

3 MAPS 93
BL CK 37
L T 3

3 MAPS 93
BL CK 37
L T 4

3 MAPS 93
BL CK 37
LOT 5

10' WIDE ALLEY

10' WIDE ALLEY

ABBREVIATIONS AND LEGEND

BSBL	BUILDING SETBACK LINE	⊙	SANITARY SEWER MANHOLE
CB	CATCH BASIN	⊙	ST RM DRAIN MANH E
CONC	CONCRETE	⊙	FIRE HYDRANT
EM	ELECTRIC METER	—SS—	SANITARY SEWER LINE
FL	FLOW LINE	—W—	WATER LINE
FT	FRUIT TREE	—OH—	OVERHEAD ELECTRICAL LINE
GM	GAS METER	—G—	GAS LINE
GND	GROUND		
HCR	HANDICAP RAMP		
JP	JOINT POLE		
PUE	PUBLIC UTILITY EASEMENT		
SP	SIGN POLE		
SSCO	SANITARY SEWER CLEAN OUT		
SNF	SEARCH FOR NOT FOUND		
TC	TOP OF CURB		
TEL	TELEPHONE		
UNK T	UNKNOWN TREE		
WM	WATER METER		
---	BOUNDARY LINE		
-X-X-	EXISTING FENCE LINE		
----	EXISTING BUILDING OUTLINE		
()	INDICATES REFERENCE MAP NUMBER		

REFERENCE INFORMATION

- (1) 3 MAPS 93, SAN MATEO COUNTY RECORDS
- (2) 56 LLS 17, SAN MATEO COUNTY RECORDS

EASEMENTS:

EASEMENTS SHOWN ARE BASED ON A REVIEW OF THE SUBDIVISION MAP AND A TITLE REPORT BY CHICAGO TITLE COMPANY, DATED 01/06/2025.

NOTE:

- (1) DATE OF FIELD SURVEY: FEBRUARY, 2025.
- (2) UNLESS OTHERWISE NOTED, TREES SHOWN WERE MEASURED AT THE GROUND AND TRUNK DIAMETERS WERE MEASURED 4' ABOVE GROUND. DRIP LINES WERE NOT MEASURED AND DEPICTED GRAPHICALLY IN THEIR APPROXIMATE LOCATIONS ONLY.
- (3) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
- (4) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
- (5) ELEVATION SHOWN ARE ON ASSUMED ELEVATION DATUM.

SPECIAL NOTE:

THE LOT AREA SHOWN ON THIS BOUNDARY SURVEY MAP IS CALCULATED BASED ON PRECISE FIELD MEASUREMENTS AND THE DIMENSIONS RECORDED ON OFFICIAL SUBDIVISION OR RECORD OF SURVEY MAPS. THIS AREA IS DETERMINED BY A LICENSED SURVEYOR AND REFLECTS THE MOST ACCURATE AND RELIABLE INFORMATION AVAILABLE. PLEASE BE AWARE THAT FIGURES FROM CITY/COUNTY RECORDS OR REAL ESTATE WEBSITES MAY DIFFER DUE TO VARIATIONS IN DATA SOURCES OR ESTIMATION METHODS AND SHOULD NOT BE CONSIDERED AS ACCURATE AS THIS SURVEY.

UTILITY NOTE

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

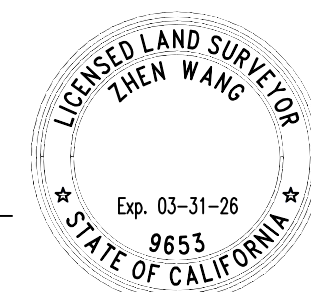
BOUNDARY TOPOGRAPHIC SURVEY

L T 25, BL CK 37, AS SH WN N "MAP
F EAST N ADDITI N T BURLINGAME
NO. 2", B OK 3 OF MAPS AT PAGE 93,
SAN MATEO COUNTY RECORDS.
APN 026-183-250

(1150 VANCOUVER AVENUE)

CITY OF BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=8' FEBRUARY, 2025

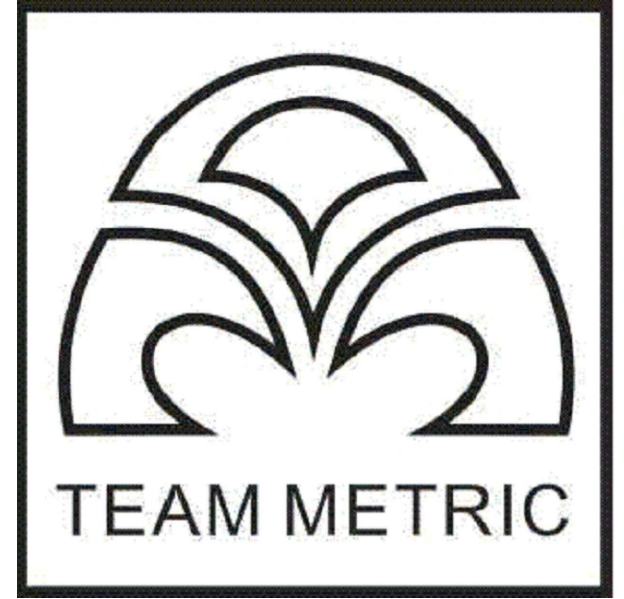
Zhen Wang
ZHEN WANG



02/19/2025
DATE

ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: (415)802-9945 | INFO@ZHENSLANDSURVEYING.COM

SHEET 1 OF 1 SHEET



TEAM METRIC INC.

752 Charcot Avenue,
San Jose, CA 95131

408 899 8522
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SINGLE FAMILY
DESIGN

1150 VANCOUVER
BURLINGAME
CA 94010

[Signature]

JOB NUMBER:
TM20240815
DATE:
TM20240815

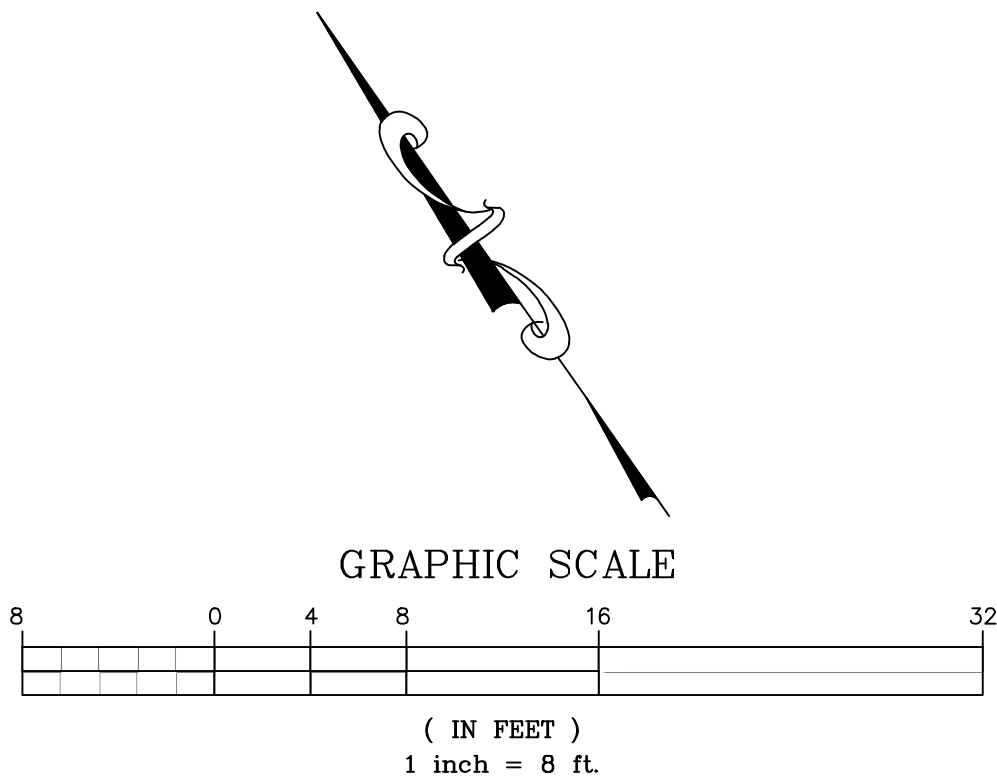
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SCALE:
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SURVEY PLAN

SHEET NUMBER:

A1



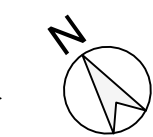
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BL CK 37
LOT 26

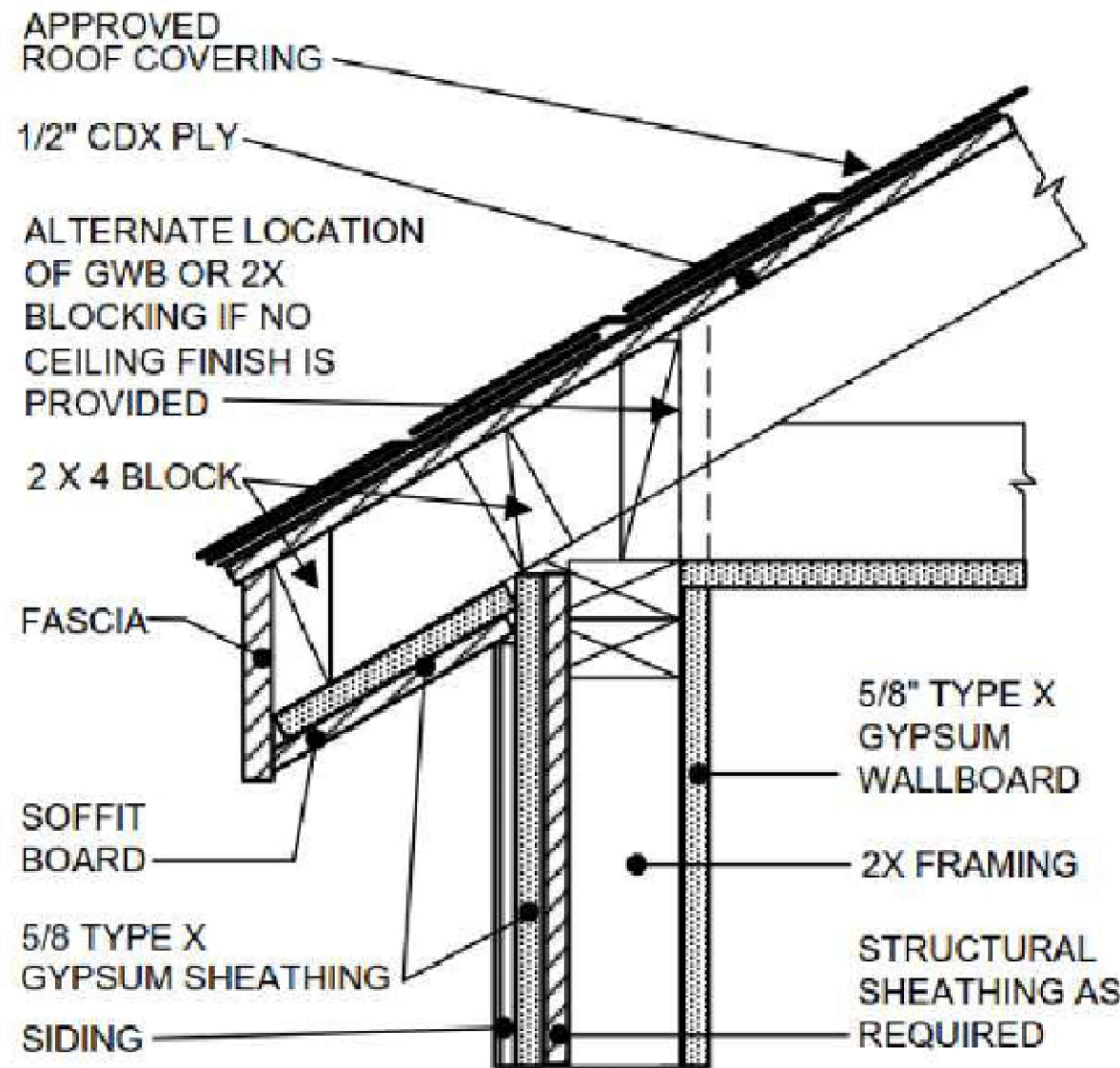
3 MAPS 93
BL CK 37
LOT 25
(6,000± S.. FT.)

3 MAPS 93
BL CK 37
L T 24

VANCOUVER AVENUE
(50' WIDE)

1 SURVEY PLAN
A1 SCALE 1/8" = 1'-0"

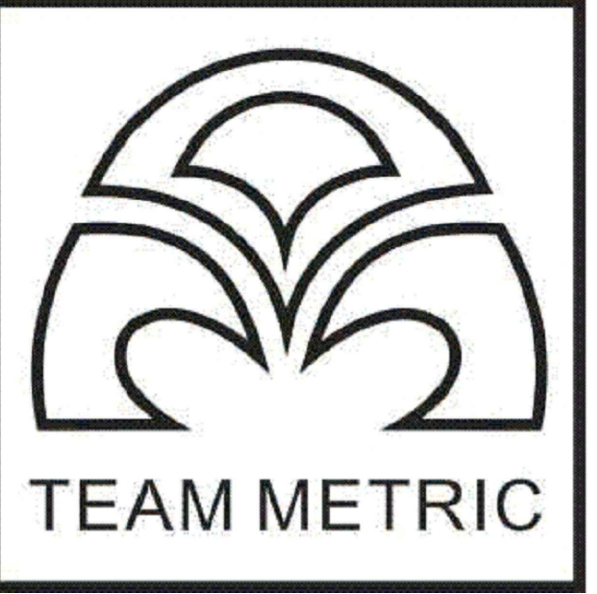
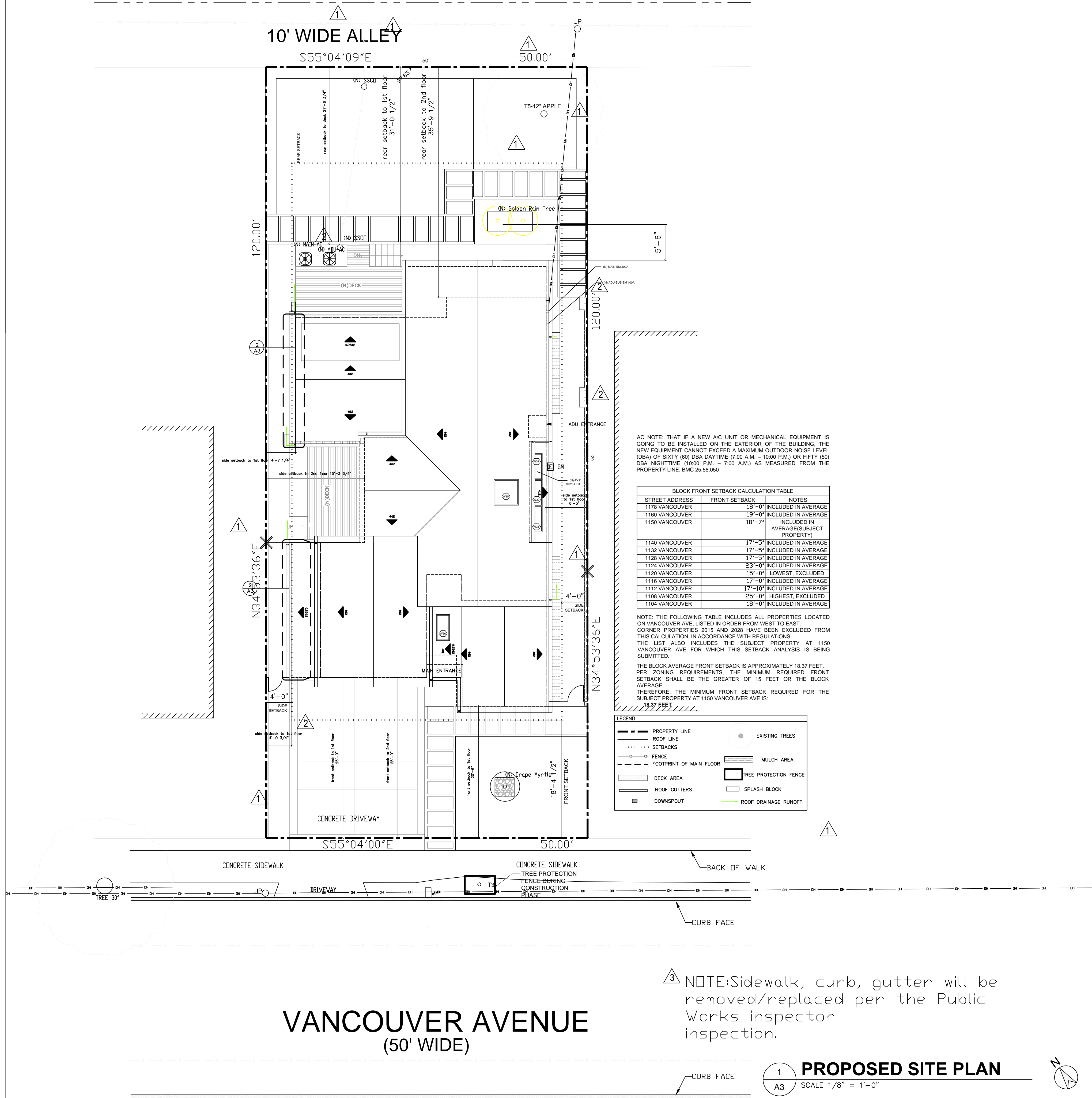




2
A3

1 HR RATED WALL AND PROTECTED EAVE OVERHANG

SCALE 3" = 1'-0"



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1	07/14/2025
2	09/02/2025
3	10/07/2025

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PROPOSED SITE PLAN

SHEET NUMBER:

A3



Diagram illustrating the cross-section of a suspended ceiling assembly, showing the following components from top to bottom:

- HARDWOOD FLOORING
- 3/4" FLOOR SHEATHING
- 9 1/2" TJI
- 3-1/2" GLASS FIBER
- A. RESILIENT CHANNELS
- CED 12" O.C.
- TWO LAYERS 5/8" TYPE GYPSUM BOARD

5/8" TYPE X
GYPSUM BOARD

2x6 STUDS @16" O.C.

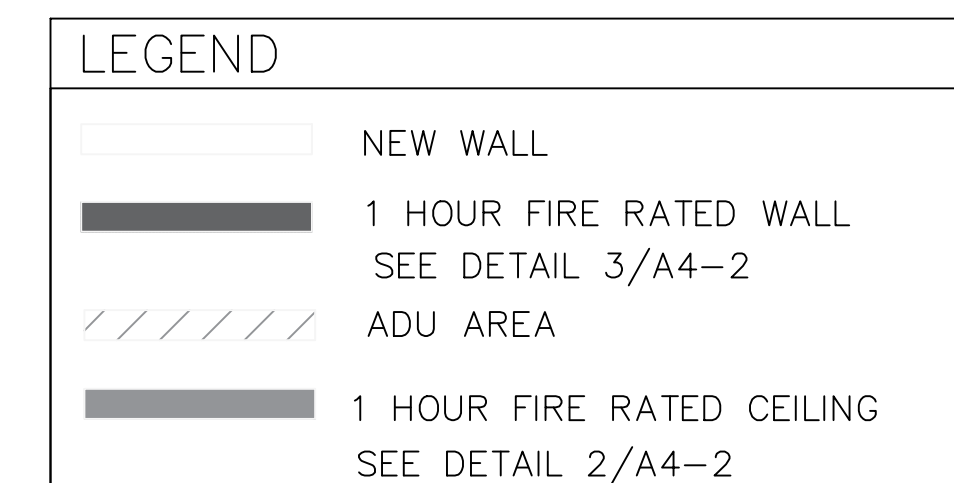
5/8" TYPE X GYPSUM BOARD

MINERAL WOOL INSULATION

INSIDE

INSIDE

1 HOUR RATED PER CBC 2022, TABLE 721.1(2) 15-1.12

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SHEET NUMBER:

A5

3

BLACK ALUMINUM FRAME CASEMENT WINDOW.
TEMPERED INSULATED GLASS UNIT.
·FRAME FINISH: MATTE BLACK, POWDER-COATED.
·INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH
SEALED PERIMETER JOINTS.
·PROVIDE CONTINUOUS FLASHING AND WEATHER-RESISTANT
BARRIER INTEGRATION.

PREMIUM CLEA RIRON ASH WOOD SILDING
CRYPTOMERIA JAPONICA
DIMENSIONS: 1 X 6 X 12 SHIPLAP
• 145-11/16" (3700MM) LENGTH
• 5.33 SF/PIECE

42" HIGH TEMPERED
GLASS PANELS

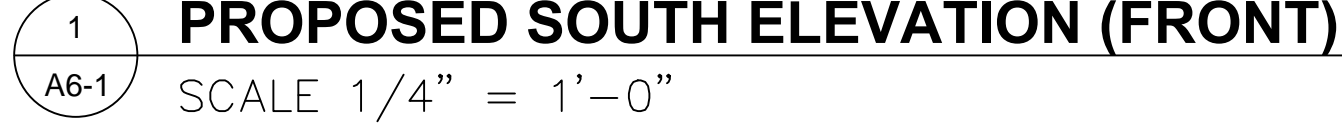
FROSTED GLASS
PREMIUM BLACK STEEL TRIM

GREY - MATTE.

- BLACK STANDING SEAM METAL ROOF.
- 24 GAUGE PREFINISHED STEEL PANELS, COLOR: MATTE BLACK.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH CONCEALED FASTENERS.
- PROVIDE CONTINUOUS WATERPROOF MEMBRANE UNDERLAYMENT.

- STEEL: 12-GAUGE GALVANIZED STEEL
- DOOR: PRE-HUNG 2" DOOR SLAB WITH 6" INSULATED JAMB FOR EASY INSTALLATION
- HINGES: HEAVY DUTY AEROSPACE GRADE BULLET HINGES THAT CAN SUPPORT OVER 1500 POUNDS
- INSULATION: POLYURETHANE FOAM INJECTED
- FINISH: 7 COATS OF EPOXY & AUTOMOTIVE PAINT ON TOP OF GALVANIZED STEEL TO PREVENT DUST & RUST

- BLACK ALUMINUM FRAME FIX WINDOW.
- TEMPERED INSULATED GLASS UNIT.
- FRAME FINISH: MATTE BLACK, POWDER-COATED.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH SEALED PERIMETER JOINTS.
- PROVIDE CONTINUOUS FLASHING AND WEATHER-RESISTANT BARRIER INTEGRATION.



SELF-LEVELING CEMENT UNDERLAYMENT FOR PATIO SLAB.
 APPLY OVER STRUCTURAL SLAB OR PREPARED BASE AS SPECIFIED.
 MINIMUM THICKNESS: 1/4" (6mm) OR AS REQUIRED TO ACHIEVE LEVEL FINISH.
 PRODUCT TO BE EXTERIOR-GRADE, SUITABLE FOR OUTDOOR USE AND FREEZE-THAW CONDITIONS

- BLACK ALUMINUM FRAME AWNING WINDOW.
- TEMPERED INSULATED GLASS UNIT.
- FRAME FINISH: MATTE BLACK, POWDER-COATED.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH SEALED PERIMETER JOINTS.
- PROVIDE CONTINUOUS FLASHING AND WEATHER-RESISTANT BARRIER INTEGRATION.

GREY MATERIAL
COMPOSITE PANELS

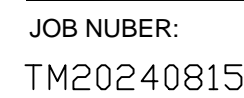
- ALUMINUM COMPOSITE MATERIAL (ACM) PANELS WITH MATTE BLACK FINISH.
- PANEL SYSTEM TO BE ROUTE-AND-RETURN TYPE WITH CONCEALED FASTENERS



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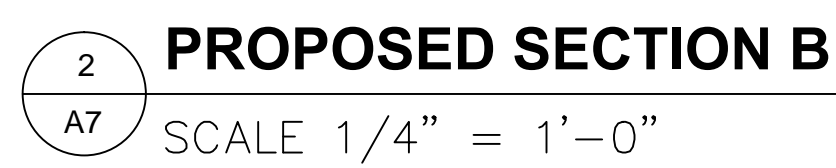
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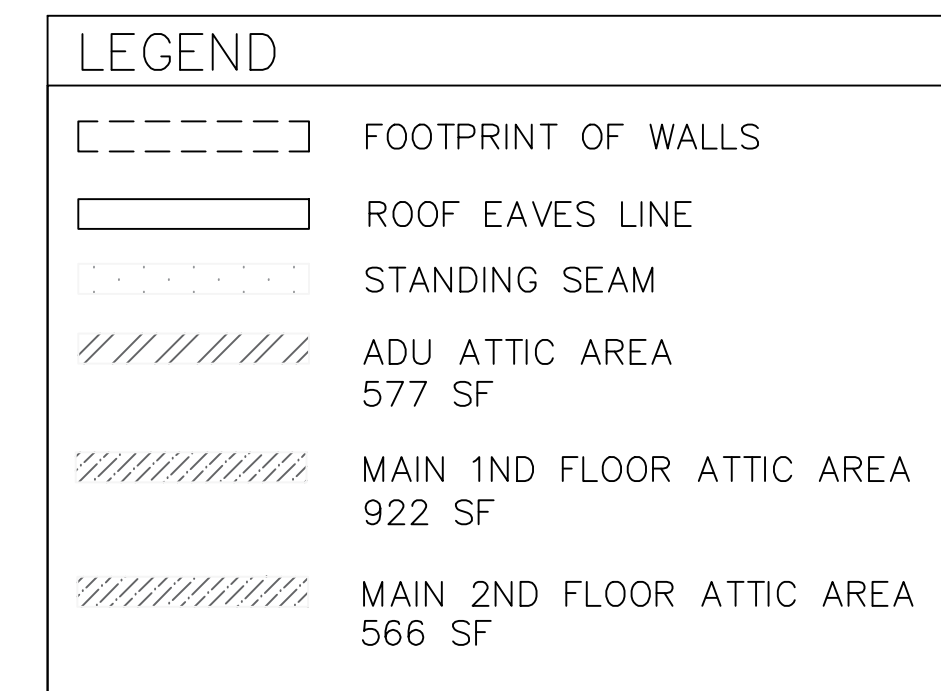
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:

A6-1



640S.I.>552.96S.I. (REQUIRED)





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SINGLE FAMILY DESIGN

PROPOSED DOOR & WINDOWS SCHEDULE

A9





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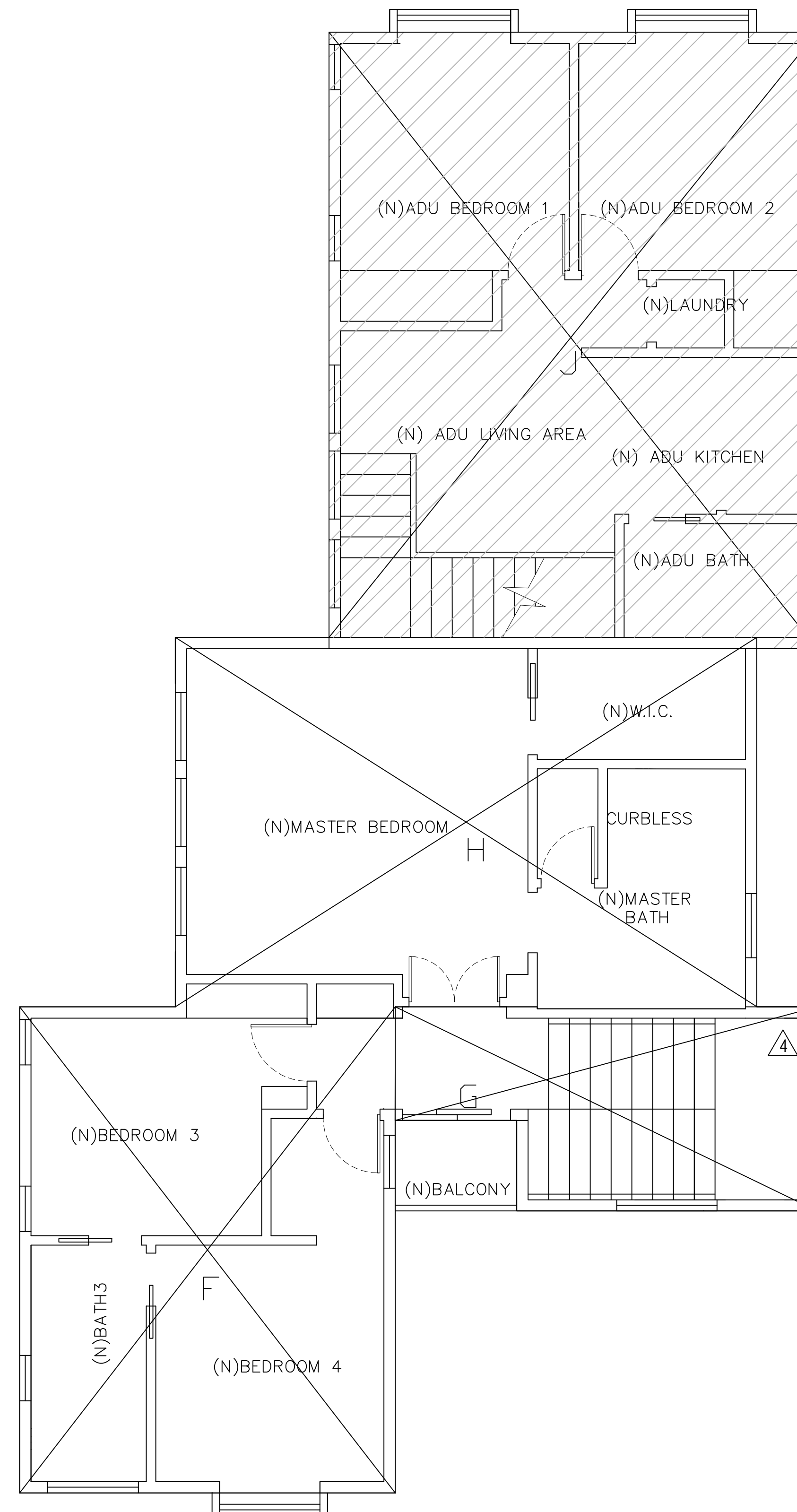
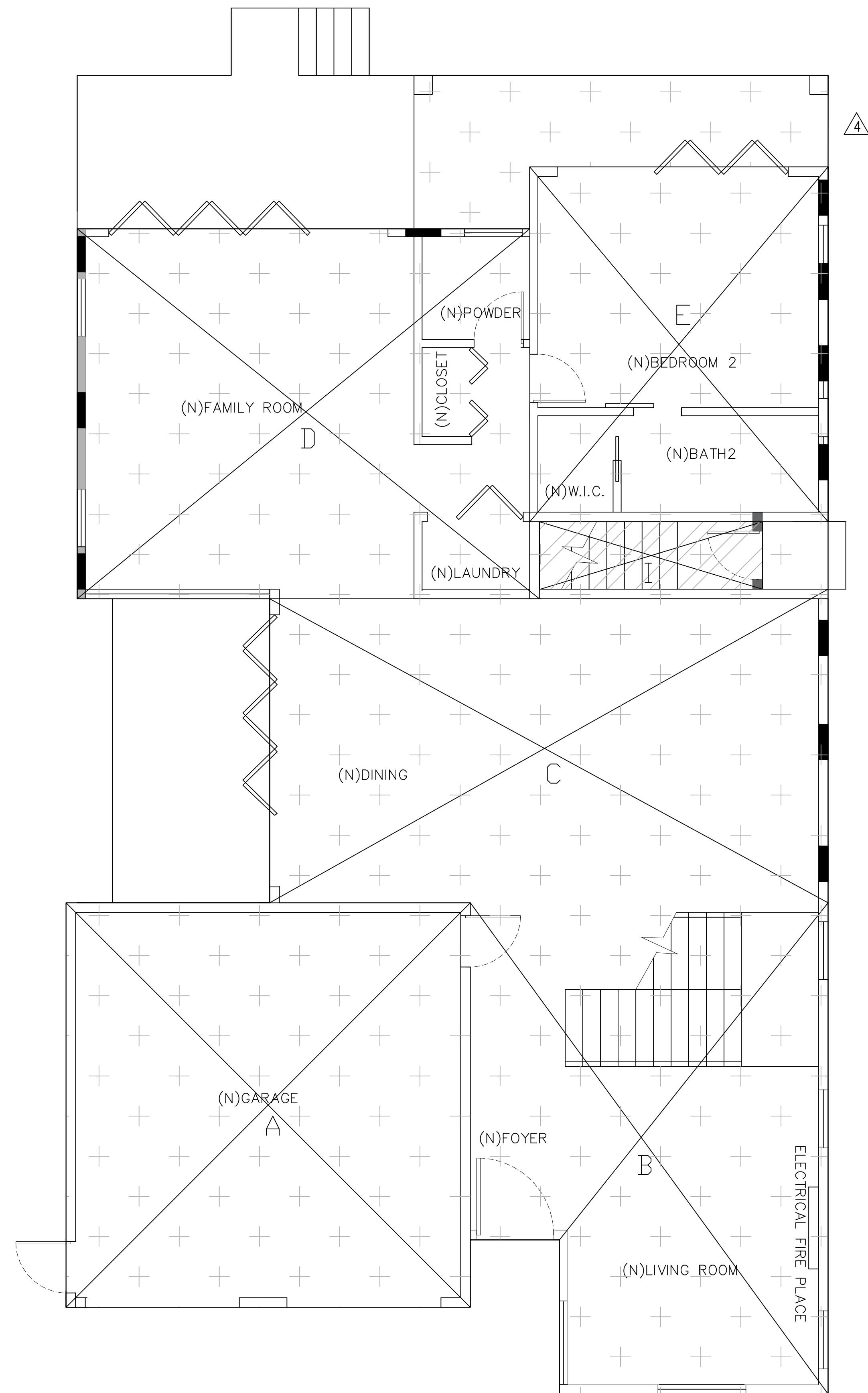
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3D RENDERING

SHEET NUMBER:

A10



1F FLOOR AREA	
SECTION	AREA(sf)
A	441.00
B	436.85
C	465.14
D	453.50
E	285.37
Total	2081.86

2F FLOOR AREA	
SECTION	AREA(sf)
F	354.04
G	144.99 ⁴ △
H	417.13
Total	800.45

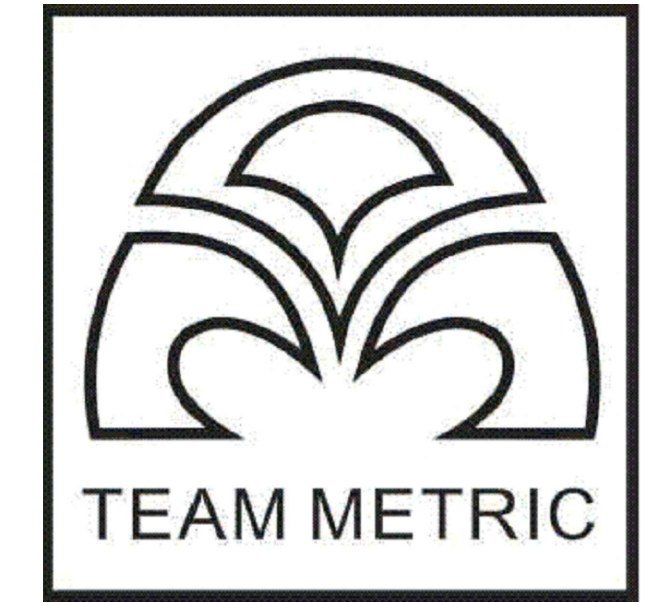
**△4 Main House Floor Area:
2998.02sf**

 LOT COVERAGE AREA

Lot Coverage Area:
 **2255.85sf**

ADU FLOOR AREA	
SECTION	AREA(sf)
I	40.55
J	574.56
Total	615.11

 ADU AREA



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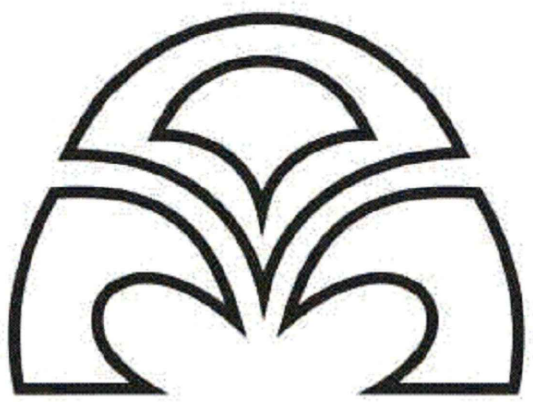
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FLOOR AREA DIAGRAM

SHEET NUMBER:

A11



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IMPERVIOUS SURFACE CALCULATION			
ITEM	ACTUAL AREA(sf)	IMPERVIOUS AREA(sf)	NOTE
new roof area	2417.36	2417.36	non-permeable roofing
new driveway (grass pavers)	432.09	0.00	permeable surface, not counted as impervious
stepping stones	398.38	398.38	imperious stepping stones
new walkway	701.36	701.36	impervious material
new deck (permeable concrete)	410.00	0.00	permeable material, not counted as impervious
Total		3517.10	

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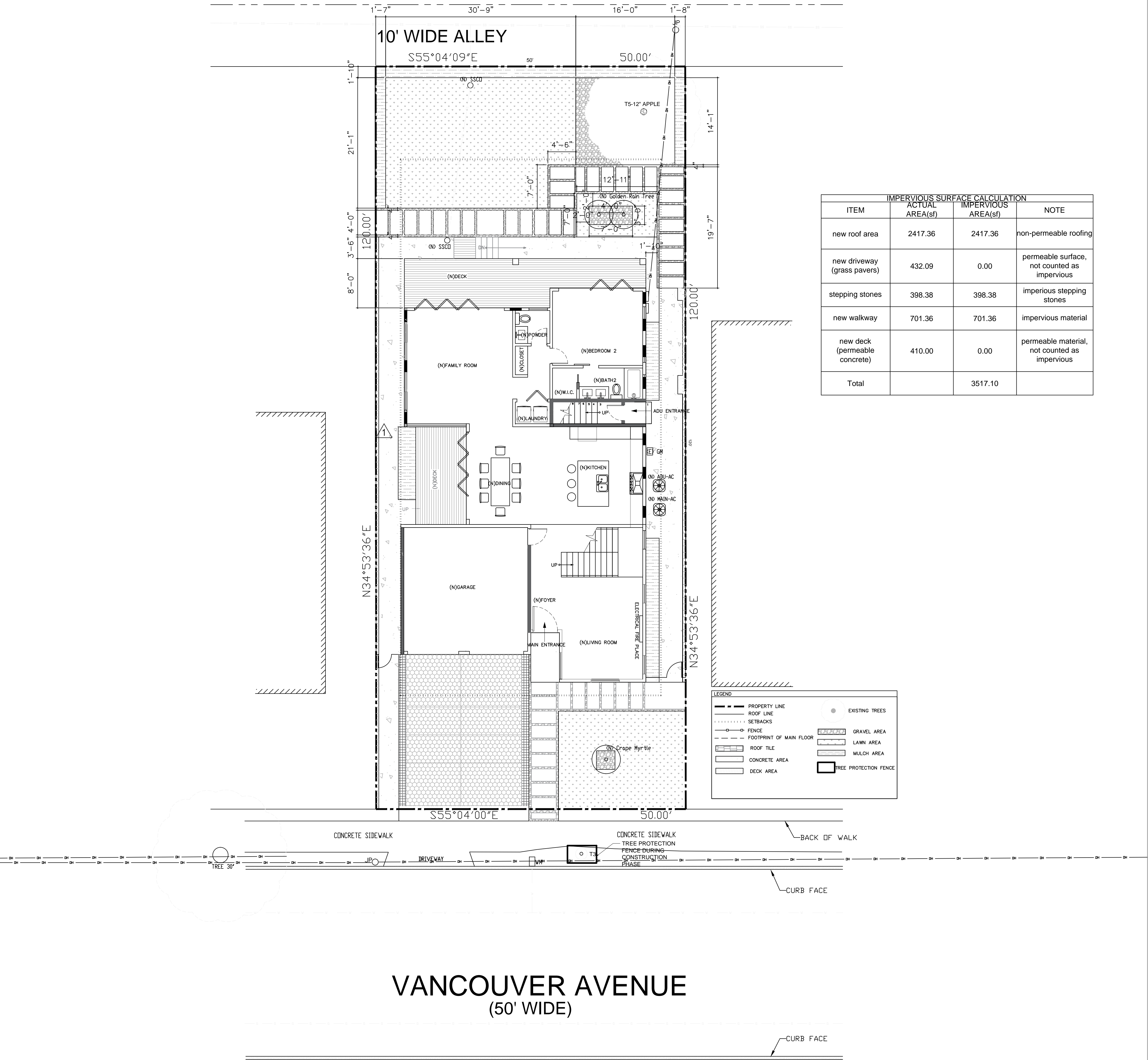
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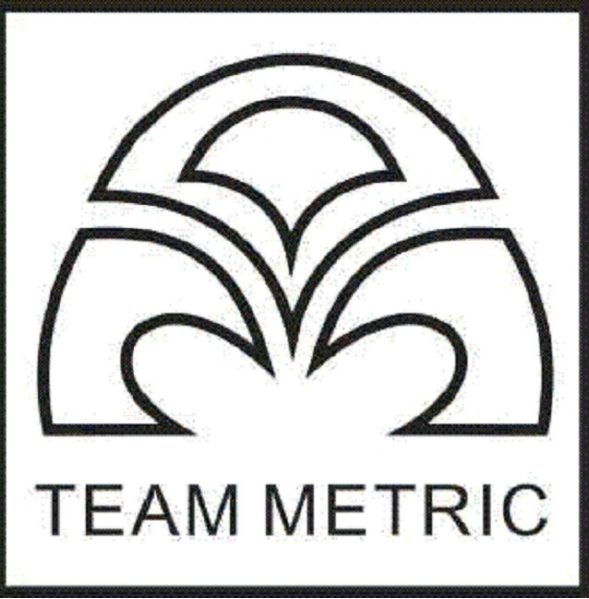
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PROPOSED LANDSCAPE PLAN

SHEET NUMBER

L1-1





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4	10/28/2025

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TM20240815
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PG

PROPOSED SITE PLAN

SHEET NUMBER:

L1-2

