500 POUNDS
- INSULATION: POLYURETHANE FOAM INJECTED

8. Window materials II

- BLACK ALUMINUM FRAME FIX WINDOW.
- TEMPERED INSULATED GLASS UNIT.
- FRAME FINISH: MATTE BLACK, POWDER-COATED.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH SEALED PERIMETER JOINTS.
- PROVIDE CONTINUOUS FLASHING AND WEATHER-RESISTANT BARRIER INTEGRATION.



9. Deck

- SELF-LEVELING CEMENT UNDERLAYMENT FOR PATIO SLAB.
- APPLY OVER STRUCTURAL SLAB OR PREPARED BASE AS SPECIFIED.
- MINIMUM THICKNESS: 1/4" (6mm) OR AS REQUIRED TO ACHIEVE LEVEL FINISH.
- PRODUCT TO BE EXTERIOR-GRADE, SUITABLE FOR OUTDOOR USE AND FREEZE-THAW CONDITIONS.

10. Window materials III

- BLACK ALUMINUM FRAME AWNING WINDOW.
- TEMPERED INSULATED GLASS UNIT.
- FRAME FINISH: MATTE BLACK, POWDER-COATED.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH SEALED PERIMETER JOINTS.
- PROVIDE CONTINUOUS FLASHING AND WEATHER-RESISTANT BARRIER INTEGRATION.

11. Wall materials II

- GREY MATERIAL
- COMPOSITE PANELS
- ALUMINUM COMPOSITE MATERIAL (ACM) PANELS WITH MATTE BLACK FINISH.
- PANEL SYSTEM TO BE ROUTE-AND-RETURN TYPE WITH CONCEALED FASTENERS.

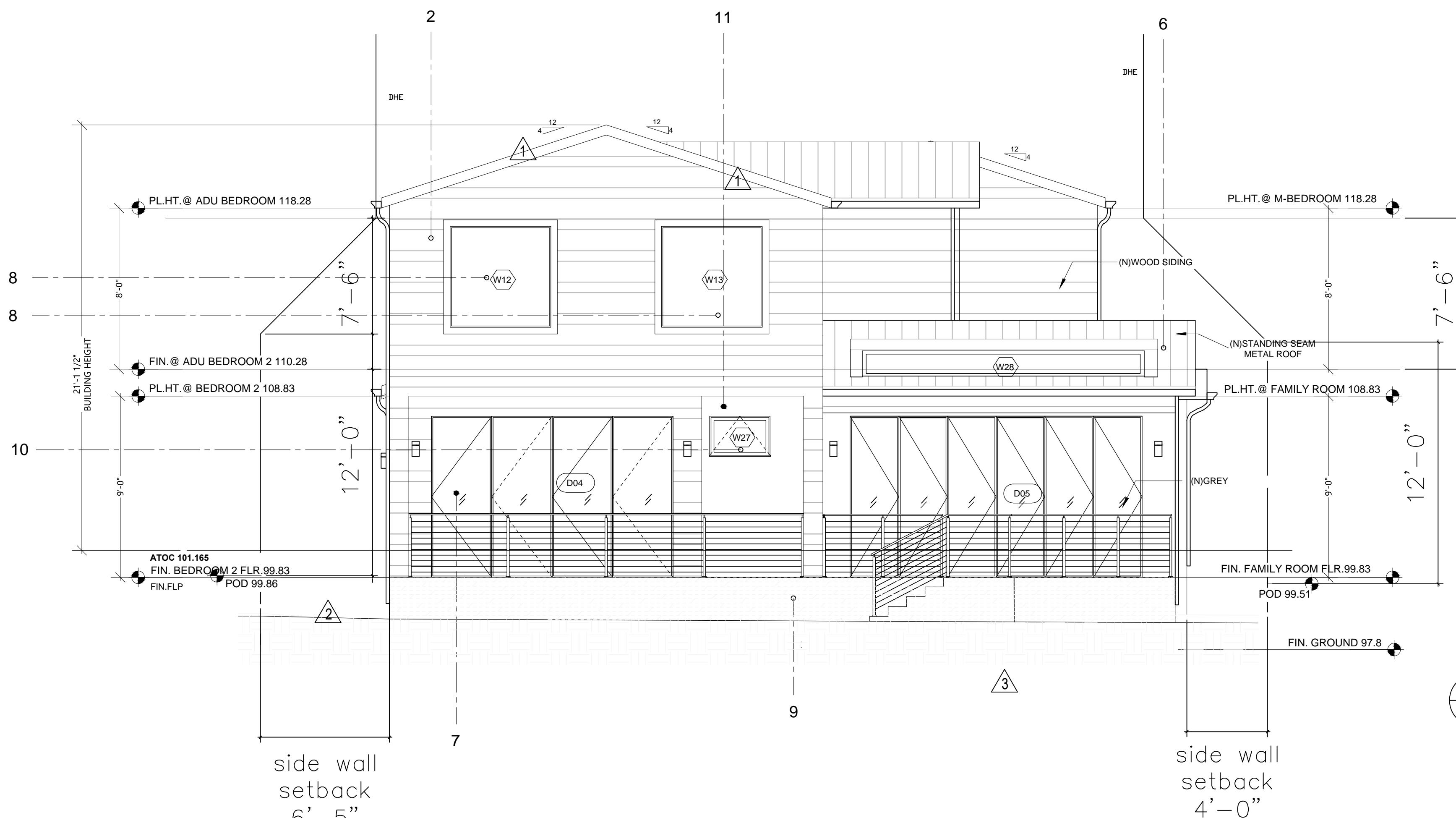


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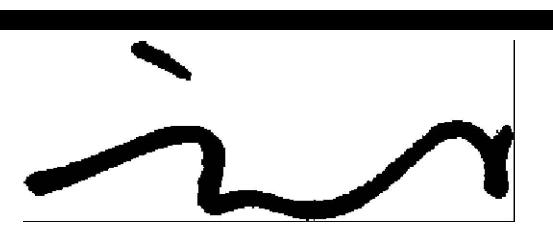
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2	09/02/2025
3	10/07/2025
5	12/30/2025

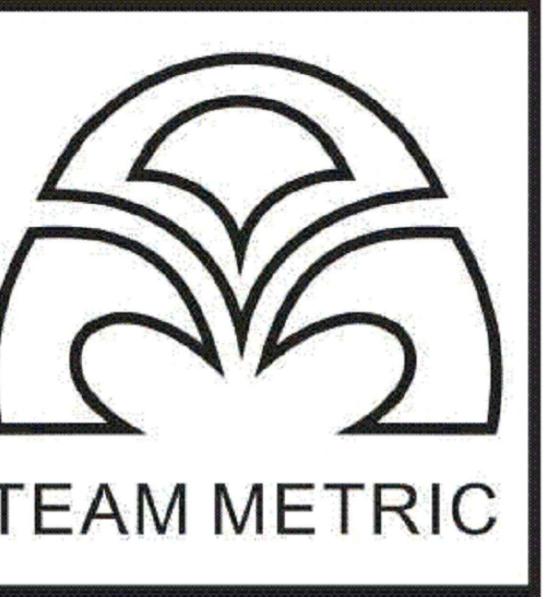


SINGLE FAMILY DESIGN

1150 VANCOUVER
BURLINGAME
CA 94010


JOB NUMBER: TM20240815 DRAWN BY: CC
DATE: TM20240815 DRAWN BY: PG
SCALE: AS SHOWN IN DRAWINGS
SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS
SHEET NUMBER:

A6-1

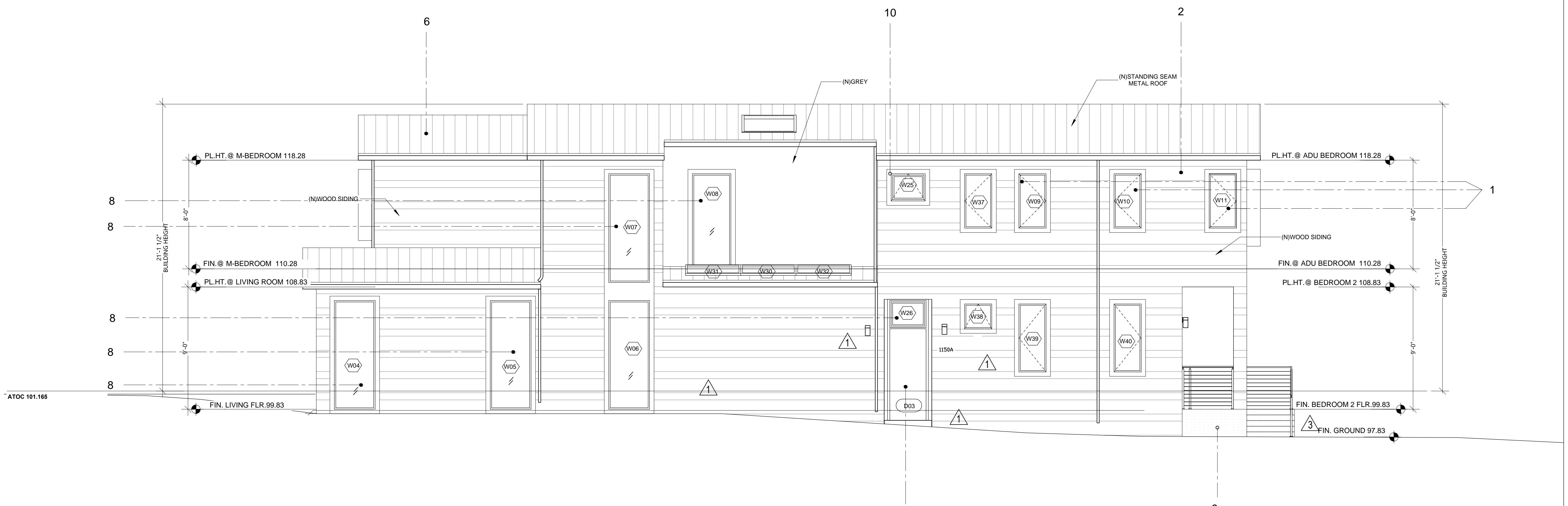


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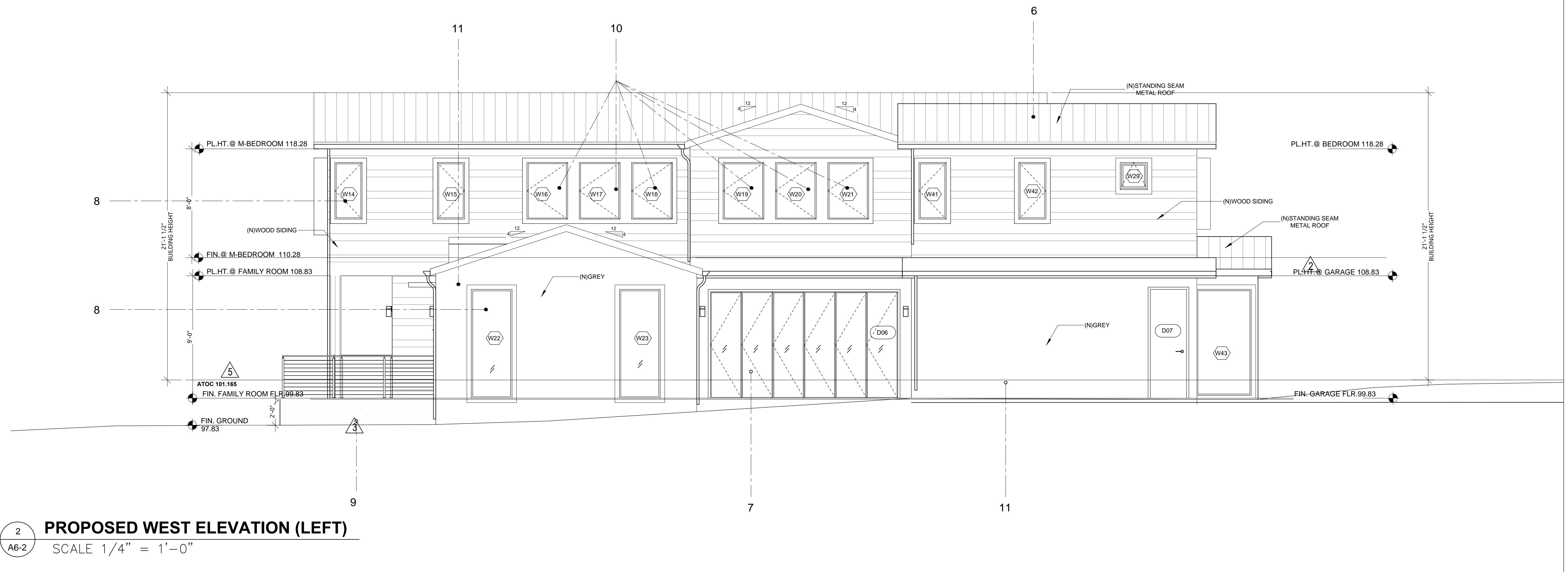
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2	09/02/2025
3	10/07/2025
5	12/30/2025



1
A6-2
PROPOSED EAST ELEVATION (RIGHT)

SCALE 1/4" = 1'-0"



2
A6-2
PROPOSED WEST ELEVATION (LEFT)

SCALE 1/4" = 1'-0"

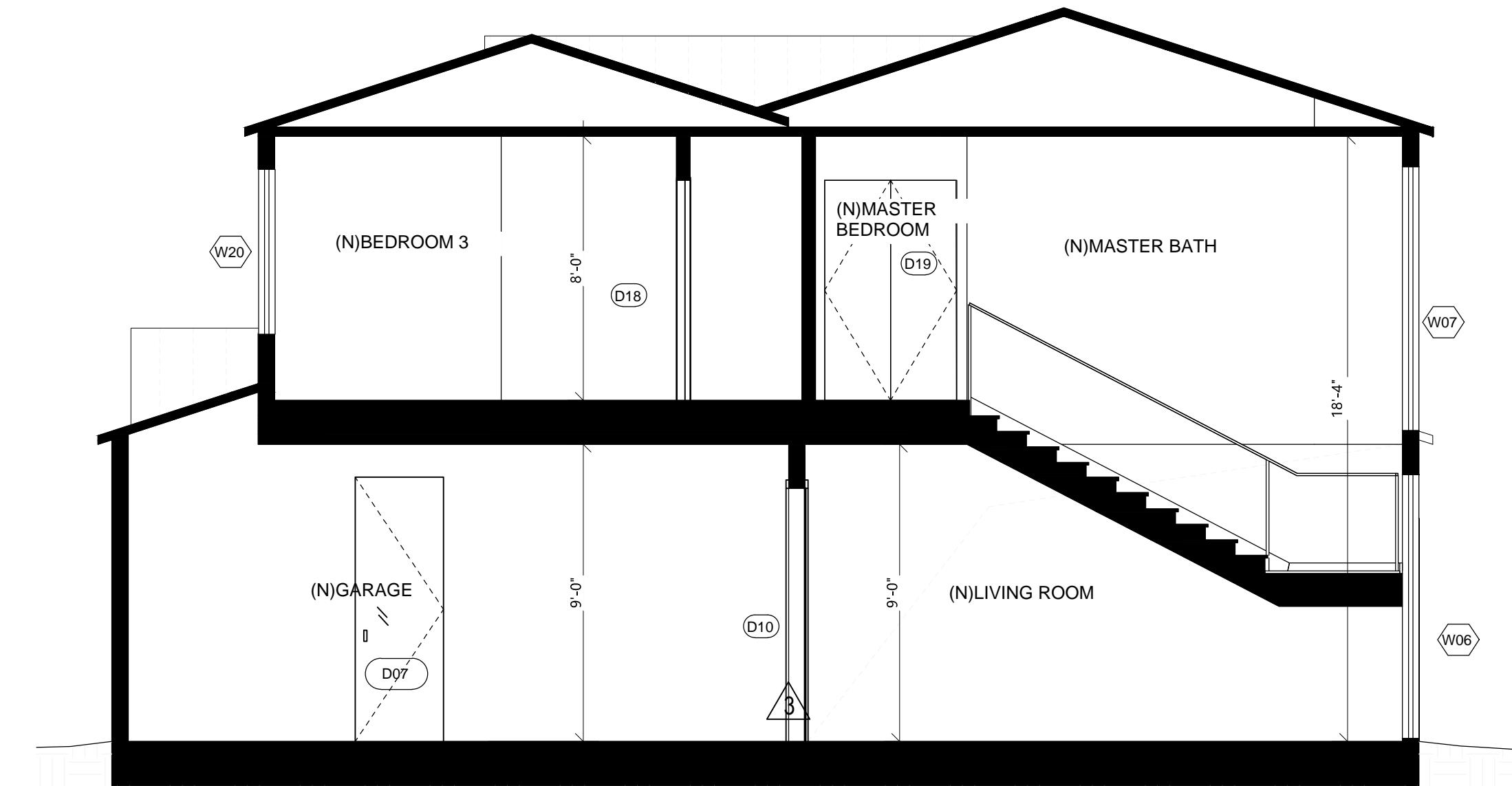
SINGLE FAMILY DESIGN

1150 VANCOUVER
BURLINGAME
CA 94010

JOB NUMBER:
TM20240815
DRAWN BY:
CC
DATE:
TM20240815
DRAWN BY:
PG
SCALE:
AS SHOWN IN DRAWINGS
SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

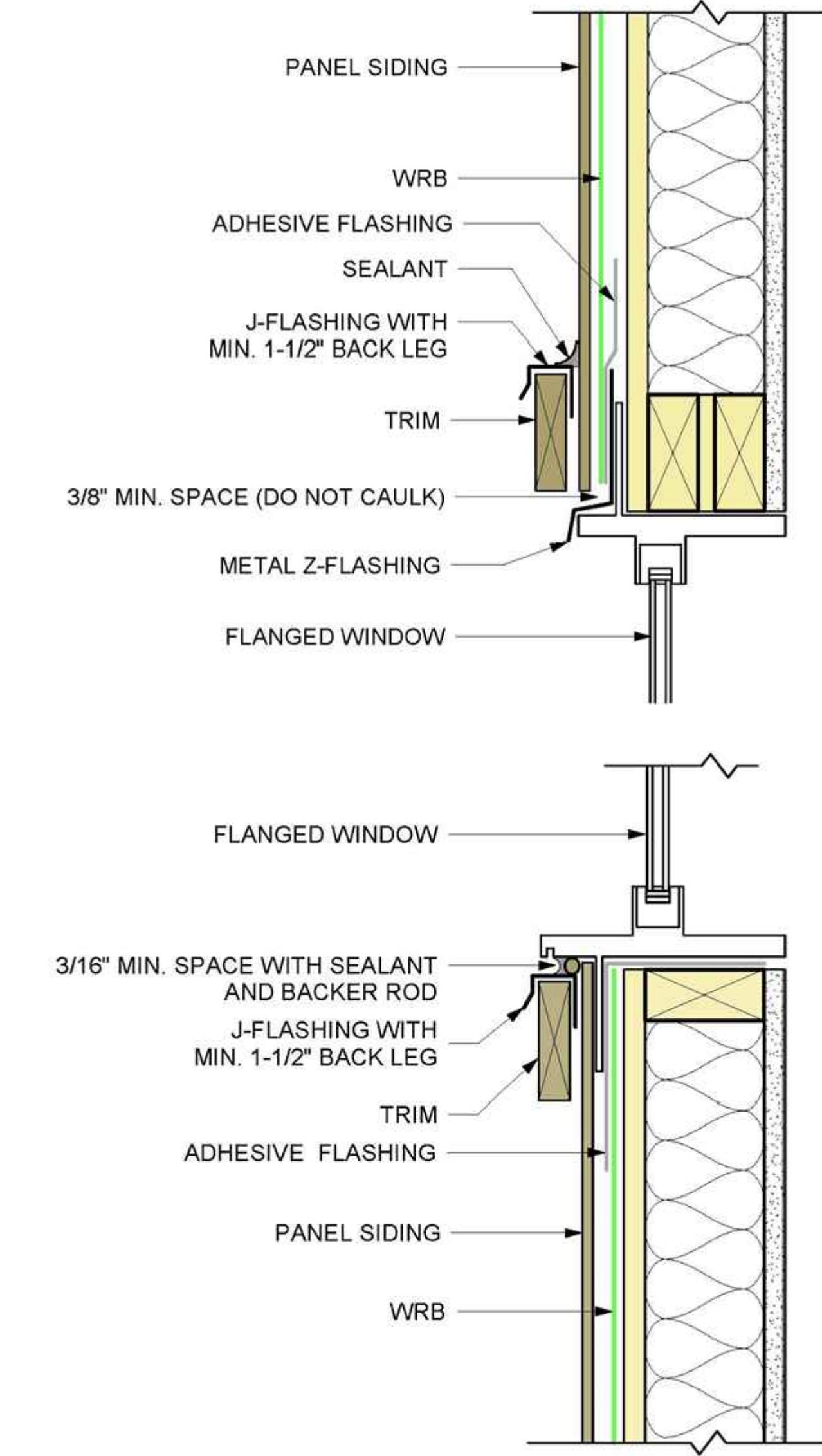
SHEET NUMBER:

A6-2



PROPOSED SECTION A

SCALE 1/4" = 1'-0"



WINDOW DETAILS

3
A7

ATTIC VENTILATION CALCULATION

2ND FL. ROOF ATTIC VENTILATION CALCULATION:

2ND FL. ROOF ATTIC AREA:

566 S.F./150=3.8 S.F.=548 S.I.

2ND FL. ROOF PROVIDED RIDGE VENT:

RIDGE VENT IS 20' LONG, PROVIDING 20 S.I PER FOOT:

20×20S.I.=400S.I.

2ND FL. ROOF PROVIDED FASCIA VENT:

FASCIA VENT IS 20' PROVIDING 6 S.I PER FOOT

20×6S.I.=120S.I. X 2 =240S.I

TOTAL PROVIDED VENTILATION:

400S.I.(RIDGE VENT)+240S.I.(FASCIA VENT)=640S.I.

COMPARISON TO REQUIRED VENTILATION:

640S.I.> 548S.I. (REQUIRED)

1ST FL. ROOF ATTIC VENTILATION CALCULATION:

1ST FL. ROOF ATTIC AREA:

922S.F./150=6.1S.F.=878.4S.I.

1ST FL. ROOF PROVIDED RIDGE VENT:

RIDGE VENT IS 30' LONG, PROVIDING 20 S.I PER FOOT:

30×20S.I.=600S.I.

1ST FL. ROOF PROVIDED FASCIA VENT:

FASCIA VENT IS 20' LONG, PROVIDING 6 S.I FOOT:

20×6S.I.=120S.I. X 4 =480 S.I

TOTAL PROVIDED VENTILATION:

600S.I.(RIDGE VENT)+480S.I.(FASCIA VENT)=1080 S.I.

COMPARISON TO REQUIRED VENTILATION:

1080S.I.>878.4S.I. (REQUIRED)

ADU ROOF ATTIC VENTILATION CALCULATION:

ADU ROOF ATTIC AREA:

577S.F./150=3.84S.F.=552.96S.I.

ADU ROOF PROVIDED RIDGE VENT:

RIDGE VENT IS 20' LONG, PROVIDING 20 S.I PER FOOT:

20×20S.I.=400S.I.

ADU ROOF PROVIDED FASCIA VENT:

FASCIA VENT IS 20' LONG, PROVIDING 6 S.I PER FOOT:

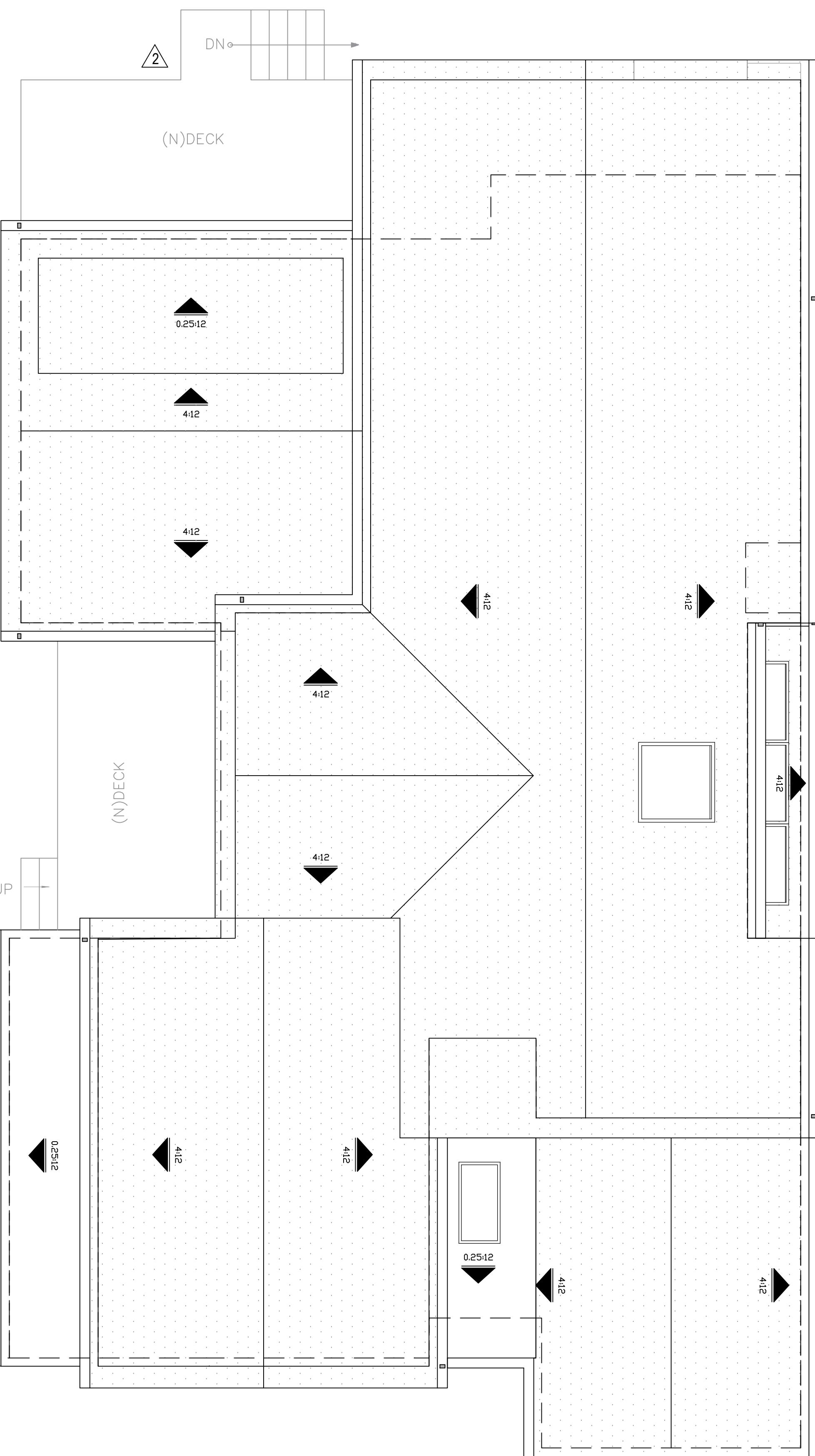
20×6S.I.=120S.I.X 2 =240S.I

TOTAL PROVIDED VENTILATION:

400S.I.(RIDGE VENT)+240S.I.(FASCIA VENT)=640S.I.

COMPARISON TO REQUIRED VENTILATION:

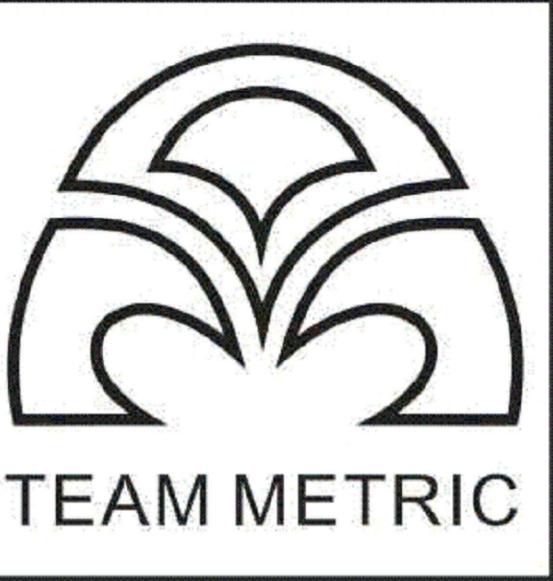
640S.I.>552.96S.I. (REQUIRED)



LEGEND

- [- - -] FOOTPRINT OF WALLS
- [---] ROOF EAVES LINE
- [---] STANDING SEAM
- [//] ADU ATTIC AREA
577 SF
- [/\/\/\] MAIN 1ND FLOOR ATTIC AREA
922 SF
- [/\/\/\] MAIN 2ND FLOOR ATTIC AREA
566 SF

1 PROPOSED ROOF PLAN
A8 SCALE 1/4" = 1'-0"



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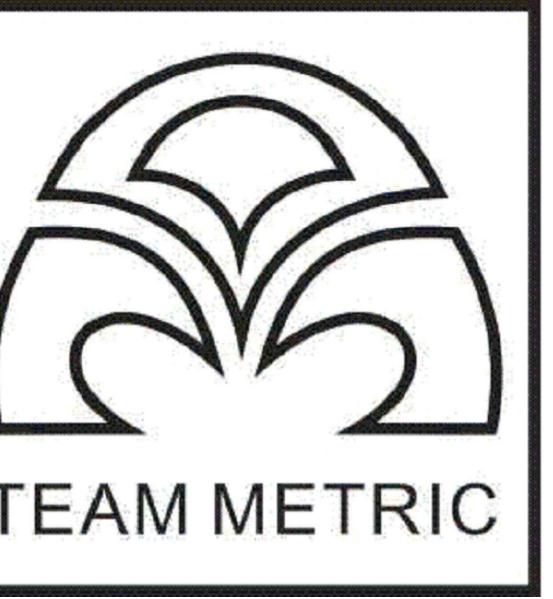
SINGLE FAMILY
DESIGN

1150 VANCOUVER
BURLINGAME
CA 94010

in
JOB NUMBER: TM20240815 DRAWN BY: CC
DATE: TM20240815 DRAWN BY: PG
SCALE: AS SHOWN IN DRAWINGS
SHEET TITLE: PROPOSED ROOF PLAN

SHEET NUMBER:

A8

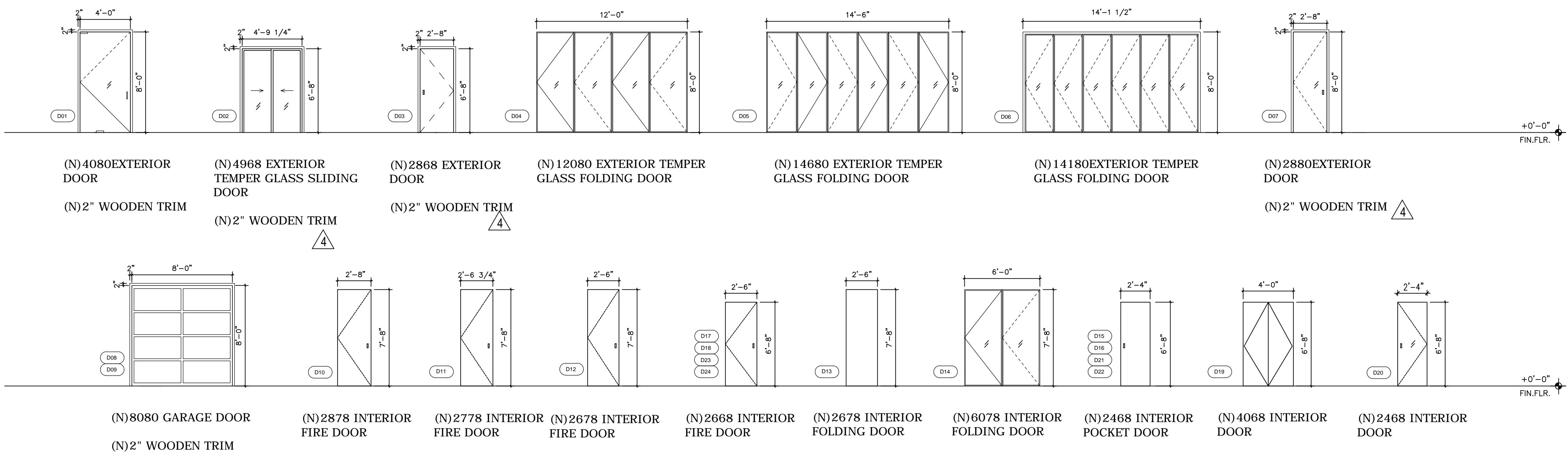


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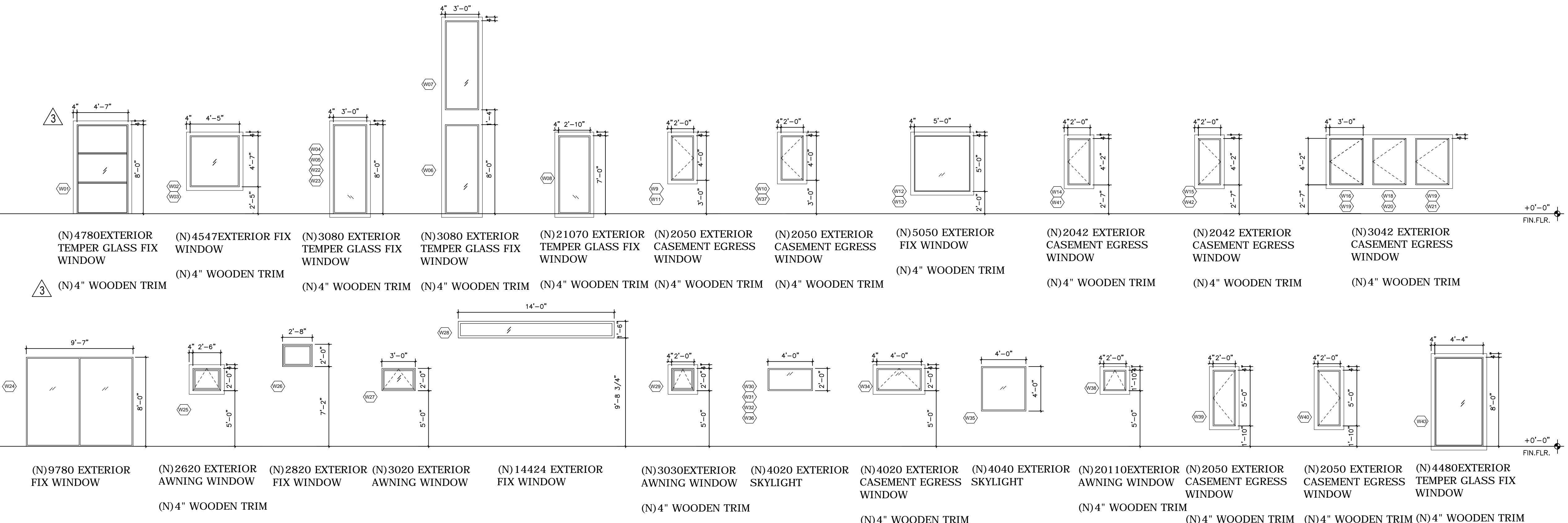
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3 10/07/2025
4 10/28/2025



PROPOSED DOOR SCHEDULE

1
A9
SCALE 3/16" = 1'-0"



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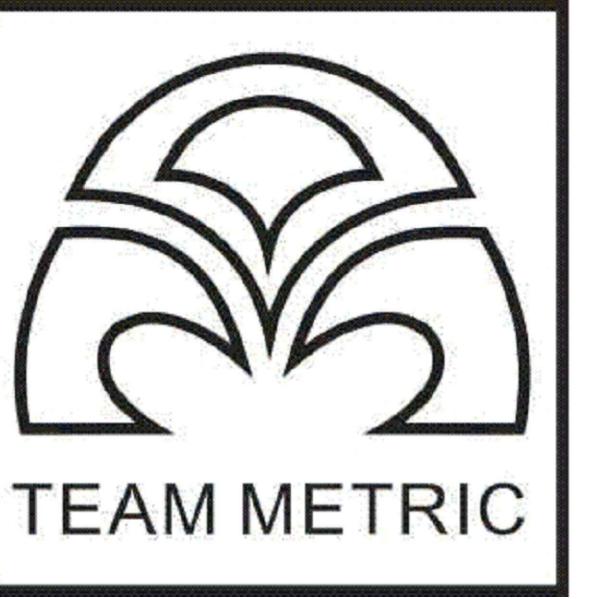
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TM20240815
DRAWN BY:
CC
DATE:
TM20240815
SCALE:
AS SHOWN IN DRAWINGS
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PG
SHEET TITLE:
PROPOSED DOOR & WINDOWS SCHEDULE

SHEET NUMBER:

A9

2
A9
SCALE 3/16" = 1'-0"



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1	07/14/2025
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PROPOSED SOUTH ELEVATION RENDERING (FRONT)



PROPOSED WEST ELEVATION RENDERING (LEFT)



PROPOSED EAST ELEVATION RENDERING (RIGHT)

2
A10



PROPOSED NORTH ELEVATION RENDERING (BACK)

4
A10

SINGLE FAMILY DESIGN

1150 VANCOUVER
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CA 94010



JOB NUMBER: TM20240815 DRAWN BY: CC

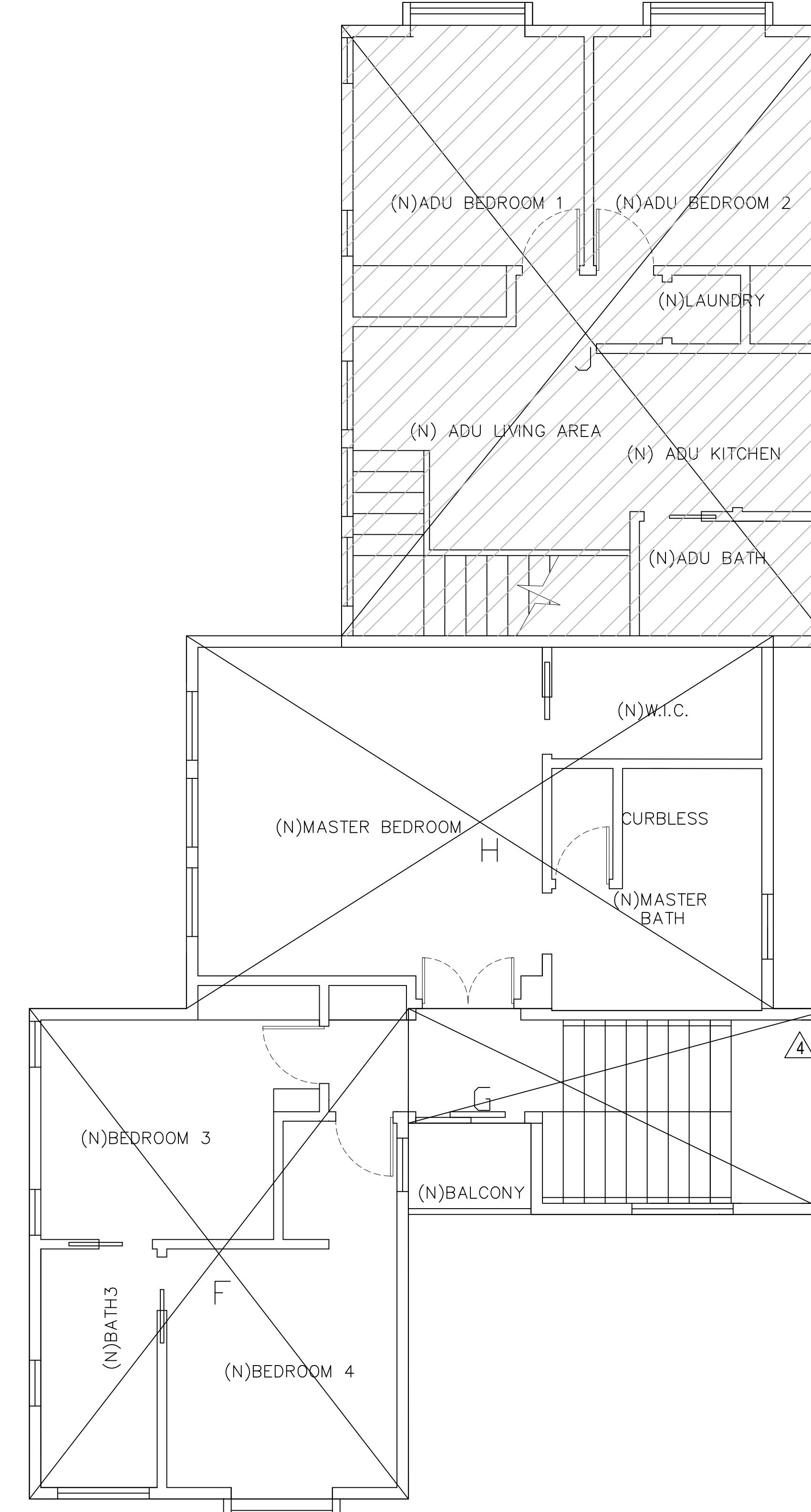
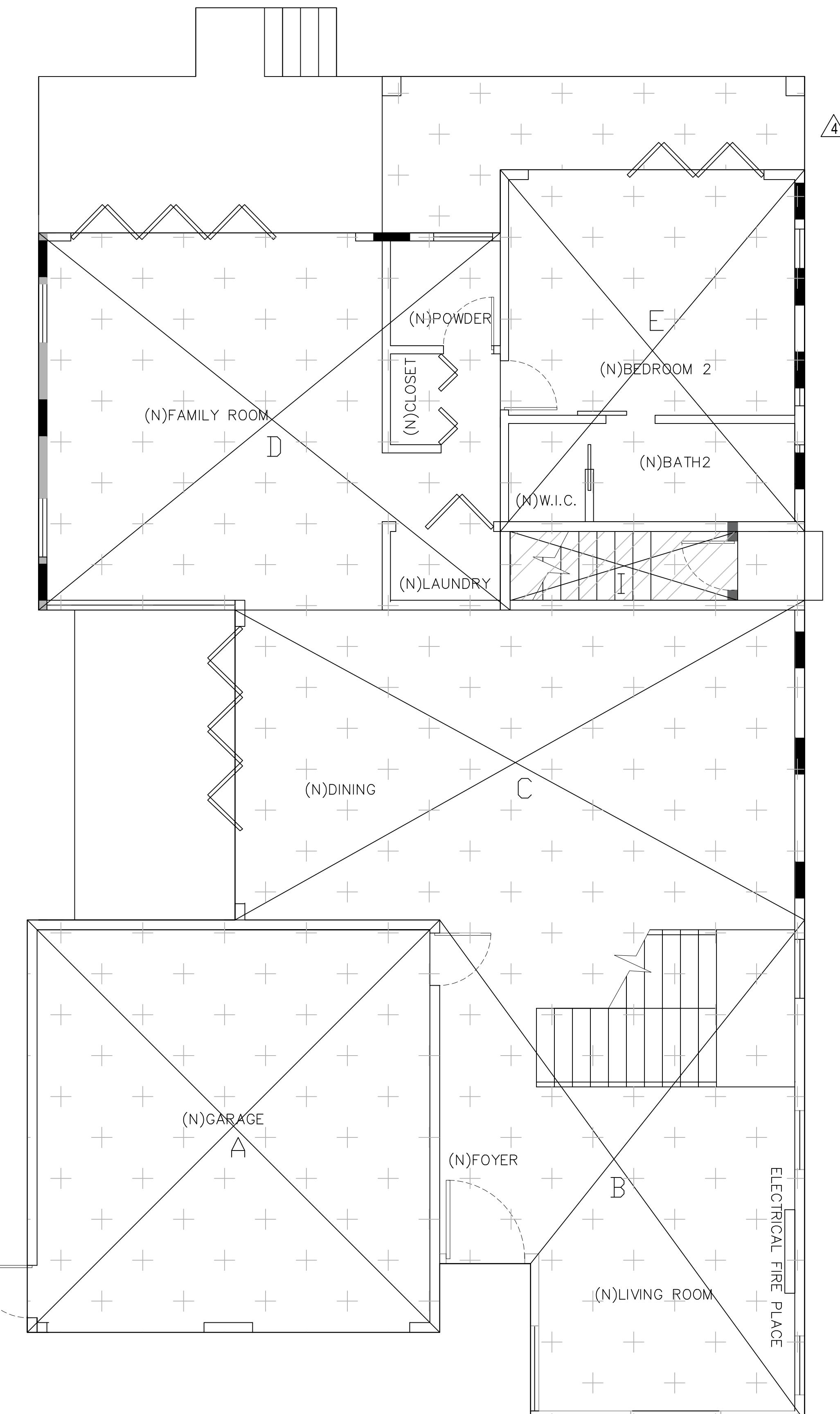
DATE: TM20240815 DRAWN BY: PG

SCALE: AS SHOWN IN DRAWINGS

SHEET TITLE: 3D RENDERING

SHEET NUMBER:

A10



1F FLOOR AREA	
SECTION	AREA(sf)
A	441.00
B	436.85
C	465.14
D	453.50
E	285.37
Total	2081.86

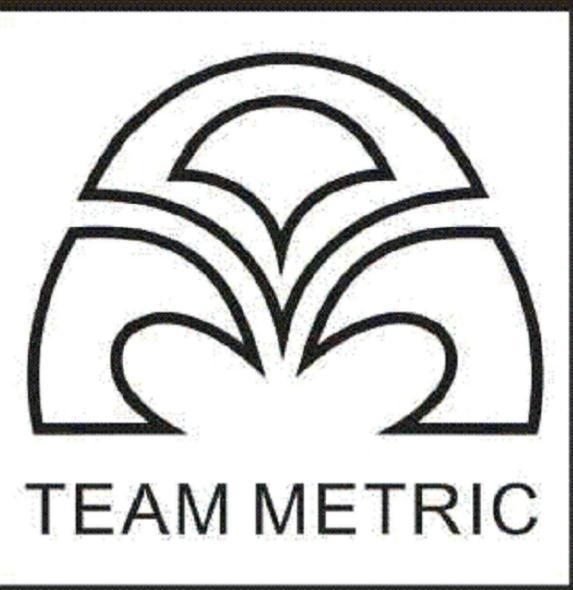
2F FLOOR AREA	
SECTION	AREA(sf)
F	354.04
G	144.99 \triangle
H	417.13
Total	800.45

\triangle Main House Floor Area:
2998.02sf

 LOT COVERAGE AREA
 \triangle Lot Coverage Area:
2255.85sf

ADU FLOOR AREA	
SECTION	AREA(sf)
I	40.55
J	574.56
Total	615.11

 ADU AREA



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\triangle 10/28/2025

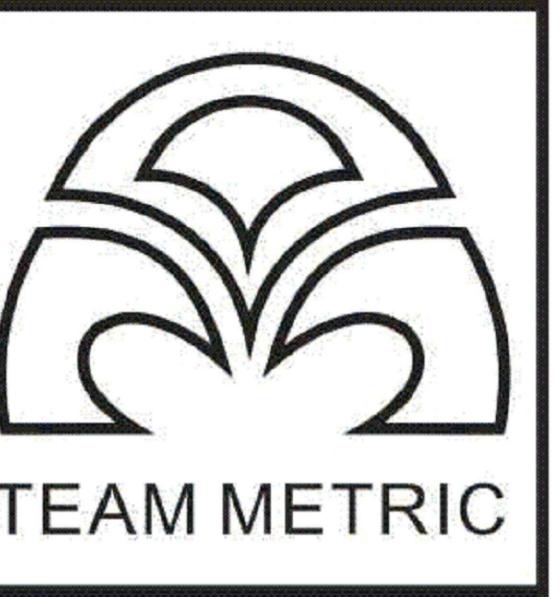
**SINGLE FAMILY
DESIGN**

1150 VANCOUVER
BURLINGAME
CA 94010

JOB NUMBER:
TM20240815
DRAWN BY:
CC
DATE:
TM20240815
DRAWN BY:
PG
SCALE:
AS SHOWN IN DRAWINGS
SHEET TITLE:
FLOOR AREA DIAGRAM

SHEET NUMBER:

A11



TEAM METRIC INC.

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07/14/2025

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CA 94010

JOB NUMBER: TM20240815 DRAWN BY: CC
DATE: TM20240815 DRAWN BY: PG
SCALE: AS SHOWN IN DRAWINGS
SHEET TITLE: PROPOSED LANDSCAPE PLAN

SHEET NUMBER:

L1-1

