

ARBORIST REPORT

Advanced Tree Care

10 Stanley Rd., Burlingame
February 9, 2026

Randy Whitmer
10 Stanley Rd.,
Burlingame, CA 94010

Site: 10 Stanley Rd., Burlingame

Dear Randy,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new home is planned, prompting the need for this tree protection report.

Method:
The City of Burlingame protects all street trees and Private Protected trees whereby a Private Protected tree is a tree with a trunk circumference of 48" or more measured at 4" above ground. Burlingame requests that the tree protection plan contains all trees with a trunk diameter greater than 6 inches be included, this also includes trees on neighboring properties within 8 feet of the property line that may also be impacted by construction.

The location of the protected trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

Table with 2 columns: Rating (1 to 29, 30 to 49, 50 to 69, 70 to 89, 90 to 100) and Condition (Very Poor, Poor, Fair, Good, Excellent)

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

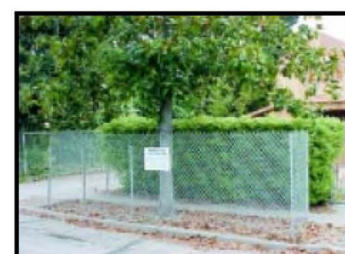
If you have any questions, please don't hesitate to call.

Sincerely

Robert Weatherill
Certified Arborist WE 1936A

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• Type II Tree Protection
For trees situated within a narrow planting strip, only the planting strip shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use (see image 2-15-3)

- 2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. The pruning should be carried out by an arborist, not by construction personnel. No limbs greater than 4" in diameter shall be removed.
- 3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.
- 4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.
- 5. Do Not:
 - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - d. Allow fires under any adjacent trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain or rope to trees or shrubs.
 - g. Apply soil sterilants under pavement near existing trees.
- 6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.
- 7. Route pipes into alternate locations to avoid conflict with roots.
- 8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.

Advanced Tree Care

10 Stanley Rd., Burlingame
February 9, 2026

Glossary

- Canopy** The part of the crown composed of leaves and small twigs.
 - Cavities** An open wound, characterized by the presence of extensive decay and resulting in a hollow.
 - Decay** Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin.
 - Dripline** The width of the crown as measured by the lateral extent of the foliage.
 - Genus** A classification of plants showing similar characteristics.
 - Root plate** The point at which the trunk flares out at the base of the tree to become the root system.
 - Species** A Classification that identifies a particular plant.
 - Standard height** Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level.
- References**
- (1) Matheny, N.P., and Clark, J.P. *Evaluation of Hazard Trees in Urban Areas*, International Society of Arboriculture, 1994.
 - (2) Harris, R.W., Matheny, N.P. and Clark, J.R. *Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines*, Prentice Hall, 1999.
 - (3) Carlson, Russell F. *Planting on the Green: An Assessment of Tree Health and Structural Condition*, Tree Tech Consulting, 1998.
 - (4) Extracted from a copy of Tree Protection guidelines. Anon
 - (5) T. D. Sydnor, *Arboricultural Glossary*, School of Natural Resources, 2000
 - (6) D Dockter, *Tree Technical Manual*, City of Palo Alto, June, 2001

Advanced Tree Care

10 Stanley Rd., Burlingame
February 9, 2026

Photos of trees



Tree #1

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10 Stanley Rd., Burlingame
February 9, 2026



Tree #2

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10 Stanley Rd., Burlingame
February 9, 2026



Tree #3

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10 Stanley Rd., Burlingame
February 9, 2026



Tree #4

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10 Stanley Rd., Burlingame
February 9, 2026

Tree Survey

Table with 6 columns: Tree #, Species, DBH, HtSp, Con Rating, Comments

Summary:

There is only one tree on this property that is a Regulated tree.

Trees # 1, 2 and 3 are not Regulated and can be removed if desired.

Tree # 4 is a Regulated Street Tree in good health and fair condition. The tree shall be protected during construction.

The trees can be seen in the photos at the end of the report.

Advanced Tree Care

10 Stanley Rd., Burlingame
February 9, 2026

- 9. Compaction of the soil within the dripline shall be kept to a minimum. If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlaid with plywood.
- 10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
- 11. Ensure upon completion of the project that the original ground level is restored

Advanced Tree Care

10 Stanley Rd., Burlingame
February 9, 2026

Certification of Performance

I, Robert Weatherill certify:

- 1. That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
 - 2. That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
 - 3. That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
 - 4. That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
 - 5. That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
 - 6. That no one provided significant professional assistance to the consultant, except as indicated within the report.
- I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Robert Weatherill
Certified Arborist WE 1936A
Date: 2/9/26

Advanced Tree Care

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Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree # 4: TPZ should be at 18 feet radius from the trunk, shown as a thin red line. This can be reduced to edge of sidewalk, curb and driveway in accordance with Type II Tree Protection as outlined and illustrated in image 2-15-3 within the planting strip, and Type I Tree Protection as outlined and illustrated in image 2-15-1 and 2-15-2 on private property. Shown as a thick red line.

Any excavation within the TPZ shall be done with hand tools only. No roots greater than 2" in diameter shall be cut.



Image 2-15-1

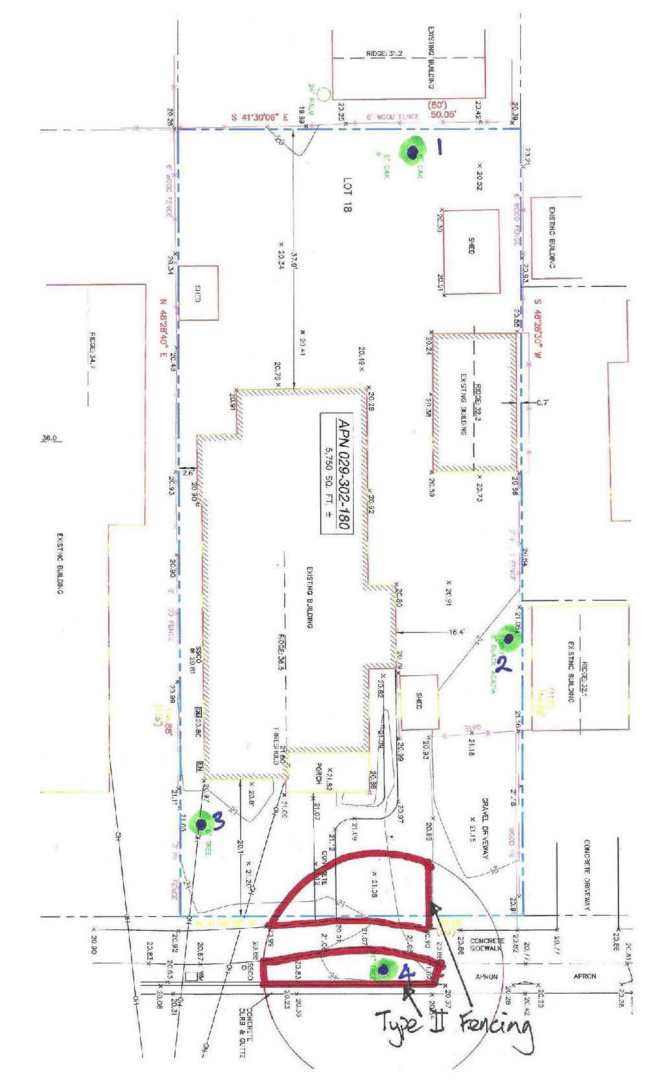
• Type I Tree Protection
The fence shall enclose the entire area under the canopy dripline or TPZ of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see Images 2-15-1 and 2-15-2). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.



Image 2-15-2

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10 Stanley Rd., Burlingame
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Location of existing house, protected trees and their Tree Protection Zones.

Advanced Tree Care

10 Stanley Rd., Burlingame
February 9, 2026

Terms and Conditions
The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care:
1. All property lines and ownership of property, trees, and landscape plants and features are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been discharged.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assigns or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warranty or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/evaluation unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedule of contract.
7. Advanced Tree Care has no warranty, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphic material or the work product of any other person is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

Geurse Conceptual Designs, Inc.

405 Baywater Ave.
Burlingame, California 94010
tel: 650.703.0197
email: jgeurse@gmail.com

SIGNATURE BOX
NAME: JESSE GEURSE

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 2281L EXPIRATION DATE 06/30/2026



Revision table with columns: NO, DATE, BY, DESCRIPTION, CONST.

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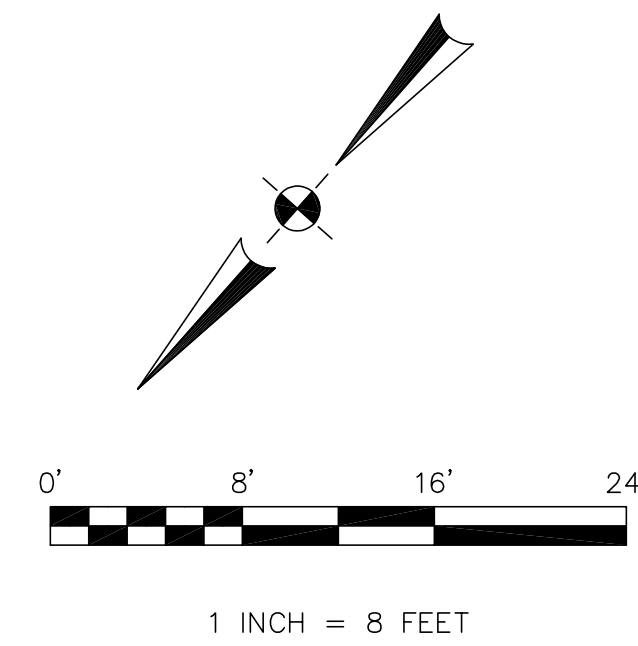
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

PROJECT NAME:
NEW RESIDENCE + DETACHED ADU / GARAGE
FOR
MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
ARBORIST REPORT

Table with columns: DATE, ENGINEER, DRAWING NO., JOB NO., AART ASSINK, SCALE, ASSHOWN, DRAWN BY, JFG, RELEASED TO CONSTRUCTION, REVIEWED BY, JFG

AR.1



BASIS OF BEARINGS

THE BEARING, NORTH 48°30'00" EAST, OF THE CENTERLINE OF BAYSWATER AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NO. 3217, WHICH WAS FILED FOR RECORD IN VOLUME 46 OF LLS MAPS PAGE 28 ON OCTOBER 1, 2018, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM (ALSO BURLINGAME CITY DATUM). BENCHMARK USED WAS CITY BENCHMARK #1028 AS SHOWN ON THAT CERTAIN RECORD OF SURVEY R/S NO. 3726 WHICH WAS FILED FOR RECORD IN 53 OF LLS MAPS PAGES 89-93, WITH A PUBLISHED ELEVATION OF 16.908 FEET.

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY CONDITION OF TITLE, NO. 5026900-7351791, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: JANUARY 27, 2026
JOB NUMBER: 26-007

LEGEND

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION VAULT
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GV GAS VALVE
- GUY GUY ANCHOR
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOIN POLE
- LAT LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE

FRONT SETBACKS

FOR HOUSES WHICH FRONT STANLEY ROAD:

10 STANLEY (SUBJECT)	20.1'
14 STANLEY	18.2'
18 STANLEY	17.3'
22 STANLEY	17.8'
26 STANLEY	23.4'
30 STANLEY	20.3'
34 STANLEY	23.3'
AVERAGE:	20.1'

LOT 15

LOT 16

LOT 17

LOT 12

LOT 18

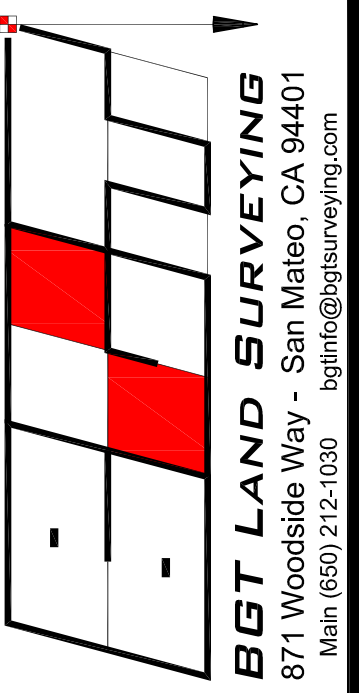
LOT 11

LOT 19

APN 029-302-180
5,750 SQ. FT. ±

LYON & HOAG SUBDIVISION OF THE TOWN OF BURLINGAME
BOOK 4 MAPS 26
BLOCK 37

STANLEY ROAD
[50' WIDE]



BOUNDARY AND TOPOGRAPHIC SURVEY
LOT 18, BLOCK 37, LYON AND HOAG SUBDIVISION OF THE TOWN OF BURLINGAME (BOOK 4 MAPS 26)

10 STANLEY ROAD
BURLINGAME, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
029-302-180

Prepared For:
RANDAL WHITMER
16506 SE 57th PLACE
BELLEVUE, WA 98006

Date: FEB. 2026
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: LHL

Revisions:

SU-1

Job No. 26-007

PUBLIC WORKS NOTES

- THIS PROJECT SHALL COMPLY WITH THE CITY NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION. SEE SHEET BMP1. CONTRACTOR SHALL CONSTRUCT FRONTAGE PUBLIC IMPROVEMENTS INCLUDING CURB, GUTTER, SIDEWALK, DRIVEWAY AND OTHER APPURTENANT WORK IF AREAS ARE REQUIRED TO BE ALTERED.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1710, THE SEWER BACKWATER.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 532.2. AN ENCROACHMENT PERMIT FOR THE SEWER LATERAL TEST IS REQUIRED. A PASSED SEWER LATERAL TEST CERTIFICATE MUST BE IN PLACE PRIOR TO FINAL OF THE BUILDING PERMIT.
- SEE SHEET PW1 FOR ADDITIONAL PUBLIC WORKS REQUIREMENTS.
- GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM DEPART. OF PUBLIC WORKS.
- ANY WORK IN THE CITY RIGHT-OF-WAY, SUCH AS PLACEMENT OF DEBRIS BIN IN STREET, CONSTRUCTION PARKING, WORK IN SIDEWALK AREA, PUBLIC EASEMENTS, AND UTILITY EASEMENTS IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK. PORTA POTTYS ARE NOT ALLOWED TO BE PLACED IN THE CITY RIGHT-OF-WAY. WORK WITHOUT THE BENEFIT OF AN ENCROACHMENT PERMIT WILL BE DOUBBLE THE PERMIT FEE.
- ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. WATER MAIN ON BURLINGAME AVENUE WAS REPLACED IN 2020.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1710, THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- THE BOUNDARY SURVEY SHALL SHOW THE PROPERTY LINES AND THAT THE PROPERTY CORNERS WERE SET WITH SURVEYOR'S LICENSE NUMBERS ON DURABLE MONUMENTS PER SECTION 8762 OF THE CALIFORNIA PROFESSIONAL LAND SURVEYORS ACT. A RECORD OF SURVEY MUST BE FILED WITH THE COUNTY OF SAN MATEO. ALL CORNERS SHALL TO BE MAINTAINED DURING CONSTRUCTION OR REINSTALLED BEFORE THE BUILDING FINAL. THE PROPERTY CORNERS NEED TO BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION AND WILL BE CHECKED BY CITY INSPECTOR. IF ANY CONSTRUCTION DOES OCCUR OVER PROPERTY, THE CONTRACTOR WILL NEED TO MAKE ALL CORRECTIONS TO THE SATISFACTION OF THE CITY INSPECTOR. ANY DISTURBED PROPERTY CORNERS WILL BE REPLACED BY THE PROJECT PRIOR TO FINAL INSPECTION.
- BASED ON THE SCOPE OF WORK, THIS IS A "TYPE I" PROJECT THAT REQUIRES A STORMWATER CONSTRUCTION POLLUTION PREVENTION PERMIT. THIS PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).
- AN ENCROACHMENT PERMIT FOR DEMOLITION OF ALL UTILITIES, AND REPLACEMENT OF DRIVEWAY APPROACH, NEW CURB DRAINS, SEWER LATERAL REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF THE BUILDING PERMIT. REPLACEMENT OF SIDEWALK, CURB, GUTTER WILL BE DETERMINED BY THE CITY INSPECTOR BASED ON A PRE-INSPECTION OF THE CONDITION. OTHERWISE, ALL DAMAGED AREAS OUTLINED BY CITY INSPECTOR SHALL BE REPLACED PER CITY STANDARD.

SITE DRAINAGE NOTE

- CONTRACTOR TO PROVIDE 4" DIA. PVC. SITE DRAINAGE LINE FROM AROUND RESIDENCE TO TO STREET PER CITY OF BURLINGAME PUBLIC WORKS REQUIREMENTS. THE ALL ROOF DOWNSPOUTS INTO 4" DRAINAGE LINE. TO HAVE POSITIVE DRAINAGE TO STREET. ALL WORK AT CITY SIDEWALK AND CURB IS REQUIRED TO HAVE CITY PERMIT. REPLACED AND REPAIR AS REQUIRED PER DETAILS ON SHEET PW1 AND PW2.
- SEE ROOF PLAN FOR ALL DOWNSPOUT LEADERS TO BOOT LOCATIONS.

PARKS DEPARTMENT

- NO PROTECTED TREE AS DEFINED BY 1106 MAY BE REMOVED, STRUCTURALLY ALTERED OR EXCESSIVELY PRUNED (ROOTS OR CROWN, AS DEFINED BY 110620) WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. PROTECTED TREES INCLUDE EXISTING TREES OVER 4 INCHES IN CIRCUMFERENCE MEASURED AT 34 INCHES FROM NATURAL GRADE, REQUIRED REPLACEMENT TREES REQUIRED LANDSCAPE TREES FOR DEVELOPMENT AND CITY STREET TREES IN THE PUBLIC RIGHT OF WAY.
- ALL TREE PROTECTION MEASURES ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL PROTECTED TREES, STREET TREES, AND REQUIRED LANDSCAPE TREES ARE TO BE IN GOOD CONDITION IN ORDER TO PASS PARKS FINAL INSPECTION.
- CONSTRUCTION MAY NOT IMPACT ANY STREET TREE ROOT OVER 2" IN DIAMETER WITHOUT CITY ARBORIST APPROVAL.
- ALL REQUIRED LANDSCAPE TREES EXISTING OR NEW, BECOME PROTECTED TREES REGARDLESS OF SIZE AND MUST BE DISCLOSED UPON SALE OR TRANSFER OF REAL PROPERTY.

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN BASED UPON AVAILABLE INFORMATION. THERE MAY BE ADDITIONAL EXISTING FACILITIES NOT SHOWN ON THESE PLANS. LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES SHOWN ARE APPROXIMATE ONLY. IT IS YOUR RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. CONTACT THE UTILITY NOTIFICATION CENTER OF CALIFORNIA AT 811 AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION.

SITE PLAN KEYNOTES

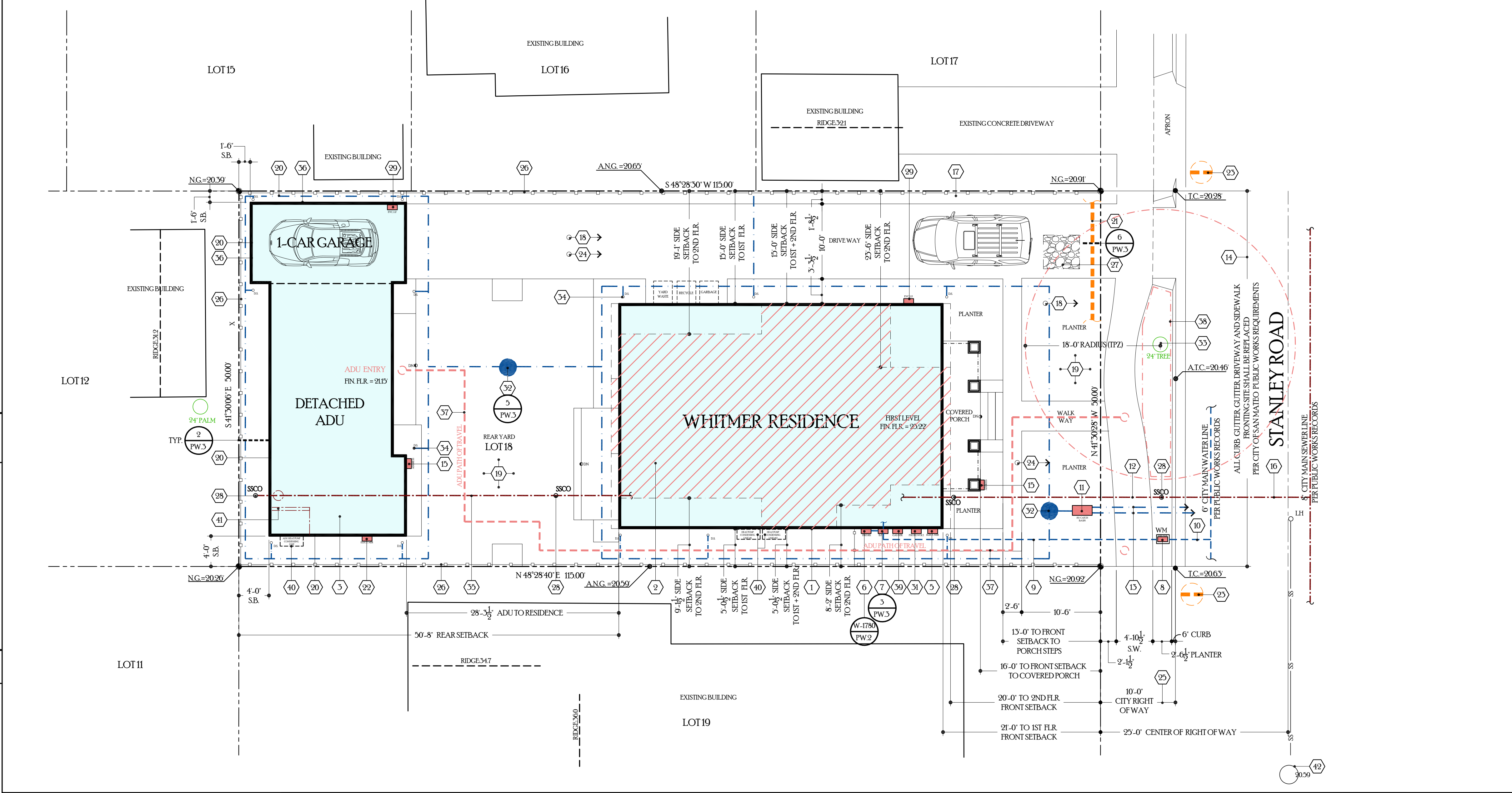
- LINE OF FIRST STORY SHOWN SOLID + SHADED.
- LINE OF SECOND STORY SHOWN HATCHED.
- NEW DETACHED ONE-CAR GARAGE/ADU SHOWN SHADED.
- NEW DRIVEWAY, WALKWAYS. SEE SHEET L51.
- LOCATION OF NEW 300 AMP ELECTRICAL PANEL AND METER. INSTALL PER PG&E REQUIREMENTS.
- LOCATION FOR FIRE RISER FOR FIRE PROTECTION. COORDINATE WITH DESIGN BLDG/ FIRE PROTECTION COMPANY FOR ALL NECESSARY MAIN WATER LINE FROM CITY METER. REFER TO APPROVED FIRE PROTECTION PLANS. SEE SHEET PW1. NOTE: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- LOCATION FOR DOUBLE CHECK VALVE ASSEMBLY. SEE DETAIL 3, SHEET PW3.
- LOCATION OF NEW WATER METER. CHANGE METER AND SIZE IN ACCORDANCE TO NEW FIRE PROTECTION CALCULATIONS AND PER CITY OF BURLINGAME PUBLIC WORKS AND FIRE DEPARTMENT REQUIREMENTS. MIN 1" METER.
- MAIN LATERAL FROM METER TO RESIDENCE. VERIFY SIZE OF LINE WITH FIRE PROTECTION CALCULATIONS AND APPROVED FIRE PROTECTION PLANS.
- CONTRACTOR TO VERIFY WITH PUBLIC WORKS FOR REQUIRED WATER LINE FROM CITY MAIN LATERAL TO METER. OBTAIN ALL NECESSARY PERMITS FOR ALL WORK PERFORMED IN CITY RIGHT AWAY. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL. ANY TRENCHING WITHIN THE CITY RIGHT OF WAY WILL REQUIRE THE REPAIR OF THE STREET TO CITY STANDARDS. SEE DETAIL 6, SHEET PW2.
- NEW CATCH BASIN DIFFUSER BOX PER PUBLIC WORKS STANDARD DETAIL SW-2 SHEET PW1.
- NEW 4" SANITARY SEWER TO CITY MAIN AND CLEANOUT PER PUBLIC WORKS REQUIREMENTS. SEE DETAIL SS-1 AND SS-2 SHEET PW2. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION WITHIN CITY EASEMENT.
- 4" DIA. DRAINAGE LINE TO DIFFUSER CHRISTY BOX WITH NEW DRAIN LINES OUT TO CURB. PER DETAIL SW-2 SHEET PW2.
- REPLACE ALL EXISTING CURB, GUTTER, AND SIDEWALK FRONTING PER PUBLIC WORKS REQUIREMENTS AND GENERAL NOTES. SEE SHEET CA1.
- LOCATION OF BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND SHALL BE A MINIMUM OF ONE-HALF INCH STROKE BY FOUR INCHES HIGH AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION. ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION, THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE. CITY OF BURLINGAME MUNICIPAL CODE 15.08.010, 2022 CBC 9021. NOTE: ADU SHALL BE IDENTIFIED AS 1828 "A" INSTALL PER BURLINGAME CODE 15.08.010. THE ADU ADDRESS WILL BE AN ALPHA-NUMERIC NUMBER WITH THE LETTER "A" AFTER THE MAIN DWELLING NUMBER.
 - IF THE ADU IS DETACHED TO THE MAIN DWELLING UNIT, THE ADU NUMBER SHALL BE DISPLAYED SEPARATE FROM THE MAIN DWELLING UNIT ON EITHER A SECONDARY MAILBOX, GATE, OR NON-MOVABLE STRUCTURE VISIBLE FROM THE STREET FRONTAGE AT THE PROPERTY LINE, AS WELL AS ON THE FRONT ENTRANCE OF THE ADU.
 - A DETACHED ADU MUST HAVE A DEFINE AND VISIBLE PATHWAY LEADING TO THE ADU WITH PROPER ILLUMINATION.
 - THE SIZE AND LABELING OF THE ADDRESS NUMBERS SHALL BE PER THE BUILDING AND FIRE DEPARTMENT MUNICIPAL CODES.
- BUILDER TO VERIFY WITH PUBLIC WORKS FOR REQUIRED SEWER LINE CONNECTION TO CITY MAIN SEWER LINE. OBTAIN ALL NECESSARY PERMITS FOR ALL WORK PERFORMED IN CITY RIGHT AWAY.
- NEW 6" WOOD FENCE. SEE DETAIL 2, SHEET L51.
- DIRECTION OF SITE DRAINAGE. SEE SURVEY.
- SEE SHEET L51 FOR SITE MATERIAL AND LANDSCAPING.
- EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION 2022 CBC, TABLE 602.
- PROVIDE RIP RAP AROUND ENTIRE PROPERTY BOUNDARIES FOR MANAGEMENT OF STORM WATER DRAINAGE DURING CONSTRUCTION. SEE DETAIL 6, SHEET PW3. REFER TO BMP1 FOR ADDITIONAL PROTECTIONS REQUIREMENTS DURING CONSTRUCTION.
- LOCATION OF NEW 100 AMP ELECTRICAL PANEL FOR ADU/GARAGE. PER PG&E REQUIREMENTS.
- PROVIDE RIP RAP AT ALL GUTTER, STORM DRAIN INLET, CATCH BASINS AND ALL AREAS ADJACENT TO NEIGHBORING PROPERTIES. ALL MEASURES TO BE IN ACCORDANCE TO BMP1.
- DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
- NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY. THIS INCLUDES ALL EXISTING AND NEW, SUCH AS BUT NOT LIMITED TO, WALL, FENCE, RAILING, AND MAILBOX. SHOW ON SITE PLAN. DIMENSION FROM PROPERTY LINE TO FACE OF CURB ON BALBOA AVENUE. THIS MEASUREMENT IS 111 FEET MEASURED FROM FACE OF CURB.
- NEW 6'-0" HIGH WOOD FENCE PER DETAIL 2, SHEET L51.
- PROVIDE 10'-0" X 10'-0" ROCK ENTRY PAD AT ENTRY TO SITE FOR ON-SITE SOIL CONTROL.
- NEW SANITARY CLEANOUT PER CITY STANDARDS. SEE SHEET PW1 TYP AS REQUIRED.
- EVL LEVEL 2 READY CIRCUIT EQUIPPED WITH RACEWAY, WIRING, RECEPTACLE AND ELECTRICAL CAPACITY WITH A MINIMUM 208/240V, 40 AMP CIRCUIT WITH A RECEPTACLE LABELED "EV VEHICLE OUTLET," OR WITH ELECTRICAL VEHICLE SUPPLY EQUIPMENT WITH A MINIMUM OUTPUT OF 30 AMPS.
- NOT USED.
- LOCATION OF NEW PV SYSTEM (SOLAR PANEL) WITH MIN. 322 KW PV ENERGY SYSTEM. INSTALLATION BY APPROVED SOLAR POWER COMPANY. SEE CALCULATION THIS SHEET.
- TWO 28" X 5'-0" DEEP STORMWATER RETENTION WELL WITH 4" DIA. BUBBLER POP UP ASSEMBLY SYSTEM. ALL DRAINAGE DIRECTED ONTO LANDSCAPE AREA. DIRECT ROOF RUNOFF ONTO VEGETATED AREAS. SEE DETAIL 3, SHEET PW3.
- EXISTING CITY STREET TREES TO REMAIN. PROTECT AS REQUIRED.
- LOCATION OF DOWNSPOUT PER ROOF PLAN. CONNECT DOWNSPOUT TO 4" DRAINAGE LINE. DIRECTED TO DIFFUSER CHRISTY BOX WITH NEW DRAIN LINES OUT TO CURB. PER DETAILS W-2, SHEET PW2.
- SANITARY SEWER LATERAL FROM THE ACCESSORY DWELLING UNIT SHALL BE CONNECTED TO THE EXISTING LATERAL ON PRIVATE PROPERTY SIDE PER MUNICIPAL CODE 15.08.010. NO SUBLATERAL TO THE MAIN SEWER IS PERMITTED.
- ADU MUST HAVE A DEFINE AND VISIBLE PATHWAY LEADING TO THE ADU WITH PROPER ILLUMINATION. THE MAILBOX MUST BE CONSTRUCTED BEHIND THE PROPERTY. THE SIZE AND LABELING OF THE ADDRESS NUMBERS SHALL BE PER THE BUILDING AND FIRE DEPARTMENT MUNICIPAL CODES.
- TREE PROTECTION FENCING AROUND EXISTING STREET TREE IS TO BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION. SEE DETAIL 2, SHEET TP0 FOR TYPICAL DETAILS. SEE ARBORIST REPORT SHEET AR1.
- EXISTING GAS METER TO REMAIN.
- LOCATION OF HEAT PUMP CONDENSING UNITS #1-#2 AND ADU NEW A/C UNIT OR MECHANICAL EQUIPMENT IS GOING TO BE INSTALLED ON THE EXTERIOR OF THE BUILDING. THE NEW EQUIPMENT CANNOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL (DBA) OF SIXTY (60) DBA DAY TIME (7:00 A.M. - 10:00 P.M.) OR FIFTY (50) DBA NIGHT TIME (10:00 P.M. - 7:00 A.M.) AS MEASURED FROM THE PROPERTY LINE. BMC 25.58.050 PROVIDE 6" HIGH ANG. CONCRETE PLATFORM.
- ADU SHOWER CURB ELEVATION FOR BACKWATER CERTIFICATION FOR LOWEST POINT = 21.43' BUILDER TO PROVIDE SEWER BACK FLOW DEVICE AS REQUIRED BY CITY OF BURLINGAME.
- NEAREST CITY SEWER MANHOLE ELEVATION = 20.99' DIFFERENCE = SHOWER CURB ELEVATION IS 00.44' LESS THAN 1'-0" ABOVE NEAREST SEWER MANHOLE.

Geurse Conceptual Designs, Inc.

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SIGNATURE BOX
NAME: JESSE GEURSE

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 22811. EXPIRATION DATE: 06/30/2026



SITE PLAN

SCALE 1/8"=1'-0"

IMPERVIOUS SURFACE CALCULATION

RESIDENCE / GARAGE / ADU / PORCH / DRIVEWAY / WALKWAYS / LANDINGS / STEPS = 3,520 SF.
TOTAL IMPERVIOUS = 3,520 SF. MINUS 2,300 = 1,220 SF. = REQUIRED TO BE RETAINED ON SITE WITH DRY RETENTION WELL.
TOTAL IMPERVIOUS SURFACE = 3,520 SF. DIVIDE BY LOT = 5,790 SF. = 61%
ALLOWABLE IMPERVIOUS SURFACE = LOT = 5,770 SF. X 40 % = 2,300 SF.
PROVIDED 2'-28" DIAMETER X 5'-0" DEEP DRY RETENTION WELL PER DETAIL 9, SHEET PW2

AVERAGE FRONT SETBACK

AVERAGE FRONT SETBACK ALONG SUBJECT BLOCK	STANLEY (SUBJECT)
10 STANLEY =	201
14 STANLEY =	182
18 STANLEY =	173 - LOWEST
22 STANLEY =	178
26 STANLEY =	254 - HIGHEST
30 STANLEY =	203
34 STANLEY =	233
AVERAGE FRONT SETBACK = 201 + 182 + 173 + 203 + 253 = 9970 / 5 = 1994 = 19'-11"	

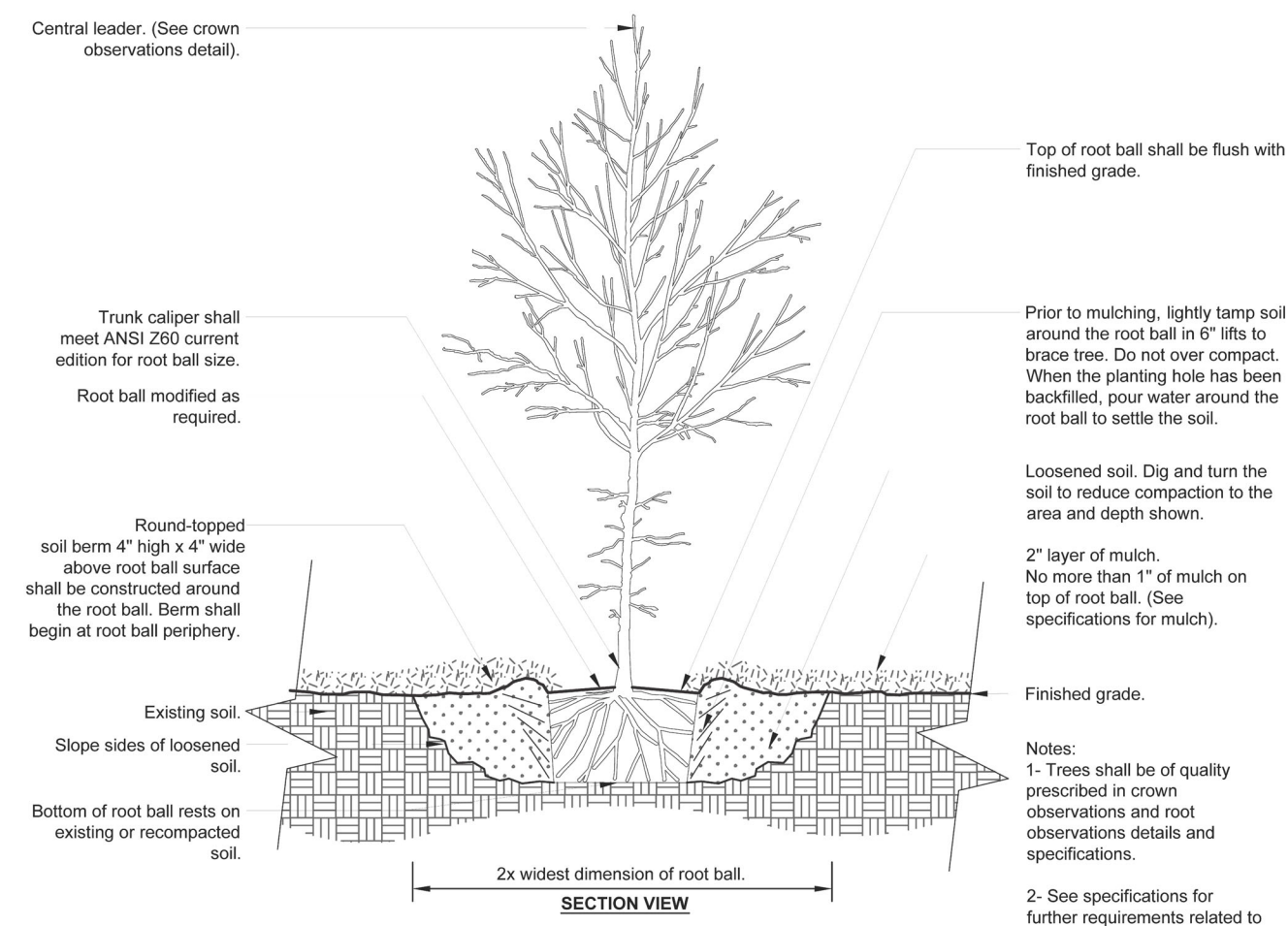
NO.	DATE	BY	DESCRIPTION	CONST.
1	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
2	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

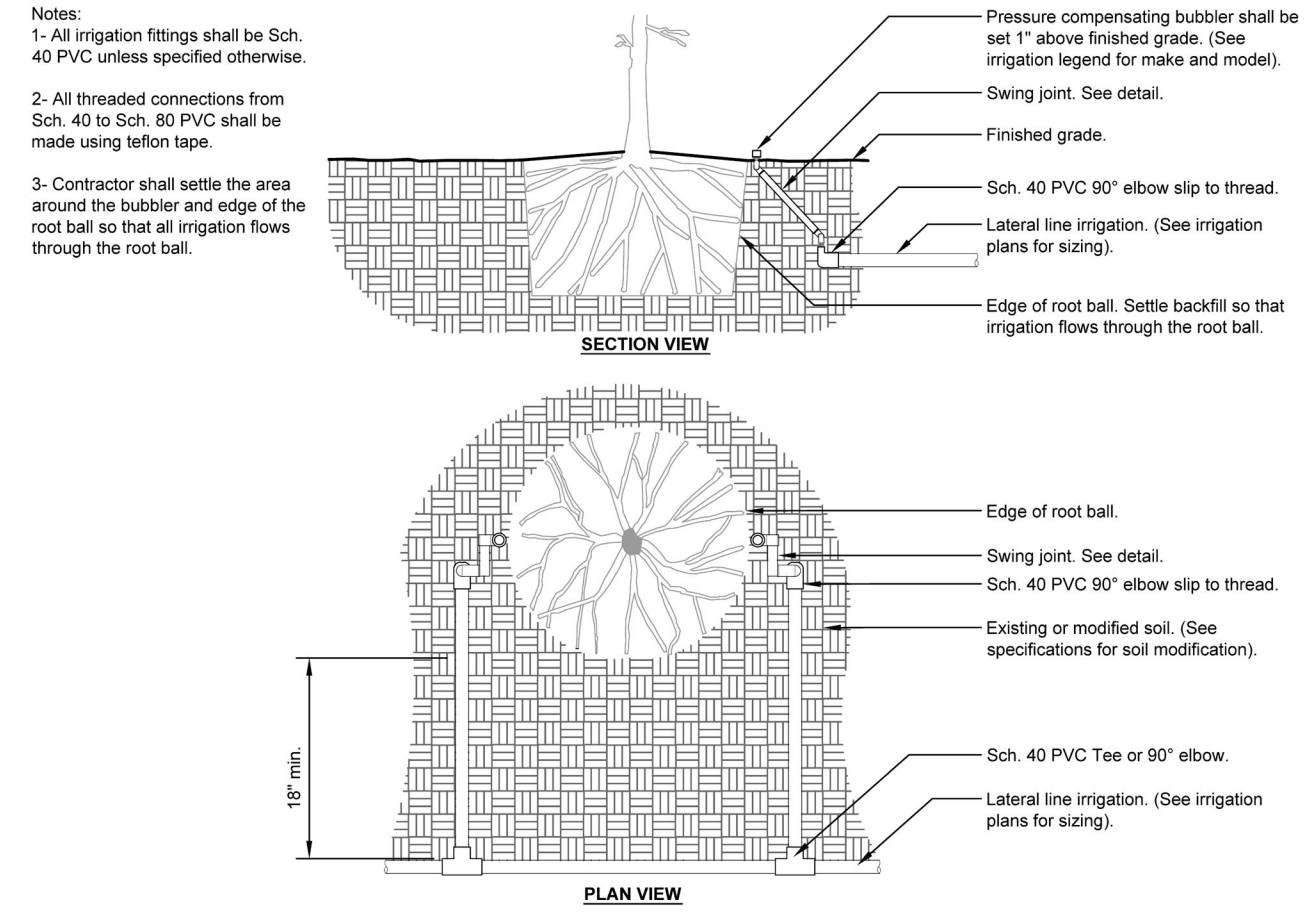
PROJECT NAME:
NEW RESIDENCE + DETACHED ADU
FOR
MRS. KIMBERLY WICKAM
1128 LINCOLN AVENUE
BURLINGAME, CALIFORNIA 94101

DRAWING TITLE:
SITE PLAN

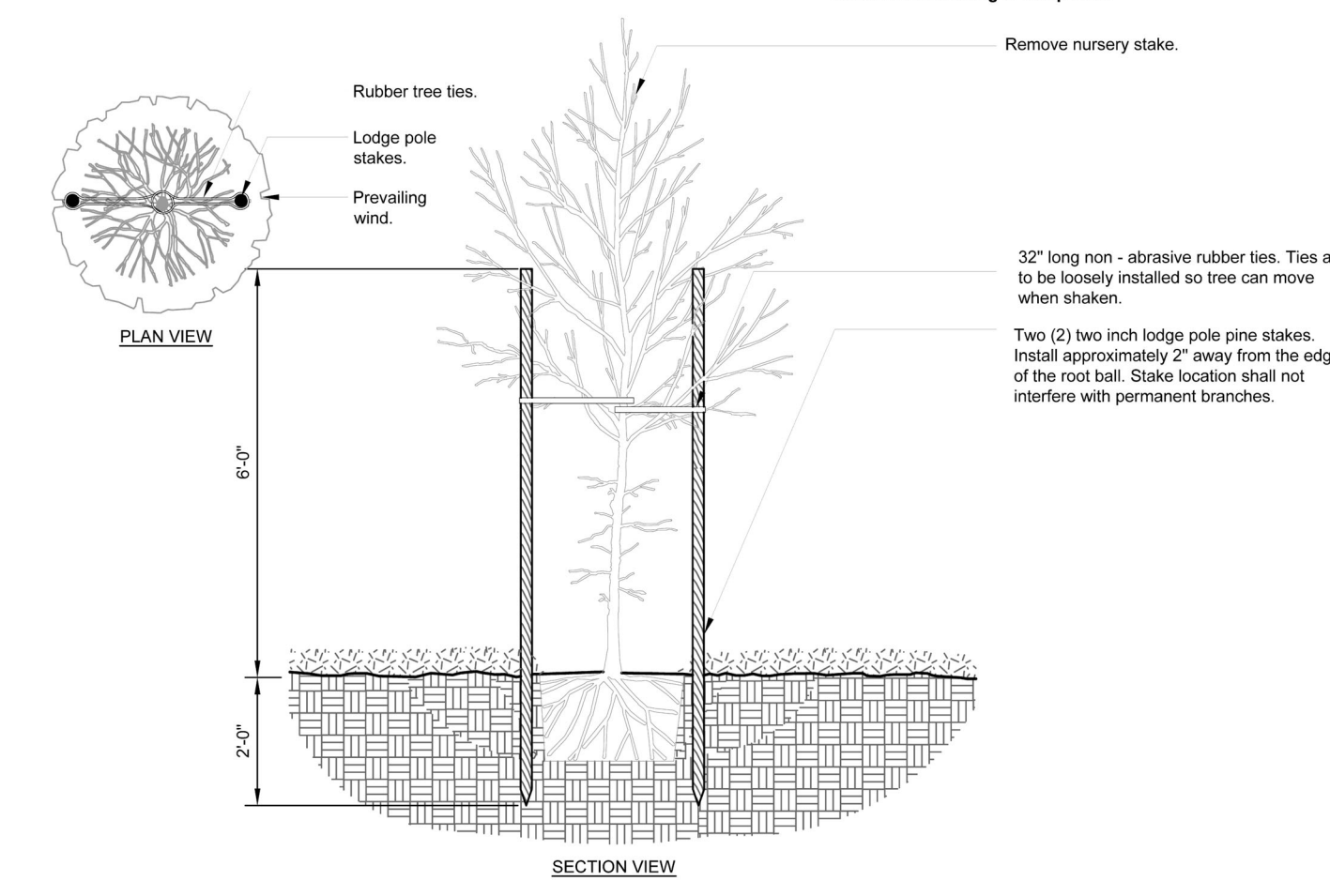
DATE	ENGINEER	DRAWING NO.
2403	AART ASSINK	SP.1
JFG	SCALE: AS SHOWN	
JFG	RELEASED TO CONSTRUCTION	



(P-X) TREE w/ BERM (EXISTING SOIL NOT MODIFIED)
City of Burlingame
Parks Division | parksadmin@burlingame.org | (650) 558-7330



(I-X) IRRIGATION BUBBLER (2) W/ LAYOUT
City of Burlingame
Parks Division | parksadmin@burlingame.org | (650) 558-7330



(P-X) TREE STAKING - LODGE POLES (2)
City of Burlingame
Parks Division | parksadmin@burlingame.org | (650) 558-7330

- ### LANDSCAPE KEYNOTES
- EXISTING CITY STREET TREE TO REMAIN PROTECT PER SHEET SP1 THIS SHEET.
 - VEGETATION PER LEGEND TYP.
 - HARDSCAPE PER LEGEND SHOWN SHADED.
 - GROUND COVER PER LEGEND.
 - (2) MIN 24" BOX TREE PER LEGEND AND INSTALLED PER DETAIL 1 THIS SHEET.

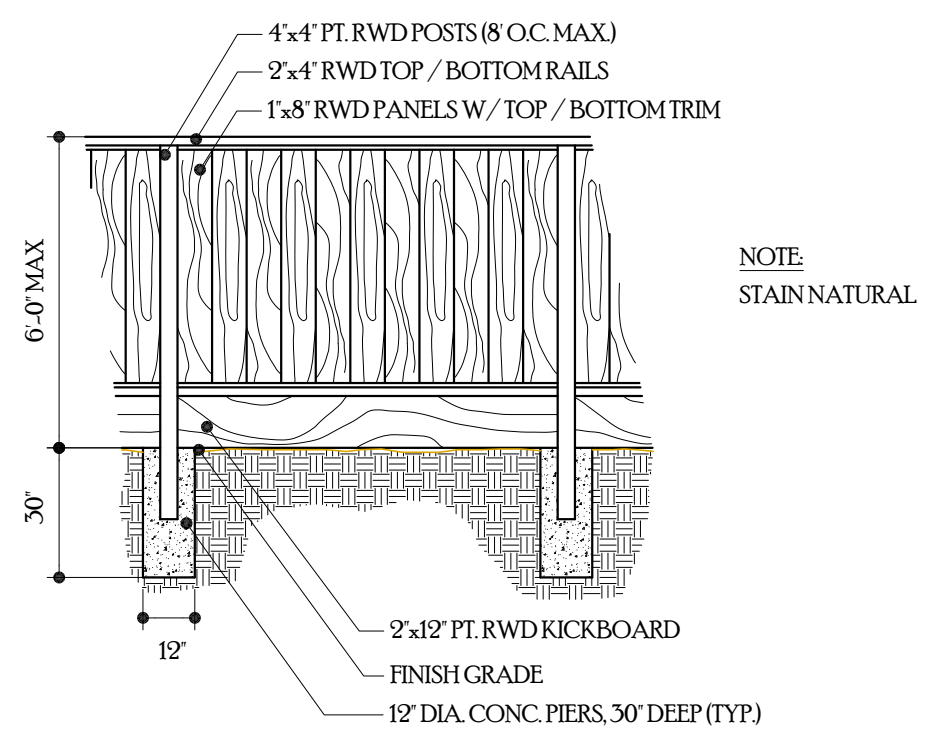
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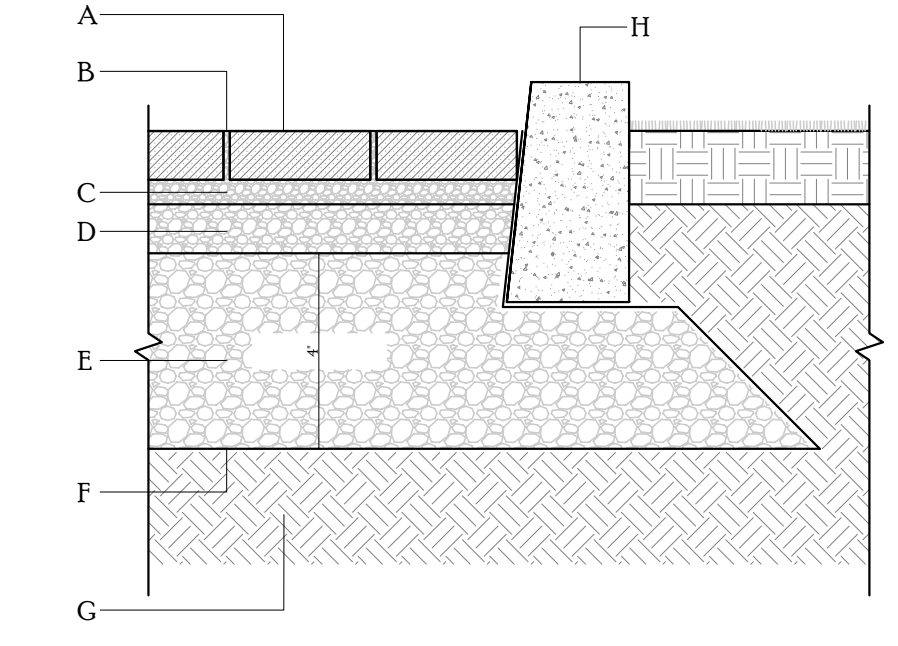
SIGNATURE BOX
NAME: JESSE GEURSE

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 22818. EXPIRATION DATE: 06/30/2026

1~ TREE STAKING AND IRRIGATION



2~ WOOD FENCE
SCALE: NTS



3~ PERMEABLE PAVERS (DRIVEWAY + WALKWAYS)
SCALE: NTS

SYMBOL	COMMON NAME	SIZE
	GINKGO BILOBA 24" BOX SIZE TREES	24 MIN. BOX TREE. SINGLE STEM ACER RUBRUM. MIN. 15'-0" IN HGT.
	CHERRY LAUREL SCREEN TREES	5 GALLON
	EXISTING CITY STREET TREE	EXISTING
	ROYAL PURPLE SMOKE BUSH	1 GALLON
	FRENCH LAVENDER	4 GALLON
	CALIFORNIA LILAC	2 GALLON
	ENGLISH BOXWOOD	1 GALLON
	RUMBLESTONE MIN 7 IN. X 3.5 IN. X 1.75 IN. MERRIAM BLEND CONCRETE PAVER	
	ZOSIYA GRASS	SOD
	MOJAVE GOLD CRUSHED ROCK	



LANDSCAPE NOTE

RETAIN EXISTING VEGETATION AS PRACTICABLE.

SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND / OR ATTRACT BENEFICIAL INSECTS.

MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.

USE EFFICIENT IRRIGATION SYSTEM. DESIGN TO MINIMIZE RUNOFF.

NO.	DATE	BY	DESCRIPTION	CONST.
1	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
2	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

PARKS GENERAL NOTE

- NO PROTECTED TREE AS DEFINED BY 1106.00 MAY BE REMOVED, STRUCTURALLY ALTERED OR EXCESSIVELY PRUNED (ROOTS OR CROWN, AS DEFINED BY 1106.00) WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. PROTECTED TREES INCLUDE EXISTING TREES OVER 44 INCHES IN CIRCUMFERENCE MEASURED AT 54 INCHES FROM NATURAL GRADE. REQUIRED REPLACEMENT TREES, REQUIRED LANDSCAPE TREES FOR DEVELOPMENT AND CITY STREET TREES IN THE PUBLIC RIGHT OF WAY.
- ALL TREE PROTECTION MEASURES ARE TO BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL PROTECTED TREES, STREET TREES, AND REQUIRED LANDSCAPE TREES ARE TO BE IN GOOD CONDITION IN ORDER TO PASS PARKS FINAL INSPECTION.
- CONSTRUCTION MAY NOT IMPACT ANY STREET TREE ROOT OVER 2" IN DIAMETER WITHOUT CITY ARBORIST APPROVAL.
- ALL REQUIRED LANDSCAPE TREES, EXISTING OR NEW, BECOME PROTECTED TREES REGARDLESS OF SIZE AND MUST BE DISCLOSED UPON SALE OR TRANSFER OF REAL PROPERTY.

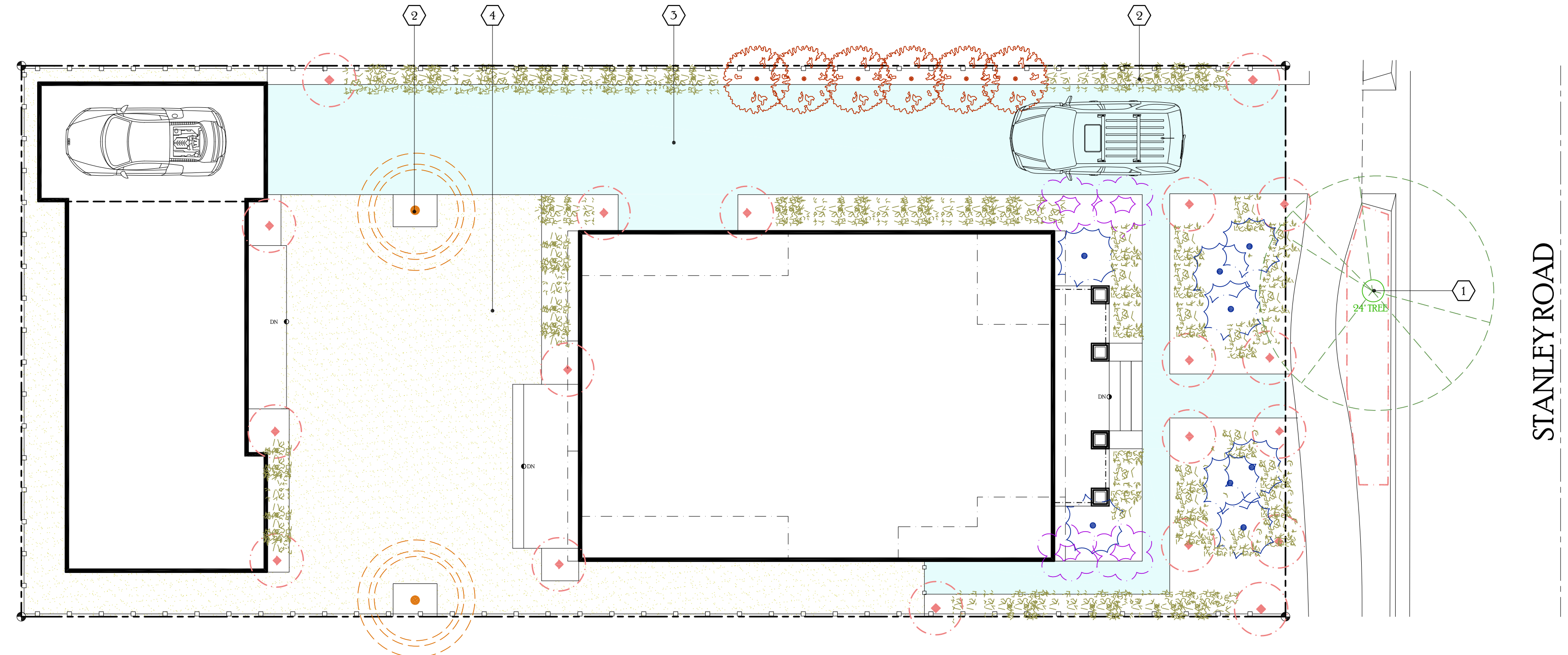
REVISIONS

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

PROJECT NAME:
NEW RESIDENCE + DETACHED ADU
FOR
MRS. KIMBERLY WICKAM
1128 LINCOLN AVENUE
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE:
LANDSCAPE-HARDSCAPE PLAN

DATE: 2403	ENGINEER: AART ASSINK	DRAWING NO:
DRAWN BY: JFG	SCALE: AS SHOWN	LS.1
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	



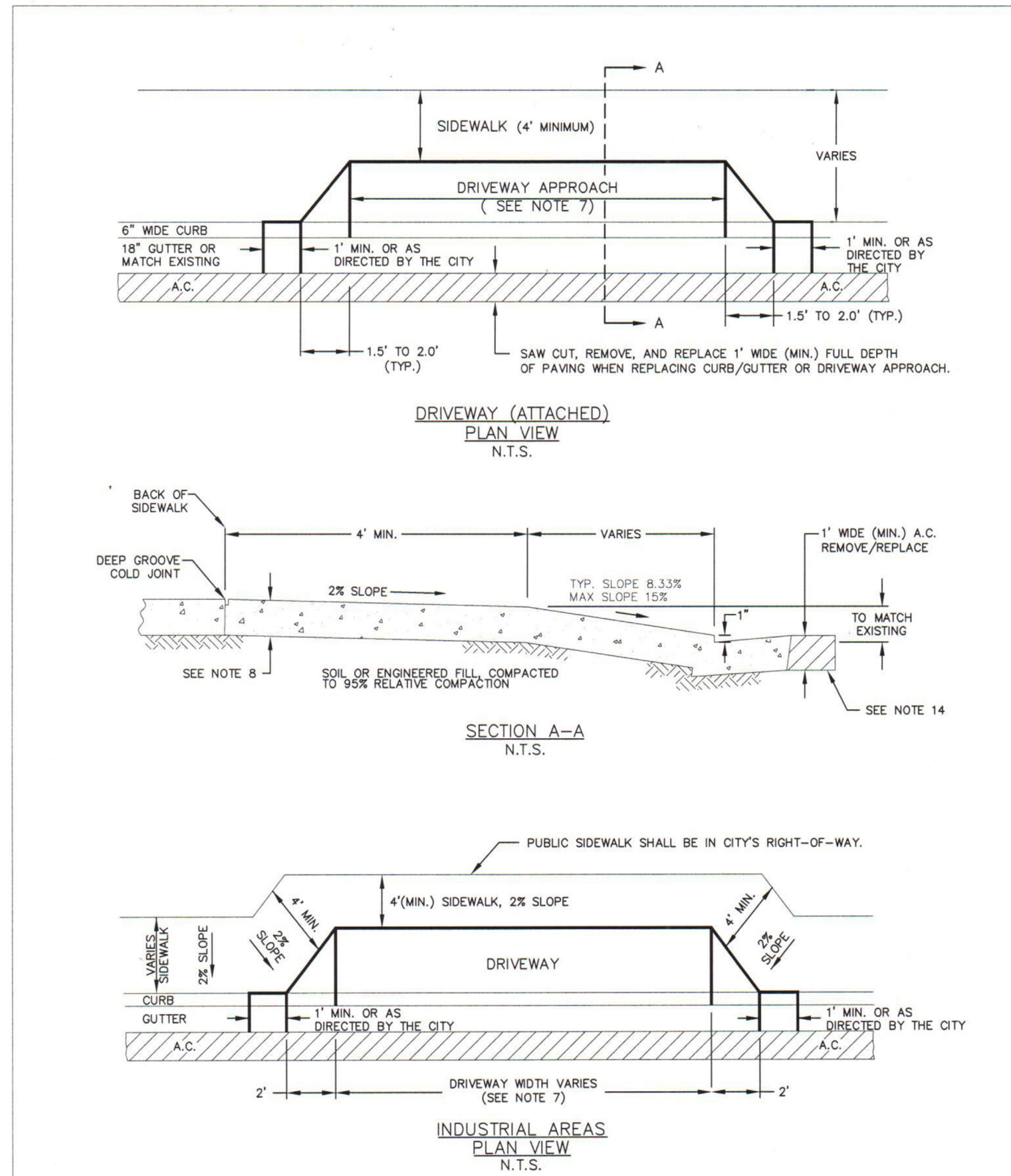
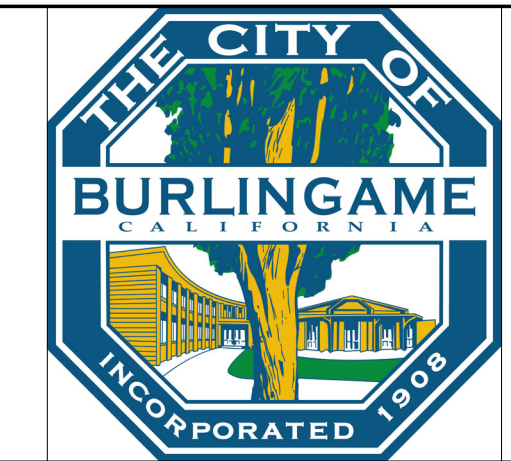
PUBLIC WORKS DEPARTMENT REQUIREMENTS AND TYPICAL DETAILS

Geurse Conceptual Designs, Inc.

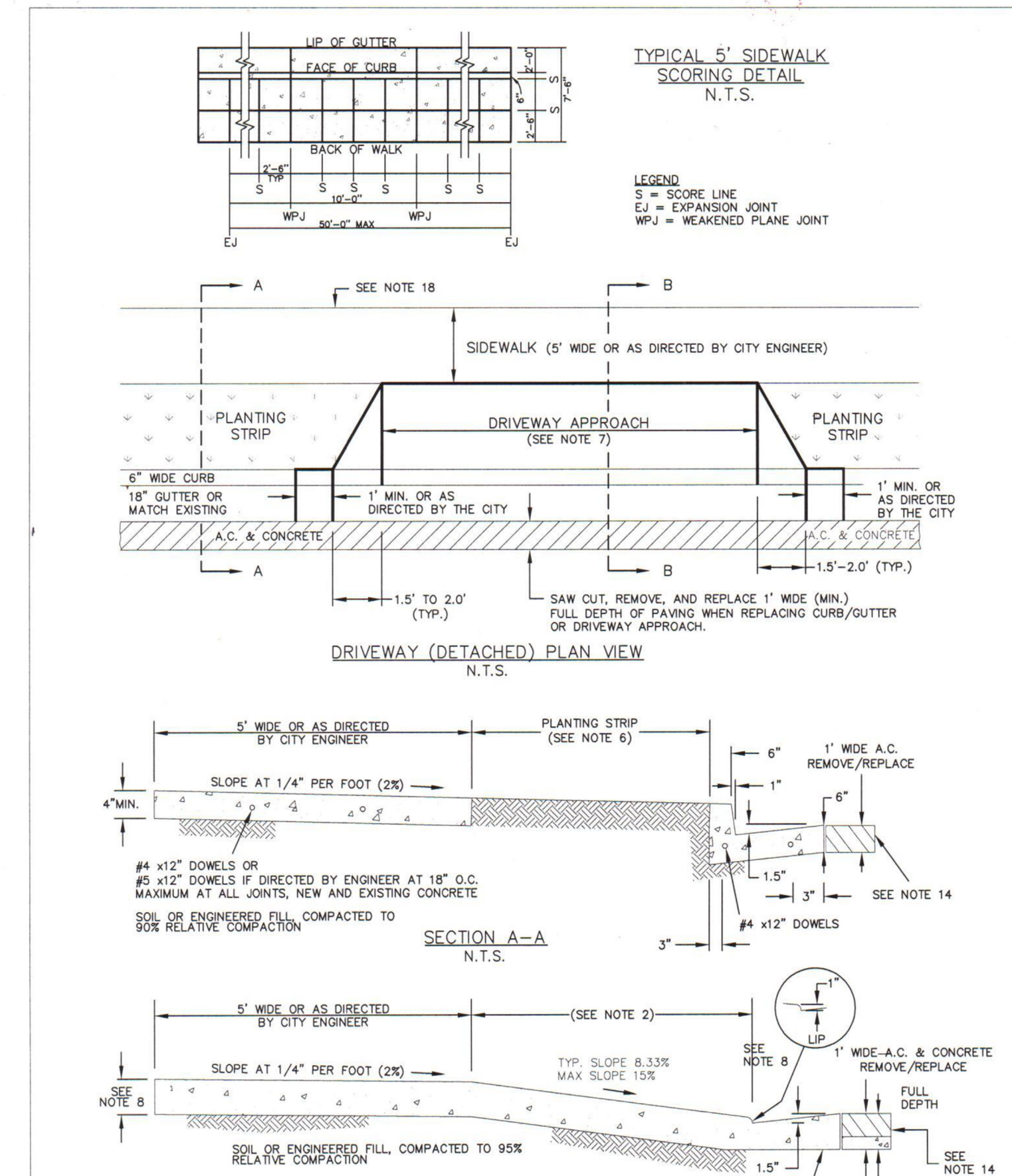
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email: jgeurse@gmail.com

SIGNATURE BOX
NAME: JESSE GEURSE

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 22818. EXPIRATION DATE: 06/30/2026



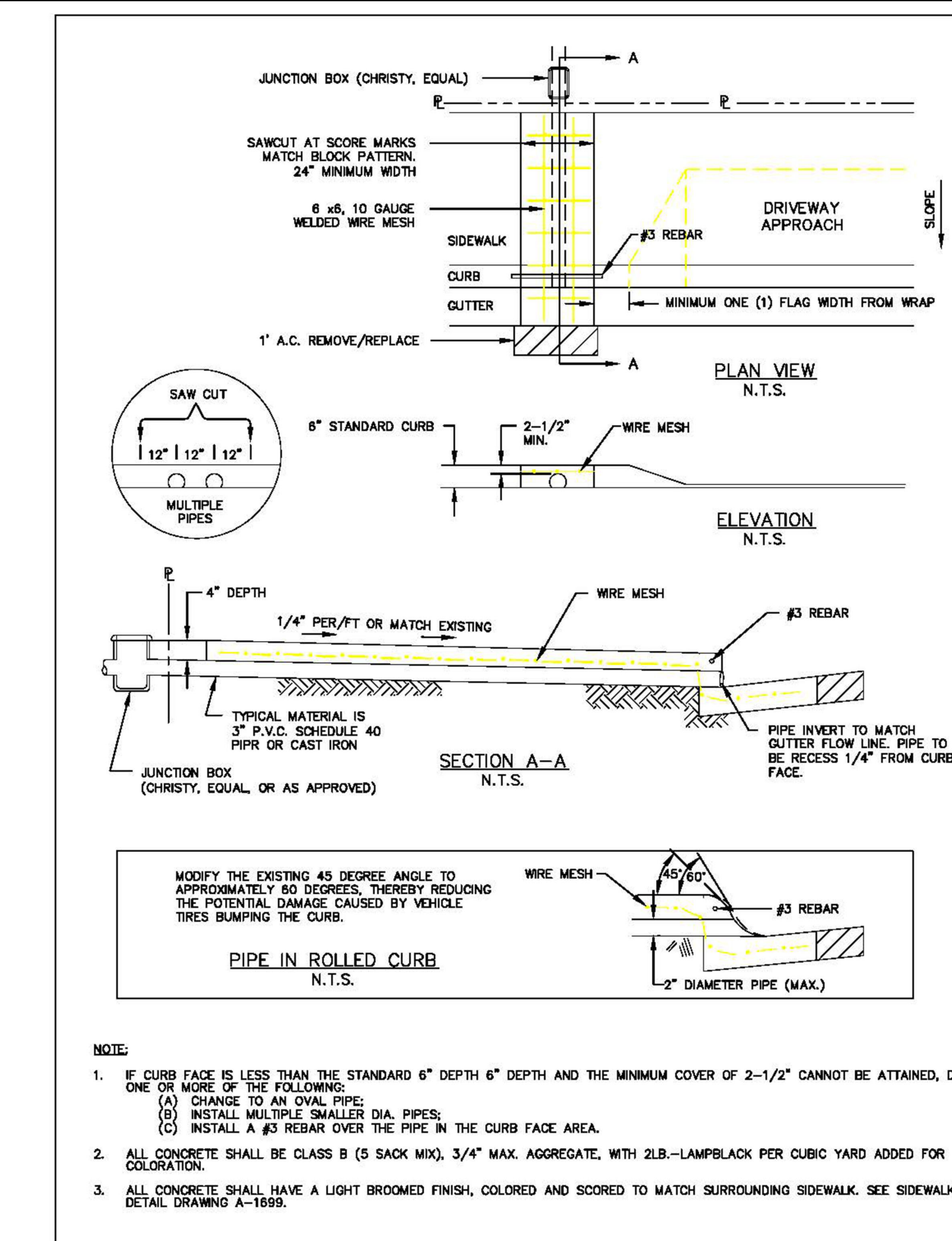
SIDEWALK, DRIVEWAY, CURB AND GUTTER
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: [Signature]
DATE: 8/9/2017
DRAWING NO. SW-1 (2 of 3)



SIDEWALK DETAIL, DRIVEWAY, CURB AND GUTTER
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: [Signature]
DATE: 8/9/2017
DRAWING NO. SW-1 (1 of 3)

- REQUIREMENTS FOR CONSTRUCTION OF SIDEWALK, DRIVEWAY, CURB AND GUTTER**
(UNLESS OTHERWISE APPROVED BY ENGINEER)
- SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION IN SIDEWALK AREA OR 95% IN DRIVEWAY.
 - ALL DRIVEWAY APPROACH RAMP SHALL BE A MINIMUM 4" WIDE MEASURED FROM FACE OF CURB EXCEPT IN THE SINGLE FAMILY AREA WHERE THE RAMP MAY MATCH EXISTING WHERE THE PARKING STRIP WIDTH IS LESS THAN 4'. THE RAMP SHALL BE CONSTRUCTED INTO SIDEWALK AREA. BEHIND THE RAMP, SIDEWALK WIDTH SHALL BE A MINIMUM OF 4'-0" IN COMMERCIAL, INDUSTRIAL AND MULTI-FAMILY AREAS.
 - ALL CONCRETE SHALL BE CLASS B (5 SACK MIX), 3/4" MAX. AGGREGATE, WITH 2LB.-LAMPBLACK PER CUBIC YARD ADDED FOR COLORATION.
 - SIDEWALK SHALL HAVE A LIGHT BROOMED FINISH, COLORED AND SCORED TO MATCH SURROUNDING SIDEWALK.
 - EXPANSION JOINTS SHALL BE INSTALLED ON EACH SIDE OF DRIVEWAY AND A MAXIMUM AT 20' CENTERS ALONG SIDEWALKS, CURBS AND GUTTERS.
 - DRIVEWAY OR SIDEWALK ADJACENT TO CURB/GUTTER SHALL BE POURED MONOLITHIC WITH CURB AND GUTTER.
 - DRIVEWAY WIDTH MAY VARY TO MEET SPECIAL CONDITIONS WITH APPROVAL OF THE CITY. (SEE MUNICIPAL CODE SECTION 12.04.060).
 - CONCRETE THICKNESS FOR DRIVEWAYS IN INDUSTRIAL AND COMMERCIAL AREAS IS 8" MINIMUM. CONCRETE THICKNESS FOR DRIVEWAYS IN RESIDENTIAL AND MULTI-FAMILY IS 6" MINIMUM.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND THE LATEST CALTRANS STANDARDS.
 - ALL TREES IN PARKING STRIP MUST BE PROTECTED FROM DAMAGE.
 - NO TREE ROOTS LARGER THAN 2" ARE TO BE CUT UNLESS SPECIFICALLY APPROVED BY THE PARKS DEPARTMENT AT (650) 558-7300.
 - ALL CONCRETE SHALL BE CURED FOR A PERIOD OF 72 HOURS. (CALTRANS SECTION 90-7)
 - ALL CONCRETE REMOVALS SHALL BE SAWCUT FULL DEPTH OF CONCRETE SIDEWALK, DRIVEWAY AND APRONS.
 - SAWCUT AND REMOVE/REPLACE A.C. PAVING 1' WIDE (MIN.) WITH HOT MIX A.C. SAWCUT FULL DEPTH AC AND CONCRETE 6"-7" +/-, REMOVE AND REPLACE WITH AC MATCHING COMBINED THICKNESS OR 6" AC MINIMUM.
 - THE NEW DRIVEWAY MUST NOT ENCRoACH TO NEIGHBOR'S PROPERTY LINE PROJECTION INTO THE STREET WITHOUT WRITTEN APPROVAL FROM THE NEIGHBOR.
 - ALL SIDEWALK MUST MEET CURRENT ADA REQUIREMENTS.
 - ACTUAL DRIVEWAY WIDTH SHALL BE DETERMINE UPON APPLICATION OF THE CITY ENCROACHMENT PERMIT.
 - THE TUNNELING OF CONCRETE SIDEWALKS FOR CURB DRAIN INSTALLATIONS IF NOT PERMITTED. PROVIDE AND INSTALL #4x12" DOWELS 18" O.C. MAXIMUM AT ALL JOINTS, NEW AND EXISTING CONCRETE SIDEWALK. #4x12" DOWELS ARE ALLOWED IF APPROVED AND DIRECTED BY ENGINEER. #4x12" DOWELS ARE REQUIRED AT ALL CURB AND GUTTER JOINTS AS SHOWN IN STANDARD DETAIL SW-1.
 - THE BACK OF THE DRIVEWAY/SIDEWALK APPROACH SHALL BE AT LEAST 12" ABOVE THE FLOW LINE OF THE FRONTAGE CURB IN THE STREET TO PREVENT OVERFLOW OF STORM WATER FROM THE STREET INTO PRIVATE PROPERTY.

SIDEWALK, DRIVEWAY, CURB AND GUTTER
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: [Signature]
DATE: 8/9/2017
DRAWING NO. SW-1 (3 of 3)



STANDARD CURB DRAIN
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: [Signature]
DATE: 8/11/2008
DRAWING NO. SW-2

NO.	DATE	BY	DESCRIPTION	CONST.
4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN		
2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN		

REVISIONS

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

PROJECT NAME:
NEW RESIDENCE + DETACHED ADU / GARAGE FOR MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE:
PUBLIC WORKS REQUIREMENTS AND DETAILS

DATE: 2601 ENGINEER: AART ASSINK DRAWING NO. PW.1
JOB NO. SCALE: AS SHOWN
DRAWN BY: JFG RELEASED TO CONSTRUCTION
REVIEWED BY: JFG

ALLOWABLE FLOOR AREA RATIO
BURLINGAME ALLOWABLE: 32 PERCENT X LOT AREA + 1100 S.F. INTERIOR LOTS
RESIDENCE: 32 PERCENT X 5,750 SQ. FT. = 1840 + 1100 = 2940 SQ. FT. BUILDABLE FLOOR AREA.
<u>TOTAL FOR AREA RATIO RESIDENCE:</u>
RESIDENCE = 2940 SQ. FT.

RESIDENCE LOT COVERAGE
EXISTING LOT AREA: 5,750 SQ. FT.
MAXIMUM LOT COVERAGE: 5,750 SQ. FT. X 40% = 2,300 SQ. FT.
LOT COVERAGE PROPOSED = 1,922.4 SF.

Geurse Conceptual Designs, Inc.

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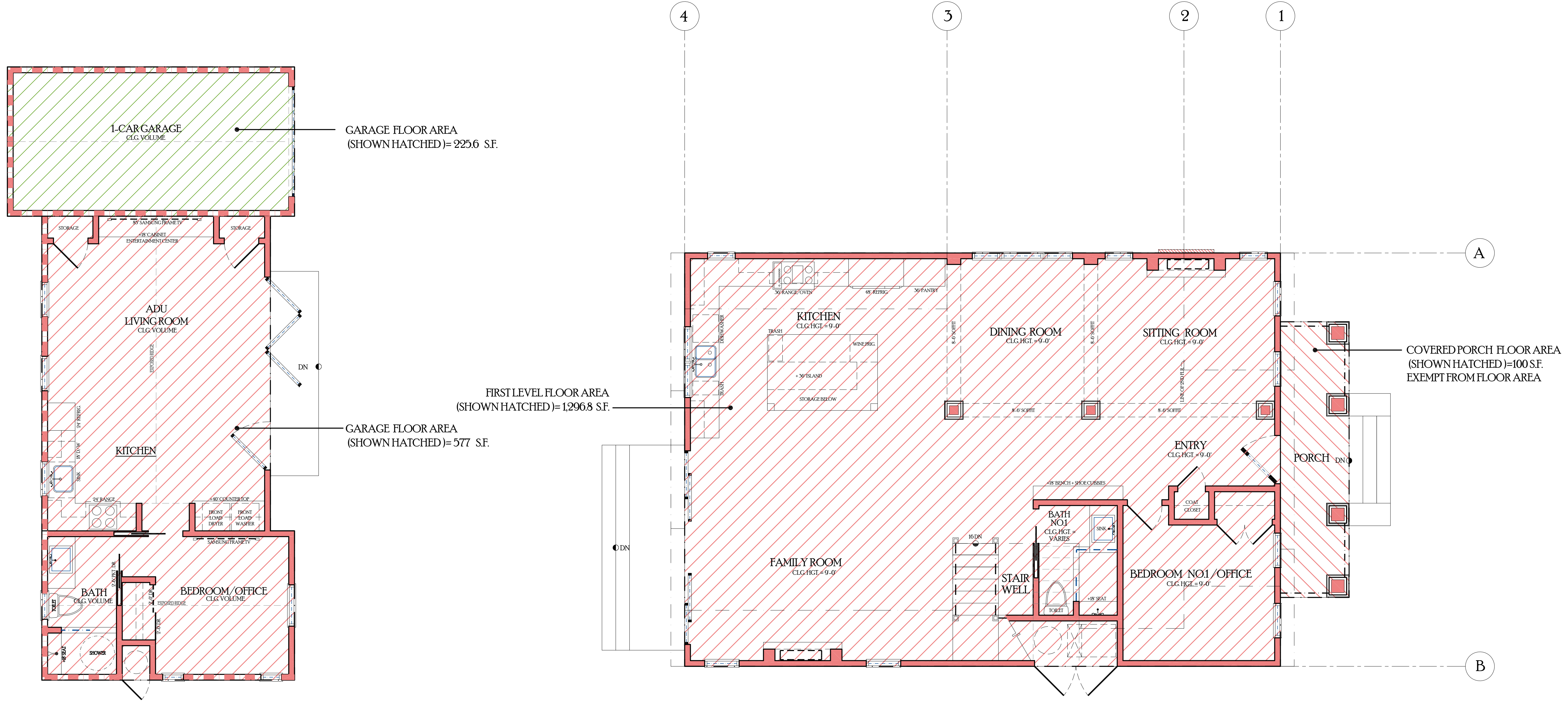
SIGNATURE BOX
NAME: JESSE GEURSE



FLOOR AREA CALCULATION
<u>FIRST LEVEL FLOOR PLAN:</u>
1,996.8 SQ. FT.
<u>SECOND LEVEL FLOOR PLAN:</u>
1,045 SQ. FT.
TOTAL FLOOR AREA TO FOR NEW RESIDENCE: 2,341.8 SQ. FT.
<u>DETACHED GARAGE FLOOR PLAN:</u>
225.6 SQ. FT.
<u>TOTAL RESIDENCE + GARAGE FLOOR PLAN:</u>
2,567.4 SQ. FT.
<u>DETACHED ADU FLOOR PLAN:</u>
577 SQ. FT.
<u>TOTAL DETACHED ADU / GARAGE FLOOR PLAN:</u>
802.6 SQ. FT.

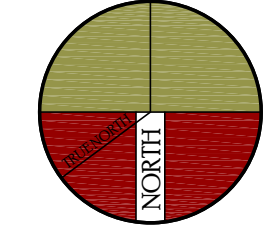
IMPERVIOUS SURFACE CALCULATION
RESIDENCE / GARAGE / ADU / PORCH / DRIVEWAY / WALKWAYS / LANDINGS / STEPS = 5,920 S.F.
TOTAL IMPERVIOUS SURFACE = 5,920 S.F. DIVIDE BY LOT = 3,750 S.F. = 61%
ALLOWABLE IMPERVIOUS SURFACE = LOT = 5,750 S.F. X 40% = 2,300 S.F.
TOTAL IMPERVIOUS = 5,920 S.F. MINUS 2,300 = 1,220 S.F. = REQUIRED TO BE RETAINED ON SITE WITH DRY RETENTION WELL.
PROVIDED 2'-28" DIAMETER X 5'-0" DEEP DRY RETENTION WELL PER DETAIL 5, SHEET PW-2

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 2281L EXPIRATION DATE 06/30/2026

NO.	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING / DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING / DESIGN	

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.



PROJECT NAME
NEW RESIDENCE + DETACHED ADU / GARAGE FOR MR. + MRS. WHITMER 10 STANLEY ROAD BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
FIRST+ GARAGE + ADU LEVEL FLOOR AREA CALCULATION PLAN

DATE: _____	ENGINEER: _____	DRAWING NO. _____
JOB NO. 2601	AART ASSINK	A1SF
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	

DETACHED GARAGE / ADU FLOOR AREA CALCULATION

FIRST LEVEL FLOOR AREA CALCULATION PLAN

SCALE: 1/4" = 1'-0"

LEGEND

1-HOUR FIRE RATED WALL BETWEEN GARAGE AND LIVING SPACE
 -PROVIDE 5/8" TYP "X" ONE-HOUR FIRE RATED WALL PER CODE FOR REQUIRED SEPARATION BETWEEN GARAGE AND LIVING SPACE. SHOWN DASHED.

NOTE: EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2025 CBC, TABLE 602)

EXISTING RETAINING WALL

EXTERIOR CEMENT PLASTER WALL
 2X4 STUDS AT 16" O.C. ON EXTERIOR WALL WITH 7/8" THICK 3 COAT CEMENT PLASTER O/ LATH O/ TVYEX O/ PLYWOOD. INSULATION PER TITLE 24, OR

EXTERIOR LAP SIDING WALL
 2X4 STUDS AT 16" O.C. ON EXTERIOR WALL LAP SIDED 0/2 LAYERS OF GRADE D BUILD PAPER OR TVYEX O/ PLYWOOD W/ INSULATION PER TITLE 24 REQUIRE ONE HOUR WHERE INDICATED PER PLAN

INTERIOR WALL
 2X4 STUDS AT 16" O.C. WITH 5/8" INTERIOR GYPSUM DOUBLE UP 2X4 WALLS AT ALL THICKEN WALLS

EXTERIOR WALL WITH VENEER
 2X4 STUDS AT 16" O.C. ON EXTERIOR WALL ONLY WITH STONE VENEER O/ SCRATCH COAT CEMENT PLASTER O/ LATH O/ 2 LAYERS OF GRADE D BUILD PAPER OR TVYEX O/ PLYWOOD.

ELEVATION VIEW
 5 A4
 3 A4

EXTERIOR ELEVATION VIEW

BUILDING SECTION VIEW
 G3 A5

INDOOR WATER USE (2022CCG §4.303)

STANDARDS FOR PLUMBING FIXTURES AND FITTINGS PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 701 OF THE CALIFORNIA PLUMBING CODE. 2022 CCG §4.303.3

FLOOR PLAN KEYNOTES

1. KITCHEN NOTES
 -MAXIMUM FLOW RATE FOR KITCHEN FAUCETS SHALL BE 18 GPM AT 60 PSI CAN TEMPORARILY INCREASE TO 22 GPM BUT MUST DEFLATE BACK TO MAXIMUM FLOW RATE OF 18 GPM 2025 CCG §4.303.14
 ALL KITCHEN CABINERY, APPLIANCES BY OTHERS, DESIGNED AND CHOSEN BY OWNER. CONTRACTOR INSTALLED.

2. COUNTER, CABINETS, FINISH MATERIAL AND STYLE AS SHOWN BY OTHERS. CONTRACTOR INSTALLED

3. TOP OF WINDOW AND HEADER AT THIS WINDOW IS 8'-0"

4. LINE OF SOFFIT OR CLIPPED CEILING, TYPICAL @ 8'-9"

5. BATHROOM NOTES
 -MECHANICAL VENTILATION @ BATHROOM. BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA (MIN 5 SQ. FT. IN LIEU OF EXTERIOR OPENINGS PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 3/ AIR CHANGES/HR.
 -ACCESS TO TOILETS 30" CLEAR WIDTH 24" CLEAR IN FRONT.
 -PLUMBING WALL PROVIDE 2" X 6" STUD WALL BEHIND PLUMBING FIXTURES.
 -THE EFFECTIVE FLUSH VOLUME OF WATER CLOSERS WILL NOT EXCEED 128 GAL./FLUSH. 2025 CCG §4.303.11
 -FOR DUAL FLUSH TOILETS AVERAGE TWO REDUCED FLUSHES WITH ONE FULL FLUSH.
 -THE EFFECTIVE FLUSH VOLUME OF URINALS WILL NOT EXCEED 0.125 GAL./FLUSH. 2025 CCG §4.303.12
 4) MAXIMUM FLOW RATE FOR SHOWERS SHALL BE 18 GPM AT 80 PSI. 2025 CCG §4.303.13
 -MAXIMUM FLOW RATE FOR LAVATORY FAUCETS SHALL BE 12 GPM AT 60 PSI. 2025 CCG §4.303.14
 -THE FITTINGS FOR FAUCETS AND SHOWERHEADS WILL HAVE ALL REQUIRED STANDARDS LISTED ON THE PLANS. 12 GPM FOR FAUCETS AND 18 GPM FOR SHOWERS. 2025 CCG §4.303.13 AND 2025 CCG §4.303.14
 -BATHROOM EXHAUST FANS THAT ARE NOT OPERATING AS PART OF A WHOLE HOUSE FAN SHALL BE CONTROLLED BY A HUMIDITY CONTROL MEETING REQUIREMENTS OF CCG SECTION 4506.1

6. BEDROOM NOTES
 -WINDOWS AT BEDROOMS (EGRESS)
 -MIN CLR. OPENING, 5.7 SQ. FT.
 -MIN CLR. HEIGHT 24"
 -MIN CLR. WIDTH 20"
 -FINISHED SILL HEIGHT TO BE NOT MORE THAN 44" ABOVE FINISHED FLOOR
 -LIGHT AND VENTILATION @ BEDROOMS
 NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA (MIN 10 SQ. FT.) NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA (MIN 5 SQ. FT.)
 -SMOKE DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL AREAS OF THE BUILDING OR BE INTERCONNECTED. SMOKE DETECTOR SHALL BE CONNECTED TO THE BUILDING WIRING SYSTEM IN ALL NEW CONSTRUCTION AND BE PROVIDED WITH BATTERY BACKUP.
 7. INTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. OR PER FRAMING PLAN
 8. 1-1/2" THRESHOLD AFTER FINISH MATERIAL.
 -THRESHOLD HEIGHT AT EXTERIOR DOORS SHALL, NOT BE MORE THAN 1-1/2" LOWER THAN THE FLOOR LEVEL. AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1" AT THE DOORS SWINGING OVER A LANDING.

9. TEMPERED GLASS SHOWER ENCLOSURE.
 10. SHELF PLATFORM

11. ALL DOORS AT 8'-0" HIGH TYP. UNLESS OTHERWISE NOTED
 12. NO DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. CPC SECTION 807.4.


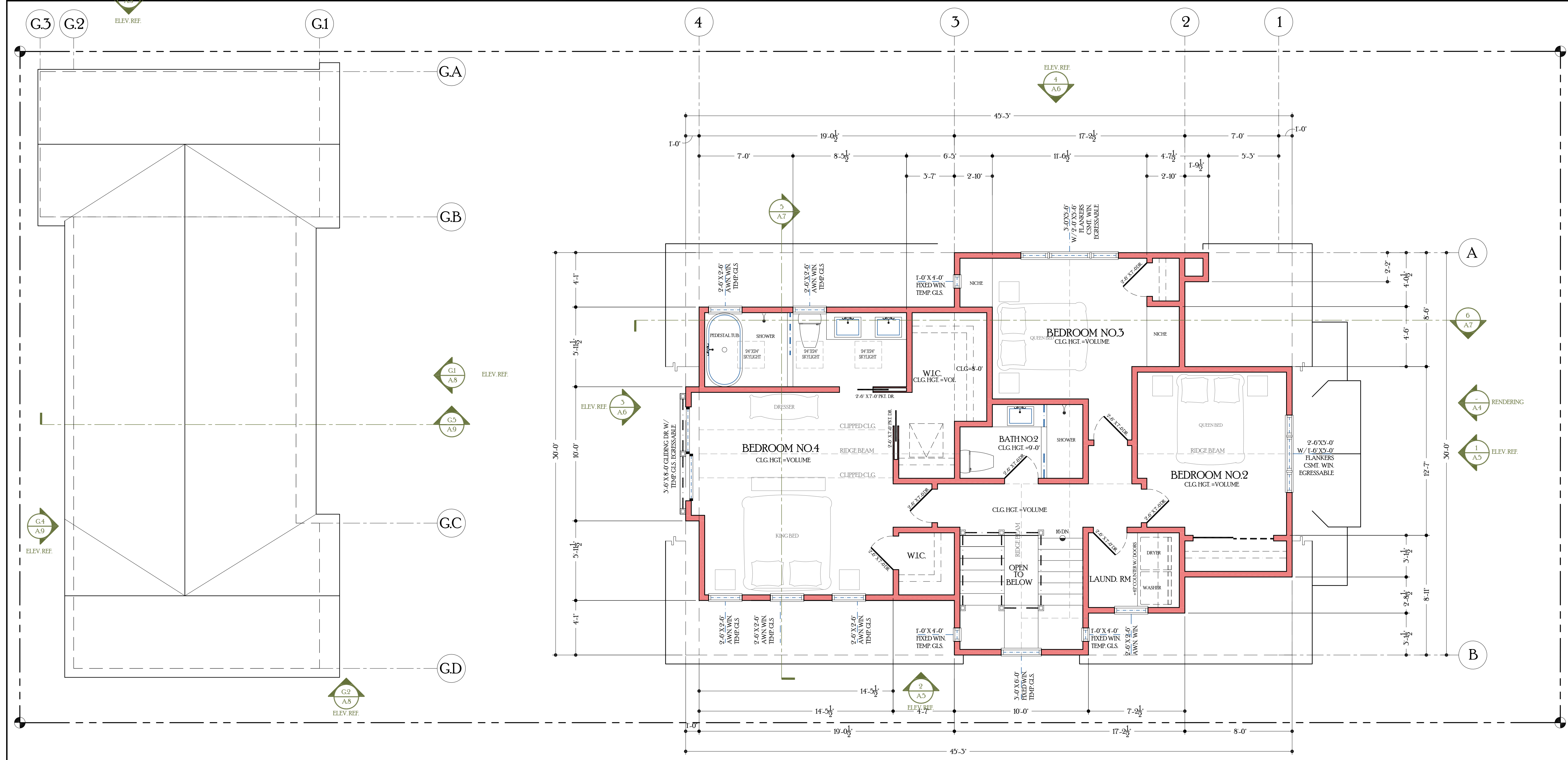
13. POLE AND SHELF
 14. 30" X 30" ATTIC SPACE ACCESS PANEL
 15. FIREPLACES NOTES
 -FIRE-FAB GAS METAL FIREPLACE MANUFAC. CONSULT OWNER ON DESIGN. VERIFY FOUNDATION WITH MODEL TEMPERED GLASS DOORS INSTALLED PER MANUFAC. SPECS. CONSULT OWNER ON DESIGN
 -NON-COMBUSTIBLE HEARTH
 -CONTRACTOR TO VERIFY WITH MANUFAC. SPEC. FOR ALL REQ. ROUGH OPENING FOR UNIT FROM FRAMING.
 -ANY GAS FIREPLACES SHALL BE A DIRECT-VENEALED-COMBUSTIBLE TYPE.
 -ANY WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS PER CCG 4503.1 AND PER CODE SECTION 4503.1
 16. STAIRCASE NOTES
 -STAIRWAY
 PROVIDE 1 LAYER 5/8" TYPE "X" G.W.B. AT ALL WALLS AND SOFFIT FOR ENCLOSED USEABLE SPACE BENEATH STAIRWAY.
 -TOP OF RAIL @ 34" TO 38" ABOVE READ NOSE.
 ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER AND SHALL TERMINATE IN A NEWEL POST OR WALL HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL 1-1/2" MIN TO 2" MAX. MIN 1-1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL. SEE GUARDRAIL.
 -GUARDRAIL @ 42" ABOVE FINISH FLOOR. HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL 1-1/2" MIN TO 2" MAX. BALUSTERS SPACING NOT TO EXCEED 4" O.C.
 17. EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2025 CBC, TABLE 602. (SHOWN DASHED DOT)
 18. NEW HARDWOOD FLOORING THROUGHOUT ENTIRE RESIDENCE FIRST AND SECOND FLOOR. EXCEPT BATHROOMS WHICH SHALL BE OF STONE OR TILE MATERIAL.
 19. 36" DEEP" MIN. LANDING.
 20. 1-HOUR FIRE RATED WALL AT STAIRCASE WALLS AND INTERIOR CEILINGS
 -PROVIDE 5/8" TYP "X" ONE-HOUR FIRE RATED WALL PER CODE FOR REQUIRED SEPARATION BETWEEN GARAGE AND LIVING SPACE. SHOWN DASHED. PROVIDE AT CEILING ABOVE ALL LIVING SPACE.
 21. LINE OF CLIPPED CEILING. ALLOW FOR DUCT WORK.
 22. EXISTING LAMP HOLE TO REMAIN. ADJACENT WALLS TO BE MINIMUM 3'-0" AWAY AS SHOWN AS RADIUS PER PUBLIC WORKS.
 23. SHOWER STALL TO BE 1024 SQUARE INCHES MINIMUM AND CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE. CPC 408.6
 24. SLOPED TO DRAIN A MINIMUM 2%. CRC R301.3
 25. BAR REINFORCING FOR THIS BATHROOM AS SHOWN IN DETAIL 32. SHEET AD 4 AGING-IN PLACE DESIGN AND FALL PROTECTION. AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT. REINFORCEMENT SHALL BE NOMINAL 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32 INCHES AND 36 INCHES ABOVE THE FINISHED FLOOR. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE OR ON THE SIDE WALL AND THE BACK WALL. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM. INFORMATION IDENTIFYING THE LOCATION OF THE REINFORCEMENT SHALL BE PLACED IN THE OPERATIONS AND MAINTENANCE MANUAL. (CRC R527.11) ELECTRICAL RECEPTACLES, OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED NOT MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR. (CRC R527.12) EFFECTIVE JULY 1ST, 2024, AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32 INCHES MEASURED WITH THE DOOR OPEN AT A 90 DEGREE ANGLE (CRC R527.13) DOORBELL BUTTONS SHALL BE INSTALLED NOT MORE THAN 48" ABOVE THE FINISHED FLOOR MEASURED TO THE TOP OF THE BUTTON (CRC R527.14)
 26. PROVIDE SEISMIC STRAPPING PER CODE. WATER HEATER SEISMIC STRAPPING.
 a) STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF THE WATER HEATER.
 b) AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.
 27. UNDER FLOOR ACCESS TO HEAT PUMP HEATER WITH STORM DOORS

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 NAME: JESSE GEURSE

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
 NO. 22811. EXPIRATION DATE: 06/30/2026

SECOND LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"

REVISIONS			
NO.	DATE	BY	DESCRIPTION
4-7-2026	JFG	PC-1	1ST SUBMITTAL TO PLANNING/DESIGN
2-19-2026	JFG	PC-0	1ST SUBMITTAL TO PLANNING/DESIGN
NO.	DATE	BY	DESCRIPTION

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PROJECT NAME
NEW RESIDENCE + DETACHED ADU / GARAGE
 FOR
 MR. + MRS. WHITMER
 10 STANLEY ROAD
 BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
 SECOND LEVEL FLOOR PLAN

DATE	ENGINEER	DRAWING NO.
2601	AART ASSINK	A.2
JFG	SCALE: AS SHOWN	
JFG	RELEASED TO CONSTRUCTION	

ALLOWABLE FLOOR AREA RATIO
BURLINGAME ALLOWABLE: 32 PERCENT X LOT AREA + 1100 S.F. INTERIOR LOTS
RESIDENCE: 32 PERCENT X 5,750 SQ. FT. = 1,840 + 1,100 = 3,166 SQ. FT. BUILDABLE FLOOR AREA.
<u>TOTAL FOR AREA RATIO RESIDENCE:</u>
RESIDENCE = 2,567.4 SQ. FT.

FLOOR AREA CALCULATION
<u>FIRST LEVEL FLOOR PLAN:</u>
1,206.8 SQ. FT.
<u>SECOND LEVEL FLOOR PLAN:</u>
1,045 SQ. FT.
<u>TOTAL FLOOR AREA TO FOR NEW RESIDENCE:</u>
2,341.8 SQ. FT.
<u>DETACHED GARAGE FLOOR PLAN:</u>
225.6 SQ. FT.
<u>TOTAL RESIDENCE + GARAGE FLOOR PLAN:</u>
2,567.4 SQ. FT.
<u>DETACHED ADU FLOOR PLAN:</u>
577 SQ. FT.
<u>TOTAL DETACHED ADU / GARAGE FLOOR PLAN:</u>
802.6 SQ. FT.


RESIDENCE LOT COVERAGE
EXISTING LOT AREA: 5,750 SQ. FT.
MAXIMUM LOT COVERAGE: 5,750 SQ. FT. X 40% = 2,300 SQ. FT.
LOT COVERAGE PROPOSED = 1,922.4 SF.

IMPERVIOUS SURFACE CALCULATION
RESIDENCE / GARAGE / ADU / PORCH / DRIVEWAY / WALKWAYS / LANDINGS / STEPS = 5,920 SF.
TOTAL IMPERVIOUS SURFACE = 5,920 SF. DIVIDE BY LOT = 3,750 SF. = 61%
ALLOWABLE IMPERVIOUS SURFACE = LOT = 5,750 SF. X 40% = 2,300 SF.
TOTAL IMPERVIOUS = 5,920 SF. MINUS 2,300 = 1,220 SF. = REQUIRED TO BE RETAINED ON SITE WITH DRY RETENTION WELL.
PROVIDED 2'-28" DIAMETER X 5'-0" DEEP DRY RETENTION WELL PER DETAIL 5, SHEET PW-2

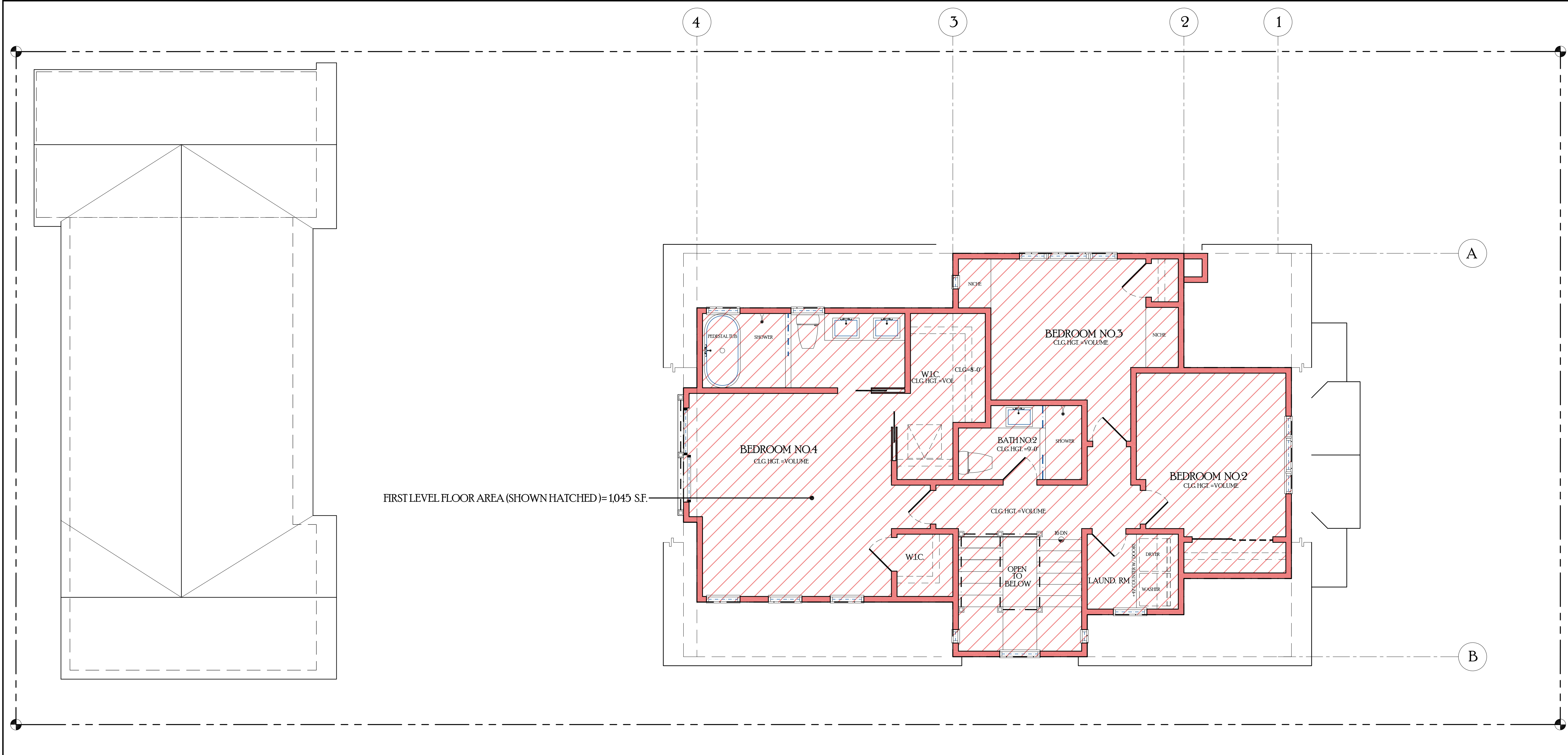
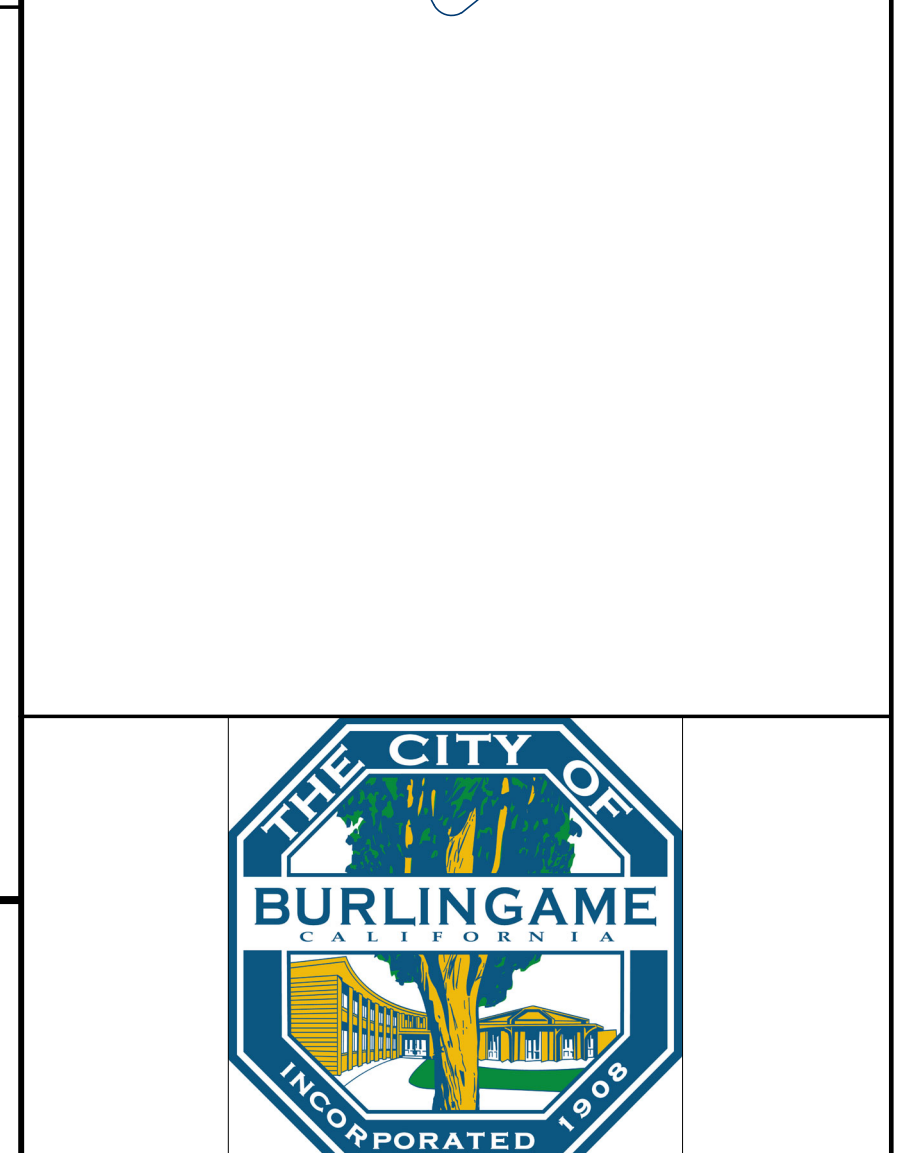
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NAME: JESSE GEURSE



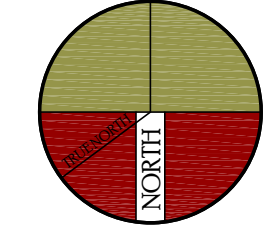
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NO. 22811 EXPIRATION DATE 06/30/2026



NO.	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

REVISIONS

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PROJECT NAME
NEW RESIDENCE + DETACHED ADU / GARAGE FOR MR. + MRS. WHITMER 10 STANLEY ROAD BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
SECOND LEVEL FLOOR AREA CALCULATION PLAN

DATE: _____	ENGINEER: _____	DRAWING NO. _____
JOB NO. 2601	AART ASSINK	A.2.SF
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	

SECOND LEVEL FLOOR AREA CALCULATION PLAN

SCALE 1/4" = 1'-0"

ATTIC VENTILATION CALC.

NOTE: ALL ROOF INSULATION SHALL BE CLOSED CELL SPRAY FOAM INSULATION. NO ROOF VENTS REQUIRED.

ROOF PLAN KEYNOTES

1. ASPHALT-80 COMP. SHINGLES- CLASS B RATING O/2 LAYERS OF 15# FELT OR 1 LAYER OF 30# FELT.
2. GUTTERS:
" SIZE: 5" OG
" DOWNSPOUT: 4" SQ. TIE INTO DRAINAGE LINE TO DAYLIGHT THROUGH STREET CURB. CONSULT PUBLIC WORKS FOR ALL REQUIRED PERMITS FOR WORK WITHIN CITY RIGHT OF WAY.
3. DOWNSPOUT LOCATION: SEE SITE PLAN
4. ROOF FLASHING 24 GA. GL. FLASHING AT ALL ROOF 24 GA. GL. FLASHING AT ALL ROOF PENETRATIONS AND CRICKET VALLEYS.
5. LINE OF WALL BELOW EAVE AND RAKE.
6. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY. SEE TITLE 24 REPORT AND SHEET 10

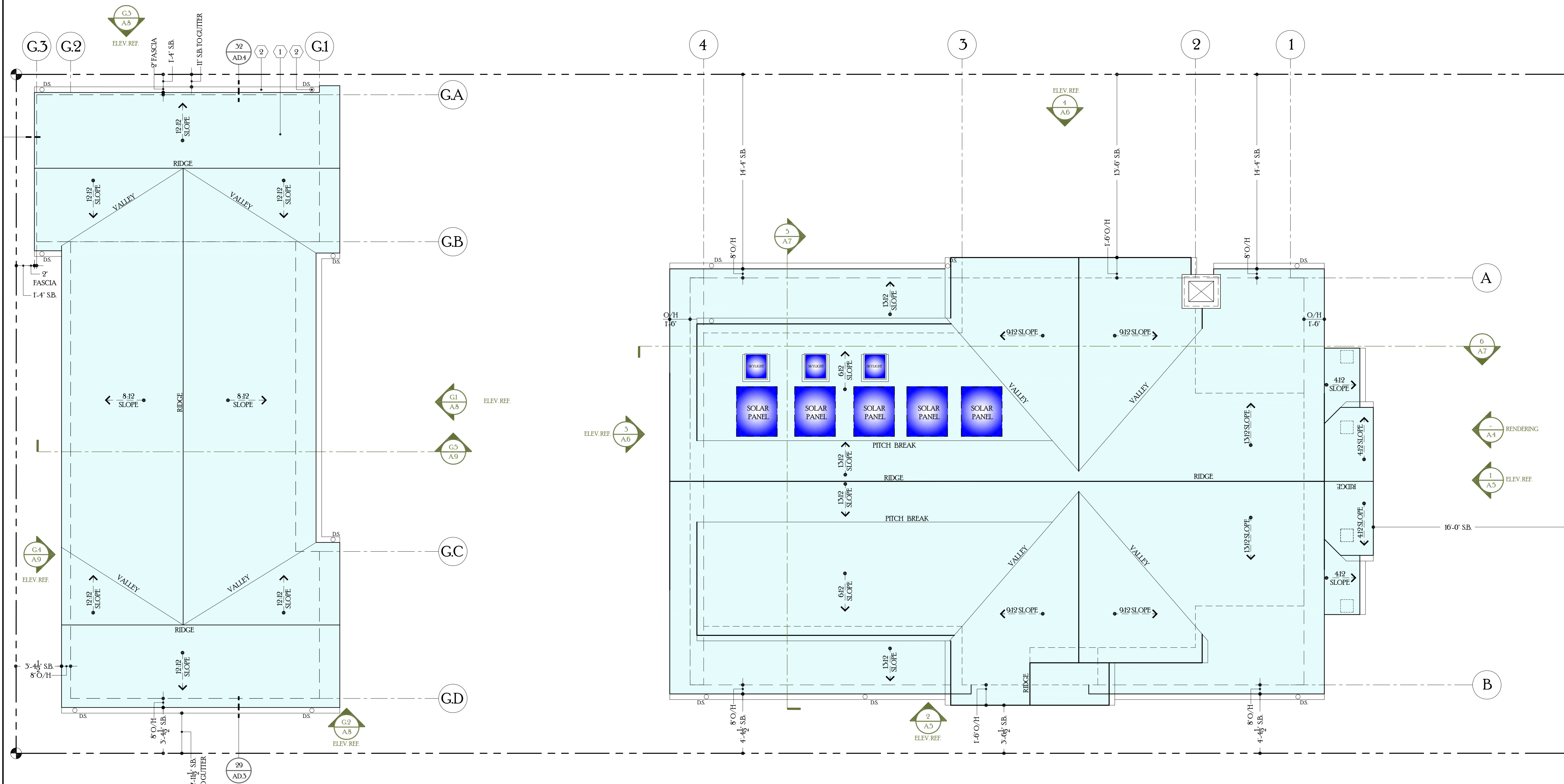
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SIGNATURE BOX
NAME: JESSE GEURSE

J. Geurse

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 22811 EXPIRATION DATE 06/30/2026



NO.	DATE	BY	DESCRIPTION	CONST.
1	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
2	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

REVISIONS

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PROJECT NAME
NEW RESIDENCE + DETACHED ADU / GARAGE
FOR
MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

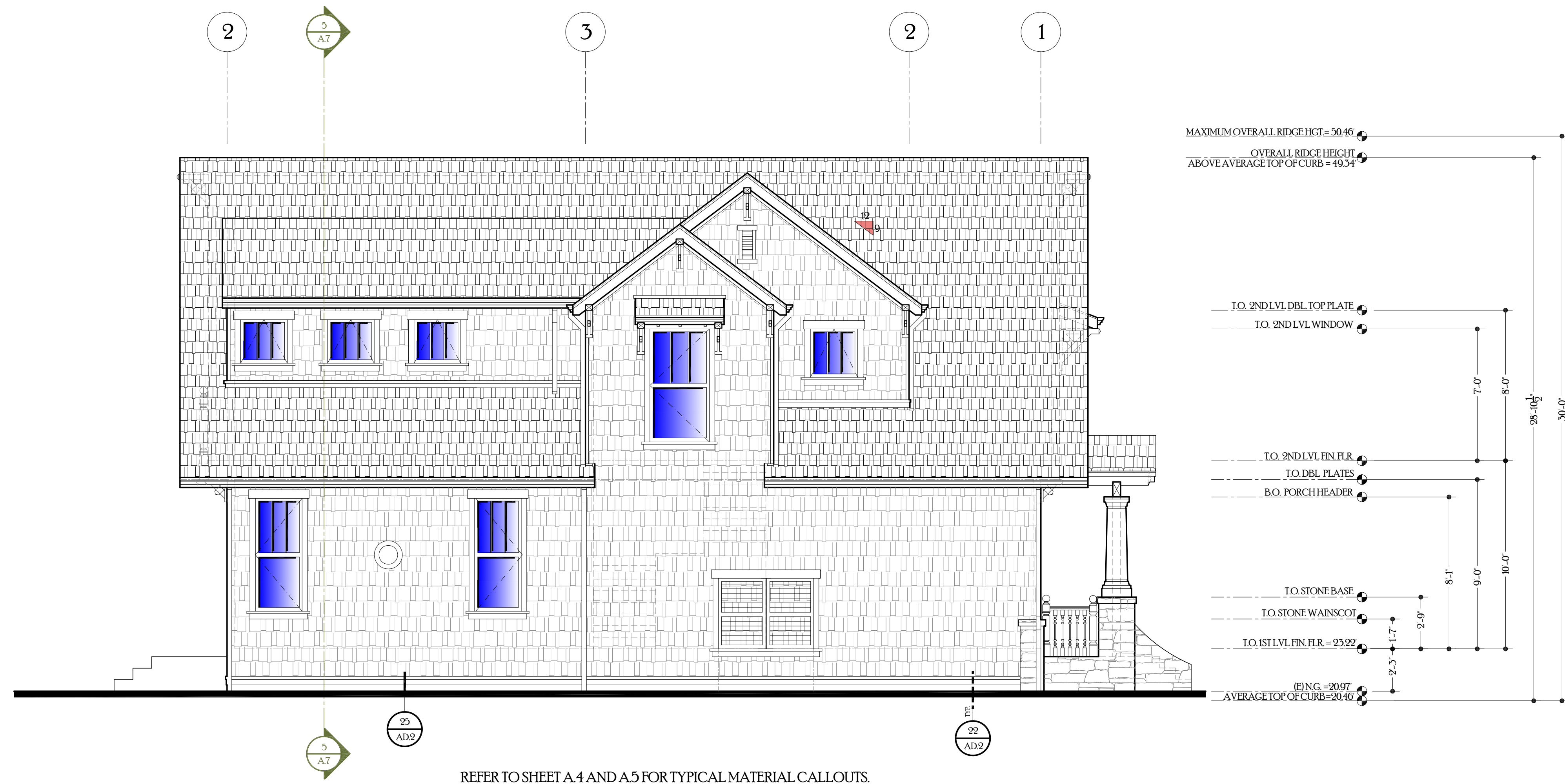
DRAWING TITLE
ROOF LEVEL PLAN + GARAGE ADU ROOF PLAN

DATE	ENGINEER	DRAWING NO.
JOB NO. 2601	AART ASSINK	A3
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	

GARAGE-ADU ROOF PLAN

ROOF LEVEL PLAN

SCALE 1/4"=1'-0"



2-PROPOSED - LEFTSIDE ELEVATION (NORTH)

SCALE 1/4"=1'-0"



1-PROPOSED - FRONT ELEVATION (WEST)

SCALE 1/4"=1'-0"

ELEVATION-KEYNOTES

1. ASPHALT SHINGLES
-MANUFACTURER: GAF
-STYLE: TIMBERLINE ULTRA HD SHINGLES
-COLOR: BLACK / BROWN
CLASS B RATING G / 2 LAYER SBS MODIFIED UNDERLAYMENT
USE 1 - LAYER OF BITUTHANE UNDER UNDERLAYMENT FOR ALL ROOF WITH 2:12 SLOPE AND LESS
CONSULT MANUFACTURER OF ASPHALT SHINGLE FOR INSTALLATION OF SHINGLES ON A 2:12 ROOF SLOPE
CONSULT OWNER AND ARCHITECT IF DIFFERENT FROM ABOVE PRIOR TO INSTALLATION.
2. SHINGLE LAP SIDING
-MANUFACTURER: JAMES HARDI SHINGLE LAP SIDING
-SIZE: 1X8
-EXPOSURE: 7
-STYLE: STRAIGHT EDGE PANEL
-MATERIAL: FIBER BOARD
-COLOR: RIAR BROWN
SIDING OVER (2) LAYERS OF GRADE 'D' BUILDING PAPER OVER TYVEK OVER PLYWOOD
3. STONE VENEER
-MANUFACTURER: PONDEROSA STONE
-SUPPLIER: PENNSYLVANIA BUILDING MATERIALS
-ITEM NO. #NSTVPOVDL
-SIZE: VARYING VENEER
4. DOOR AND WINDOW
-MANUFACTURER: MARVIN INTEGRITY
-MATERIAL: FIBERGLASS CLAD EXTERIOR
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
-SIMULATED TRUE DIVIDED LITES WITH MUTINS ON THE EXTERIOR AND INTERIOR OF THE WINDOW AND SPACE BARS BETWEEN THE GLASS
5. EXTERIOR COLUMN
-MANUFACTURER: TURN CRAFT OR EQUAL
-SIZE: BASE 1'-8" SHAFT TAPER UP TO 12" WITH CROWN CAP
-MATERIAL: WOOD OR EQUAL
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
6. DECORATIVE WOOD GUARDRAIL SYSTEM
-MANUFACTURER: TURN CRAFT OR EQUAL
-MATERIAL: WOOD
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
7. WOOD KNEE BRACES PER DETAIL
-COLOR: STONE OR OFF WHITE
8. WOOD FACIA BOARD AND GUTTER SYSTEM
-FASCIA BOARD COLOR: STONE OR OFF WHITE
-GUTTER: BRONZE OR DARK BROWN
9. WOOD WATER TABLE AT ROOF TO WALL INTERSECTION. TYPICAL
-COLOR: STONE OR OFF WHITE
10. WOOD BASE WATER TABLE AT WALL TO FOUNDATION INTERSECTION. TYPICAL
-COLOR: STONE OR OFF WHITE
11. PSEUDO WOOD ATTIC VENT (DESIGN AS SHOWN)
-COLOR: STONE OR OFF WHITE
12. BELLY BAND
-SIZE OF WOOD BELLY 2X10 WITH 2" WATER TABLE
-COLOR: STONE OR OFF WHITE
13. DECORATIVE GALVANIZED CHIMNEY CAP
-DESIGN PER ELEVATIONS
-COLOR: BRONZE OR DARK BROWN
14. 2X DECORATIVE FIRE-RESISTANT CEMENT FIBER BOARD MATERIAL FACIA BOARD EXTENSION FOR VISUAL SYMMETRY
15. DECORATIVE WOOD GUARDRAIL WITH TURNED BALLUSTERS. SEE DETAIL
16. DECORATIVE ALUMINUM CLAD EXTERIOR DOOR WITH WOOD INTERIOR PRIME AND PAINT READY.

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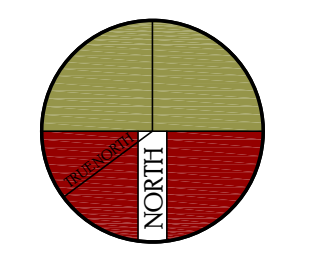
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NO. 22811, EXPIRATION DATE 06/30/2026



NO.	DATE	BY	DESCRIPTION	CONST.
4-28-2026	JFG	PC-3-1ST SUBMITTAL TO PLANNING / DESIGN		
4-7-2026	JFG	PC-4-1ST SUBMITTAL TO PLANNING / DESIGN		
2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING / DESIGN		

REVISIONS

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PROJECT NAME:
NEW RESIDENCE + DETACHED ADU / GARAGE
FOR
MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
EXTERIOR ELEVATIONS

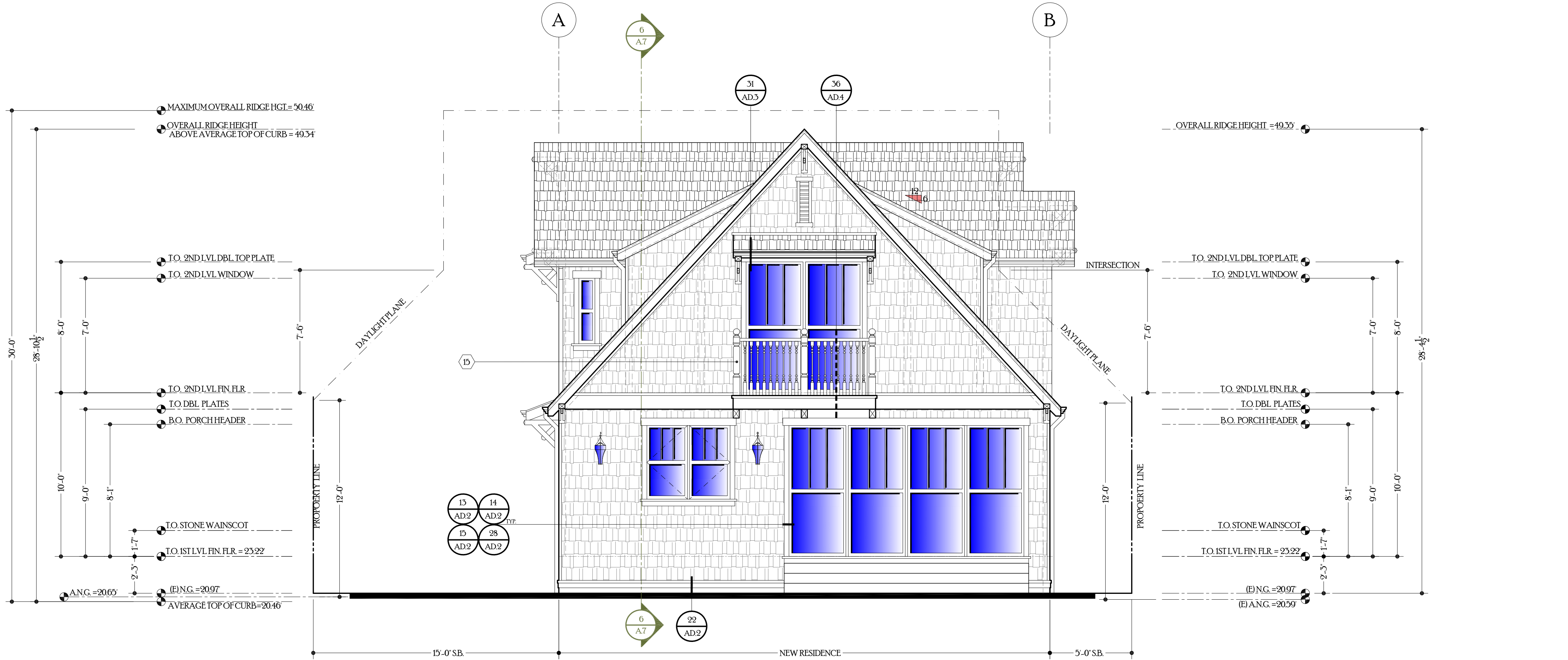
DATE: _____	ENGINEER: _____	DRAWING NO: _____
JOB NO. 2601	AART ASSINK	A5
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	



REFER TO SHEET A.4 AND A.5 FOR TYPICAL MATERIAL CALLOUTS.

4-PROPOSED -RIGHTSIDE ELEVATION (SOUTH)

SCALE 1/4"=1'-0"



REFER TO SHEET A.4 AND A.5 FOR TYPICAL MATERIAL CALLOUTS.

3-PROPOSED -REAR ELEVATION (EAST)

SCALE 1/4"=1'-0"

ELEVATION-KEYNOTES

- 1 ASPHALT SHINGLES
-MANUFACTURER: GAF.
-STYLE: TIMBERLINE ULTRA HD SHINGLES
-COLOR: BLACK / BROWN
CLASS B RATING G / 2 LAYER SBS MODIFIED UNDERLAYMENT
USE 1 - LAYER OF BITUTHANE UNDER UNDERLAYMENT FOR ALL ROOF WITH 2:12 SLOPE AND LESS
CONSULT MANUFACTURER OF ASPHALT SHINGLE FOR INSTALLATION OF SHINGLES ON A 2:12 ROOF SLOPE
CONSULT OWNER AND ARCHITECT IF DIFFERENT FROM ABOVE PRIOR TO INSTALLATION.
- 2 SHINGLE LAP SIDING
-MANUFACTURER: JAMES HARDI SHINGLE LAP SIDING
-SIZE: 1X8
-EXPOSURE: 7
-STYLE: STRAIGHT EDGE PANEL
-MATERIAL: FIBER BOARD
-COLOR: RIHAK BROWN
SIDING OVER (2) LAYERS OF GRADE 'D' BUILDING PAPER OVER TYVEK OVER PLYWOOD
3. STONE VENEER
-MANUFACTURER: PONDEROSA STONE
-SUPPLIER: PENNSULA BUILDING MATERIALS
-ITEM NO. #NSTV PONDFL
-SIZE: VARYING VENEER
4. DOOR AND WINDOW
-MANUFACTURER: MARVIN INTEGRITY
-MATERIAL: FIBERGLASS CLAD EXTERIOR
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
-SIMULATED TRUE DIVIDED LITES WITH MUTINS ON THE EXTERIOR AND INTERIOR OF THE WINDOW AND SPACE BARS BETWEEN THE GLASS
5. EXTERIOR COLUMN
-MANUFACTURER: TURN CRAFT OR EQUAL
-SIZE: BASE 1-8" SHAFT TAPER UP TO 12" WITH CROWN CAP.
-MATERIAL: WOOD OR EQUAL
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
6. DECORATIVE WOOD GUARDRAIL SYSTEM
-MANUFACTURER: TURN CRAFT OR EQUAL
-MATERIAL: WOOD
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
7. WOOD KNEE BRACES PER DETAIL
-COLOR: STONE OR OFF WHITE
8. WOOD FACIA BOARD AND GUTTER SYSTEM
-FASCIA BOARD COLOR: STONE OR OFF WHITE
-GUTTER: BRONZE OR DARK BROWN
9. WOOD WATER TABLE AT ROOF TO WALL INTERSECTION. TYPICAL
-COLOR: STONE OR OFF WHITE
10. WOOD BASE WATER TABLE AT WALL TO FOUNDATION INTERSECTION. TYPICAL
-COLOR: STONE OR OFF WHITE
11. PSEUDO WOOD ATTIC VENT (DESIGN AS SHOWN)
-COLOR: STONE OR OFF WHITE
12. BELLY BAND
-SIZE OF WOOD BELLY 2X10 WITH 2" WATER TABLE
-COLOR: STONE OR OFF WHITE
13. DECORATIVE GALVANIZED CHIMNEY CAP
-DESIGN PER ELEVATIONS
-COLOR: BRONZE OR DARK BROWN
14. 2X DECORATIVE FIRE-RESISTANT CEMENT FIBER BOARD MATERIAL FACIA BOARD EXTENSION FOR VISUAL SYMMETRY
15. DECORATIVE WOOD GUARDRAIL WITH TURNED BALLUSTERS. SEE DETAIL.
16. DECORATIVE ALUMINUM CLAD EXTERIOR DOOR WITH WOOD INTERIOR PRIME AND PAINT READY.

Geurse Conceptual Designs, Inc.

405 Baywater Ave.
Burlingame, California 94010
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email: jgeurse@gmail.com

SIGNATURE BOX
NAME: JESSE GEURSE

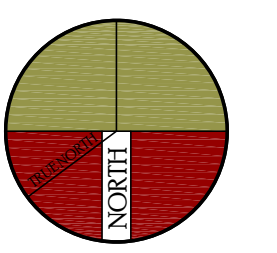
CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 22811, EXPIRATION DATE 06/30/2026



NO.	DATE	BY	DESCRIPTION	CONST.
4-28-2026	JFG	PC-3-1ST SUBMITTAL TO PLANNING / DESIGN		
4-7-2026	JFG	PC-4-1ST SUBMITTAL TO PLANNING / DESIGN		
2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING / DESIGN		

REVISIONS

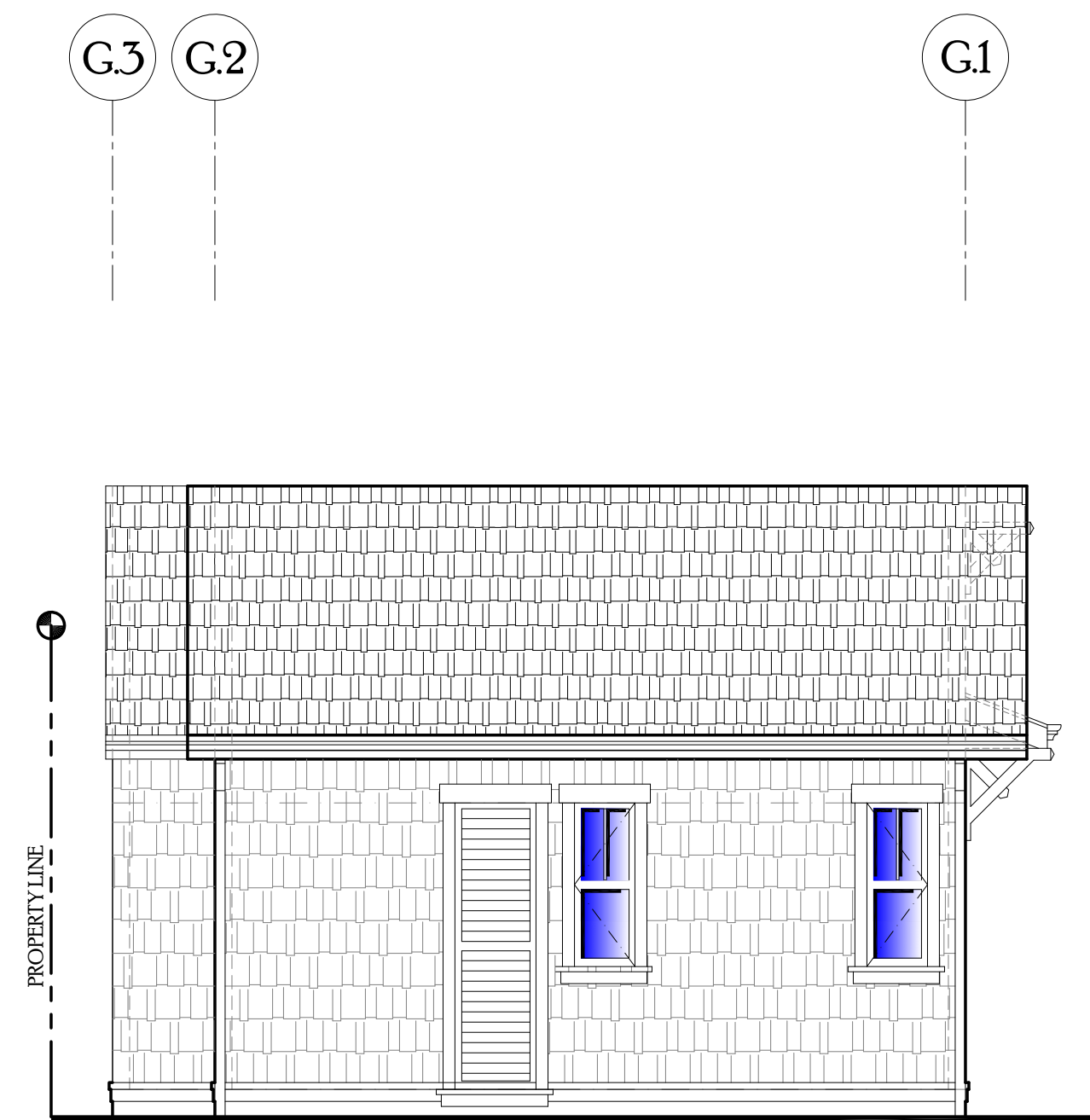
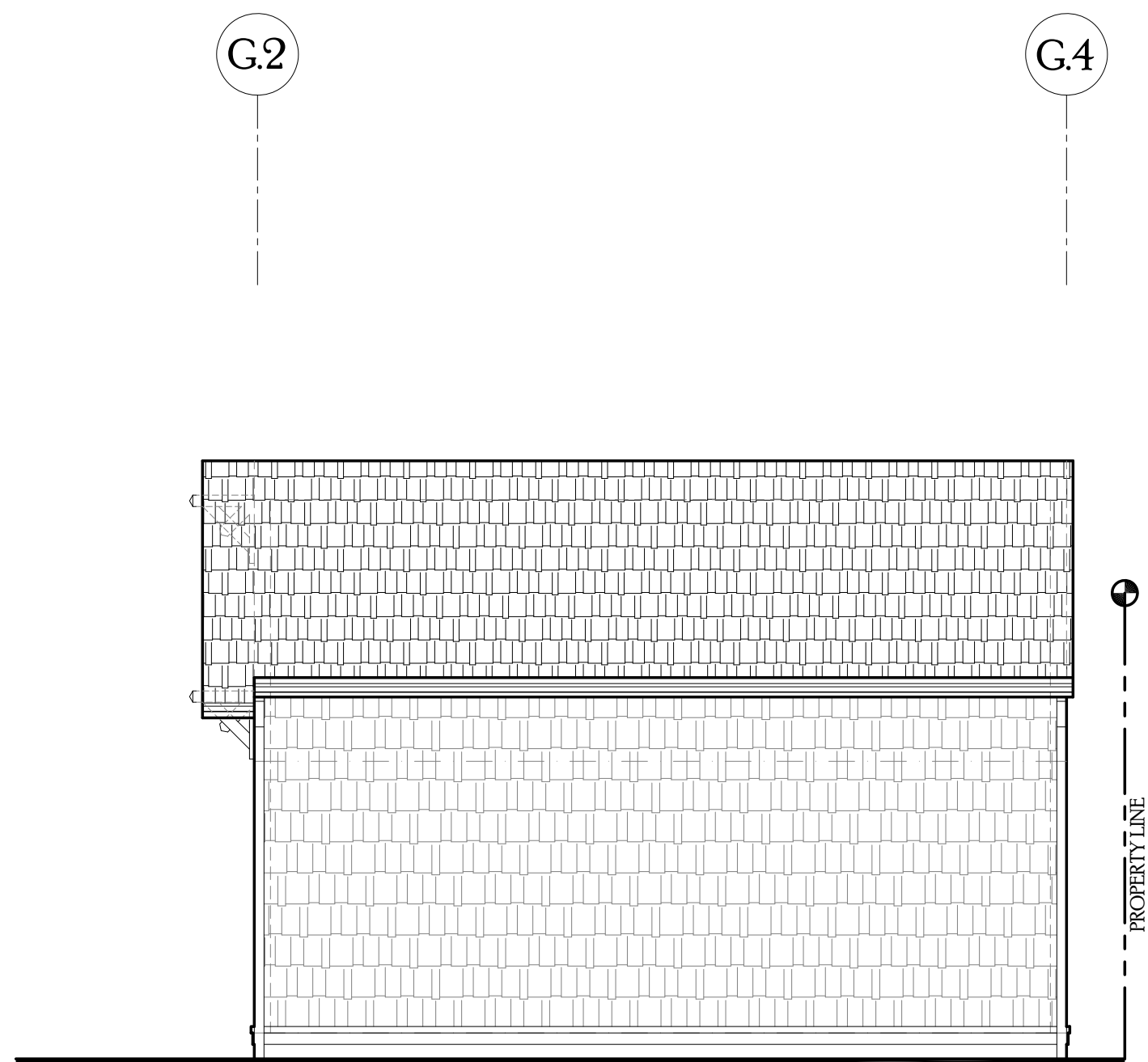
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PROJECT NAME
NEW RESIDENCE + DETACHED ADU / GARAGE FOR MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
EXTERIOR ELEVATIONS

DATE: _____	ENGINEER: _____	DRAWING NO: _____
JOB NO. 2601	AART ASSINK	A6
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	

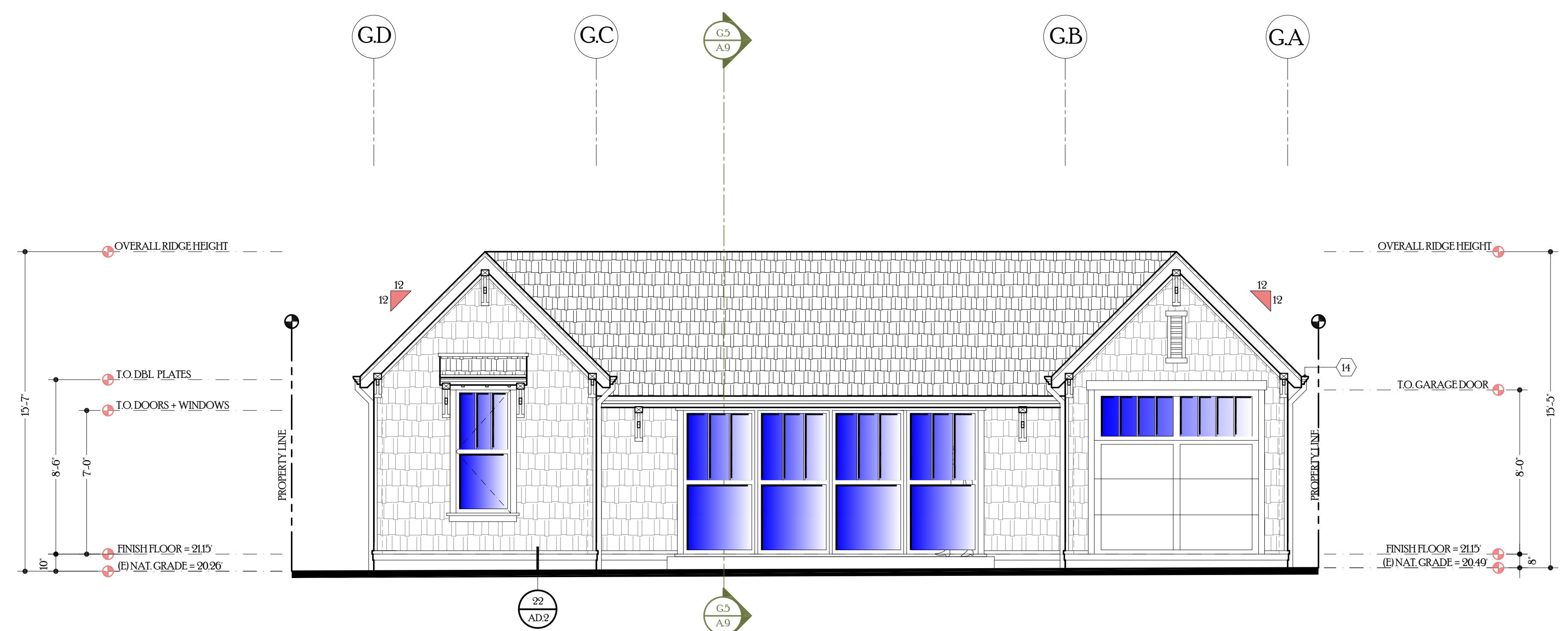


REFER TO SHEET A.4 AND A.5 FOR TYPICAL MATERIAL CALLOUTS.

G.3 ~RIGHTSIDE ~ADU~GARAGE ELEVATION (SOUTH)

G.2~LEFTSIDE ~ADU~GARAGE ELEVATION (NORTH)

SCALE 1/4"=1'-0"



REFER TO SHEET A.4 AND A.5 FOR TYPICAL MATERIAL CALLOUTS.

G.1 ~FRONT ~ADU~GARAGE ELEVATION (WEST)

SCALE 1/4"=1'-0"

ELEVATION~KEYNOTES

- 1 ASPHALT SHINGLES
-MANUFACTURER: GAF
-STYLE: TIMBERLINE ULTRA HD SHINGLES
-COLOR: BLACK / BROWN
CLASS 'B' RATING O / 2 LAYER SBS MODIFIED UNDERLAYMENT
USE 1 - LAYER OF BITUTHANE UNDER UNDERLAYMENT FOR ALL ROOF WITH 2:12 SLOPE AND LESS
CONSULT MANUFACTURER OF ASPHALT SHINGLE FOR INSTALLATION OF SHINGLES ON A 2:12 ROOF SLOPE.
CONSULT OWNER AND ARCHITECT IF DIFFERENT FROM ABOVE PRIOR TO INSTALLATION.
- 2 SHINGLE LAP SIDING
-MANUFACTURER: JAMES HARDI SHINGLE LAP SIDING
-SIZE: 1X8
-EXPOSURE: 7
-STYLE: STRAIGHT EDGE PANEL
-MATERIAL: FIBER BOARD
-COLOR: KHAKI BROWN
SIDING OVER (9) LAYERS OF GRADE 'D' BUILDING PAPER OVER TYVEK OVER PLYWOOD
3. STONE VENEER
-MANUFACTURER: PONDEROSA STONE
-SUPPLIER: PENNSILVA BUILDING MATERIALS
-ITEM NO: #NSTVPONDL
-SIZE: VARYING VENEER
4. DOOR AND WINDOW
-MANUFACTURER: MARVIN INTEGRITY
-MATERIAL: FIBERGLASS CLAD EXTERIOR
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
-SIMULATED TRUE DIVIDED LITES WITH MUTINS ON THE EXTERIOR AND INTERIOR OF THE WINDOW AND SPACE BARS BETWEEN THE GLASS
5. EXTERIOR COLUMN
-MANUFACTURER: TURN CRAFT OR EQUAL
-SIZE: BASE 1'-8" SHAFT TAPER UP TO 12" WITH CROWN CAP
-MATERIAL: WOOD OR EQUAL
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
6. DECORATIVE WOOD GUARDRAIL SYSTEM
-MANUFACTURER: TURN CRAFT OR EQUAL
-MATERIAL: WOOD
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
7. WOOD KNEE BRACES PER DETAIL
-COLOR: STONE OR OFF WHITE
8. WOOD FACIA BOARD AND GUTTER SYSTEM
-FASCIA BOARD COLOR: STONE OR OFF WHITE
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MATERIAL FACIA BOARD EXTENSION FOR VISUAL SYMMETRY
15. DECORATIVE WOOD GUARDRAIL WITH TURNED BALUSTERS SEE DETAIL.
16. DECORATIVE ALUMINUM CLAD EXTERIOR DOOR WITH WOOD INTERIOR PRIME AND PAINT READY.

Geurse Conceptual Designs, Inc.

400 Baywater Ave.
Burlingame, California 94010
tel: 650.703.0197
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SIGNATURE BOX
NAME: JESSE GEURSE

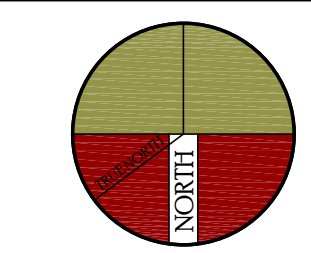
CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 2281L EXPIRATION DATE: 06/30/2026



NO	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

REVISIONS

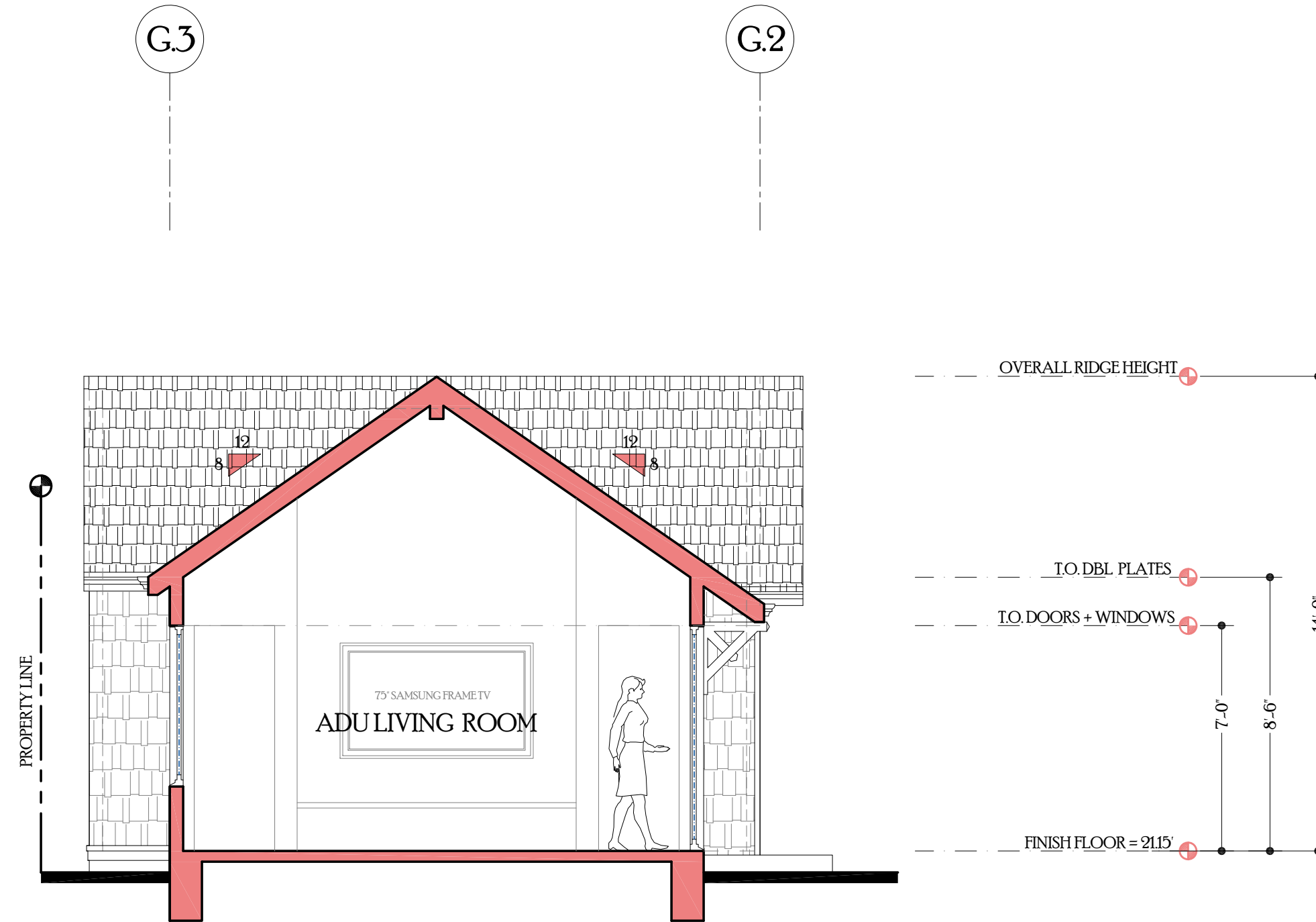
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PROJECT NAME:
NEW RESIDENCE + DETACHED ADU / GARAGE
FOR
MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

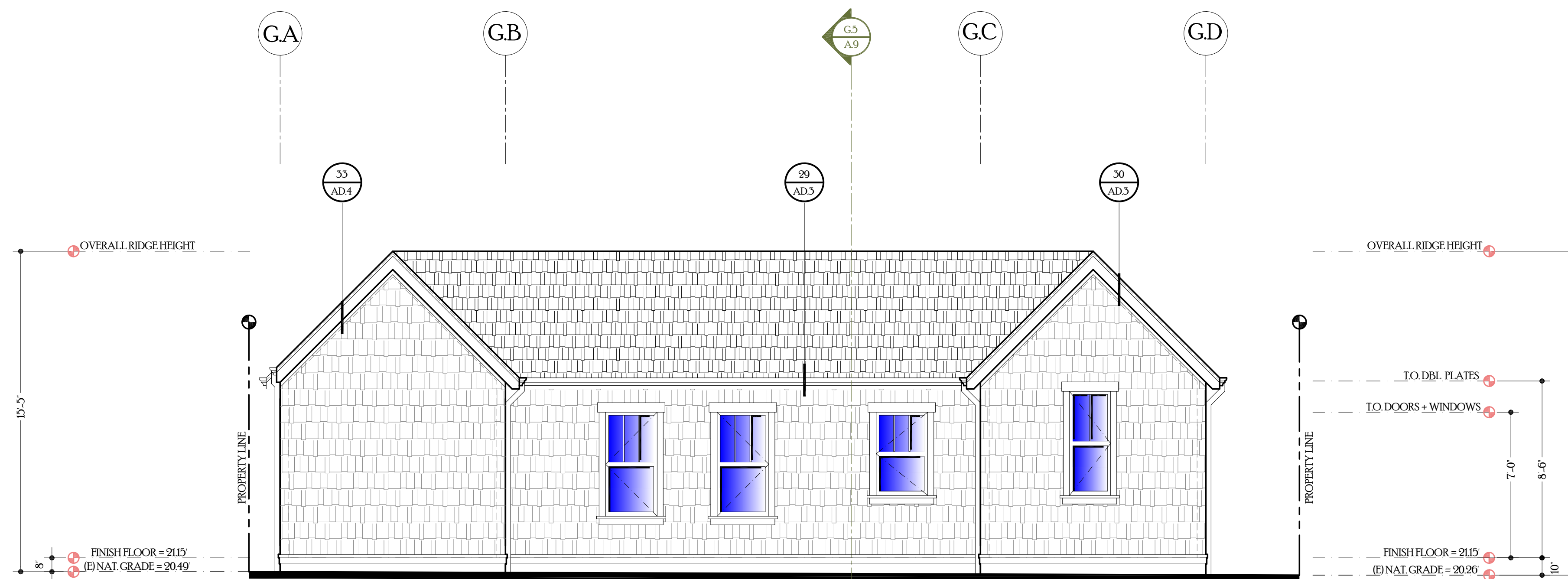
DRAWING TITLE:
GARAGE-ADU EXTERIOR ELEVATIONS

DATE: _____	ENGINEER: _____	DRAWING NO: _____
JOB NO: 2601	AART ASSINK	A.8
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	



G.5~TRANSVERSE BUILDING SECTION

SCALE 1/4"=1'-0"



REFER TO SHEET A.4 AND A.5 FOR TYPICAL MATERIAL CALLOUTS.

G.4~REAR~ADU~GARAGE ELEVATION (EAST)

SCALE 1/4"=1'-0"

ELEVATION~KEYNOTES

1. ASPHALT SHINGLES
-MANUFACTURER: GAF
-STYLE: TIMBERLINE ULTRA HD SHINGLES
-COLOR: BLACK / BROWN
CLASS 'B' RATING O / 2 LAYER SBS MODIFIED UNDERLAYMENT
USE: 1 - LAYER OF BITUMENE UNDER UNDERLAYMENT FOR ALL ROOF WITH 2:12 SLOPE AND LESS
CONSULT MANUFACTURER OF ASPHALT SHINGLE FOR INSTALLATION OF SHINGLES ON A 2:12 ROOF SLOPE.
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2. SHINGLE LAP SIDING
-MANUFACTURER: JAMES HARDI SHINGLE LAP SIDING
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-EXPOSURE: 7
-STYLE: STRAIGHT EDGE PANEL
-MATERIAL: FIBER BOARD
-COLOR: KHAKI BROWN
SIDING OVER (9) LAYERS OF GRADE 'D' BUILDING PAPER OVER TYVEX OVER PLYWOOD
3. STONE VENEER
-MANUFACTURER: PONDEROSA STONE
-SUPPLIER: PENNSYLVANIA BUILDING MATERIALS
-ITEM NO: #NSTVPONDL
-SIZE: VARYING VENEER
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-MANUFACTURER: MARVIN INTEGRITY
-MATERIAL: FIBERGLASS CLAD EXTERIOR
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
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5. EXTERIOR COLUMN
-MANUFACTURER: TURN CRAFT OR EQUAL
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-MATERIAL: WOOD OR EQUAL
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-COLOR: STONE OR OFF WHITE
6. DECORATIVE WOOD GUARDRAIL SYSTEM
-MANUFACTURER: TURN CRAFT OR EQUAL
-MATERIAL: WOOD
-STYLE: CRAFTSMAN
-COLOR: STONE OR OFF WHITE
7. WOOD KNEE BRACES PER DETAIL
-COLOR: STONE OR OFF WHITE
8. WOOD FACIA BOARD AND GUTTER SYSTEM
-FASCIA BOARD COLOR: STONE OR OFF WHITE
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SIGNATURE BOX
NAME: JESSE GEURSE

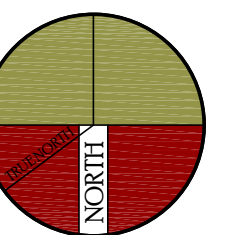
CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 2281L EXPIRATION DATE 06/30/2026



NO	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

REVISIONS

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PROJECT NAME:
NEW RESIDENCE + DETACHED ADU / GARAGE
FOR
MR. + MRS. WHITMER
10 STANLEY ROAD
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE:
GARAGE-ADU EXTERIOR ELEVATION + BUILDING SECTION

DATE: _____	ENGINEER: _____	DRAWING NO: _____
JOB NO: 2601	AART ASSINK	A.9
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	



NO.	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

REVISIONS

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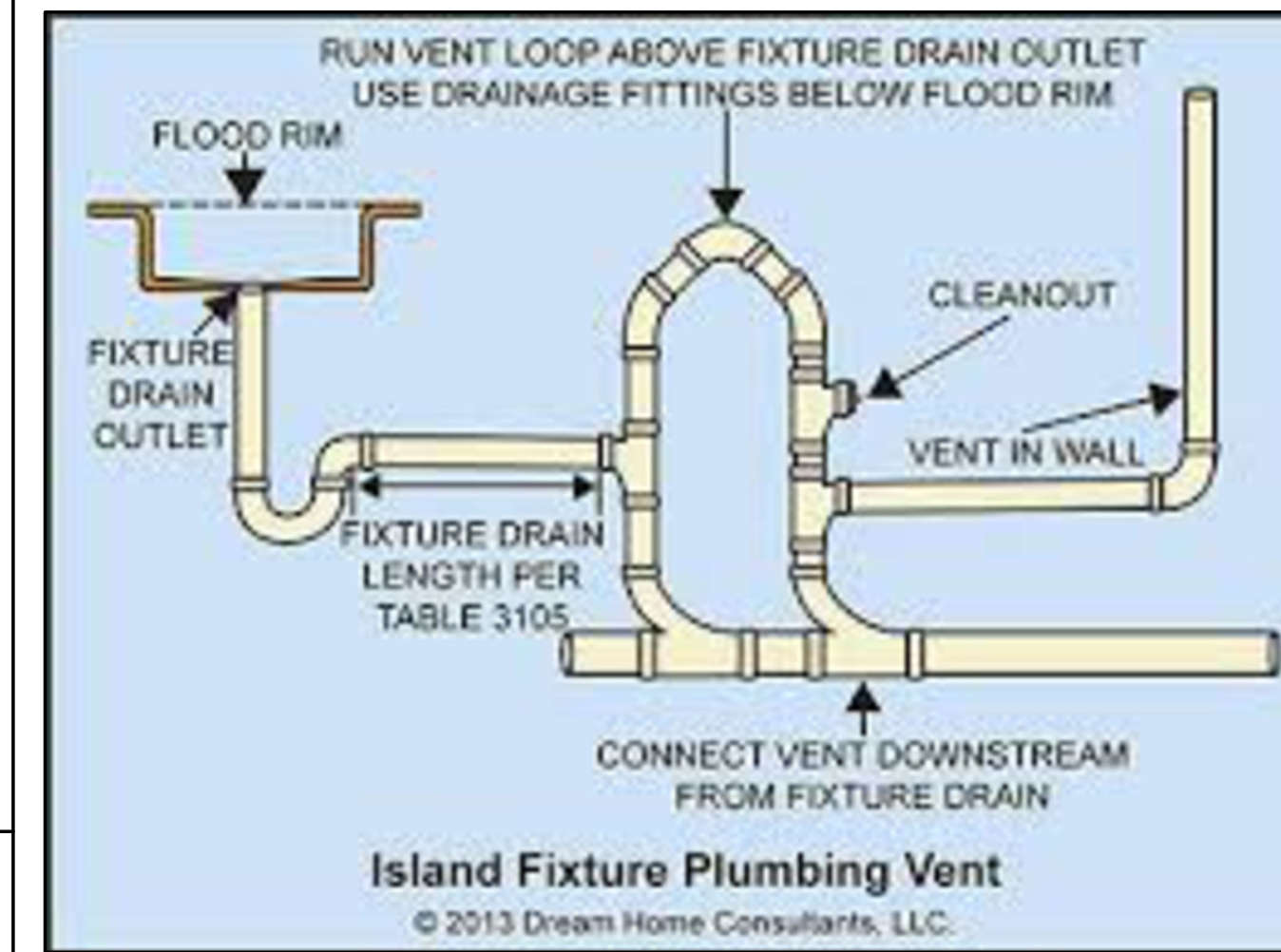
PROJECT NAME:
NEW RESIDENCE + DETACHED ADU /GARAGE FOR MR. + MRS. WHITMER 10 STANLEY ROAD BURLINGAME, CALIFORNIA 94010

DRAWING TITLE

DETAILS

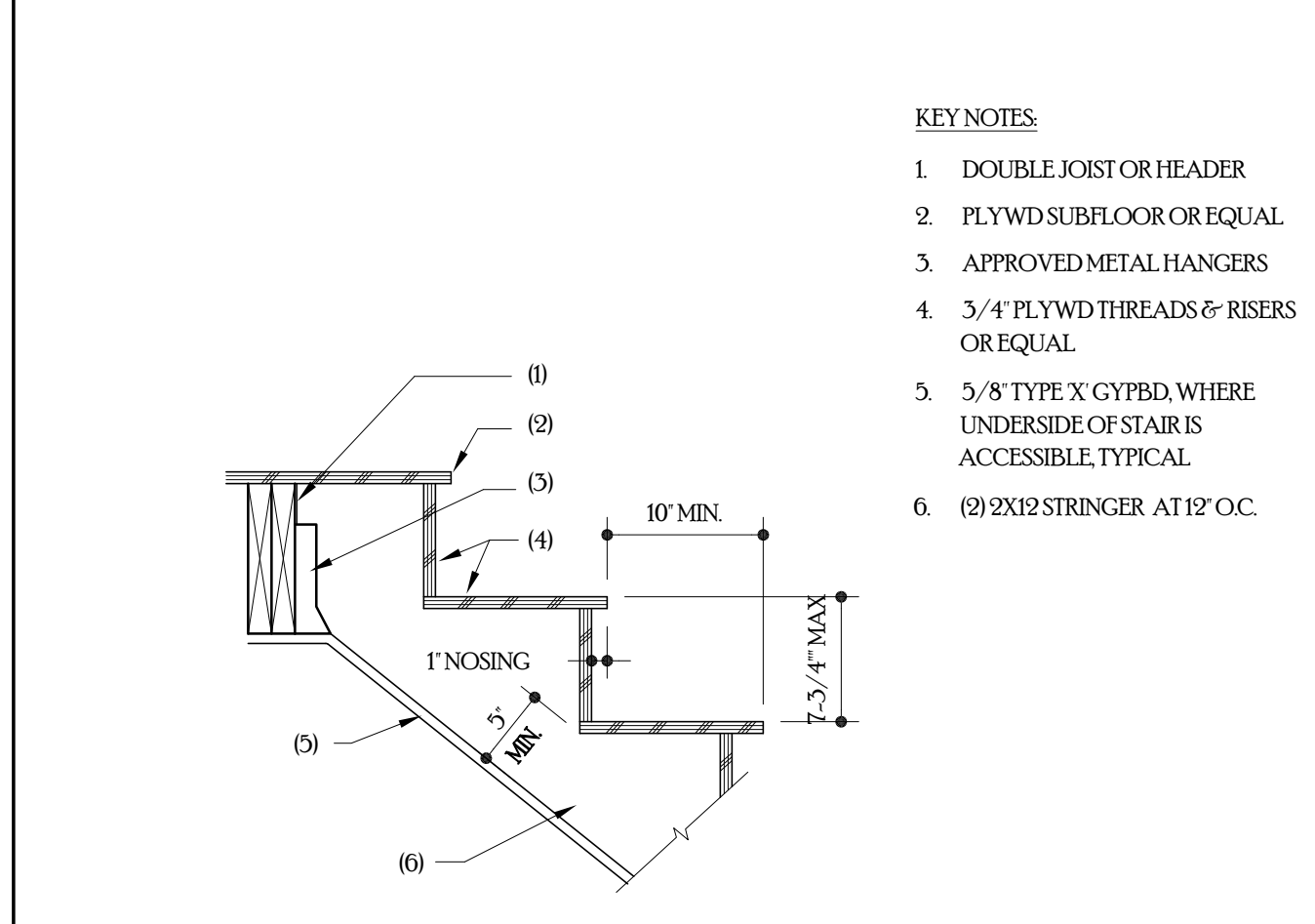
DATE	ENGINEER	DRAWING NO.
2601	AART ASSINK	
JOB NO.	SCALE	
	AS SHOWN	
DRAWN BY:	RELEASED TO CONSTRUCTION	
JFG		
REVIEWED BY:		
JFG		

AD.1



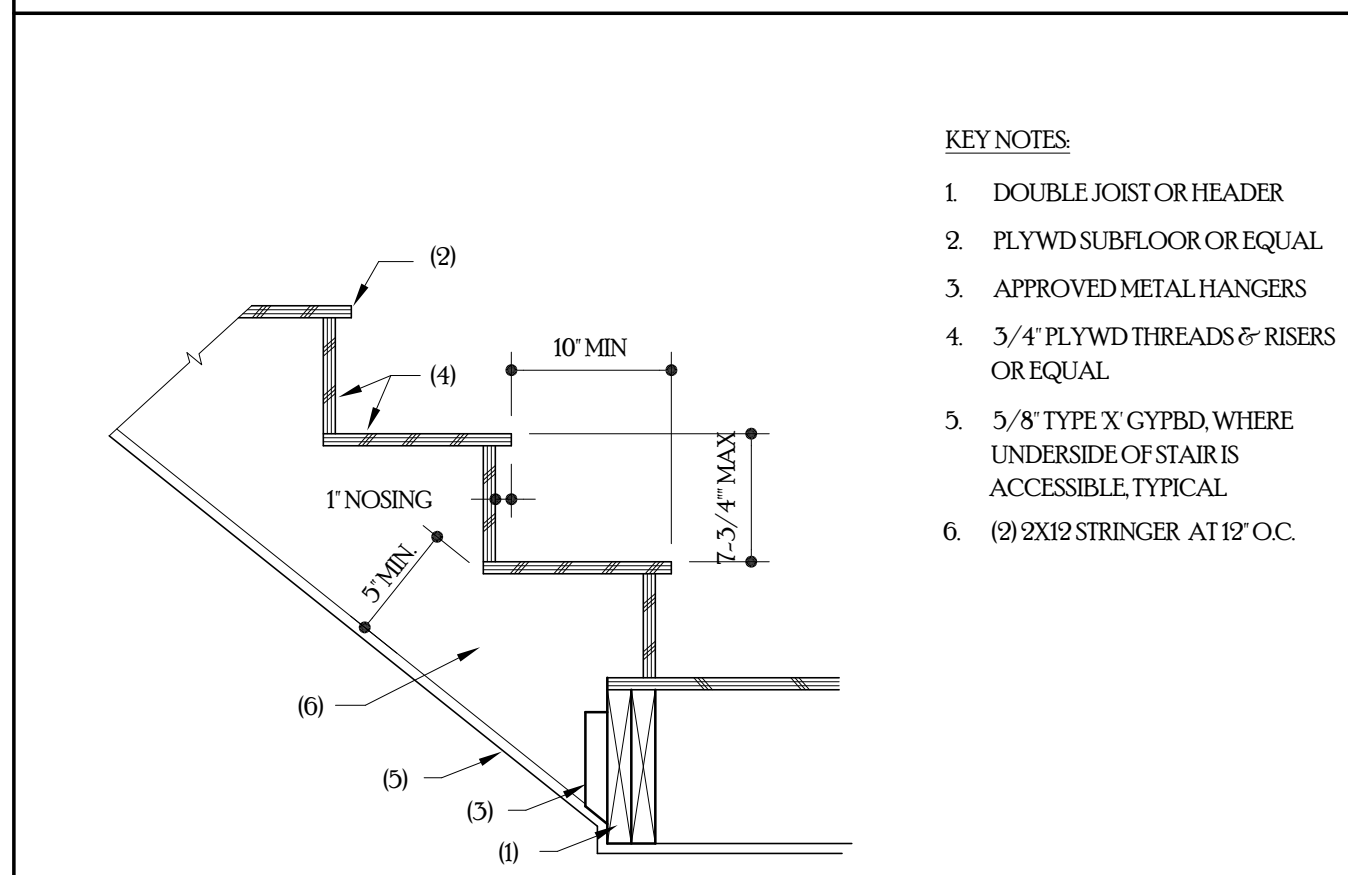
4 ISLAND LOOP VENT

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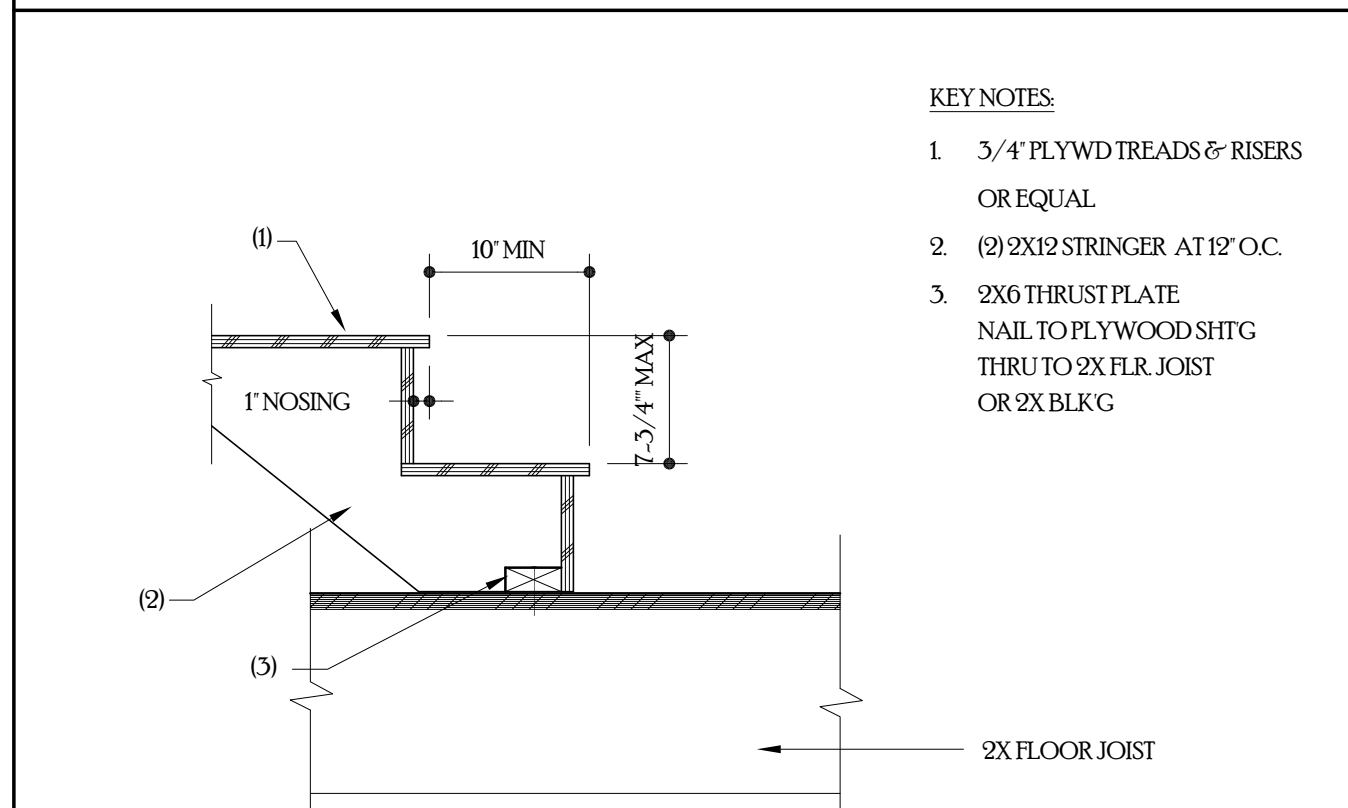
3 STAIR TO LAND

SCALE=1"=1'-0"



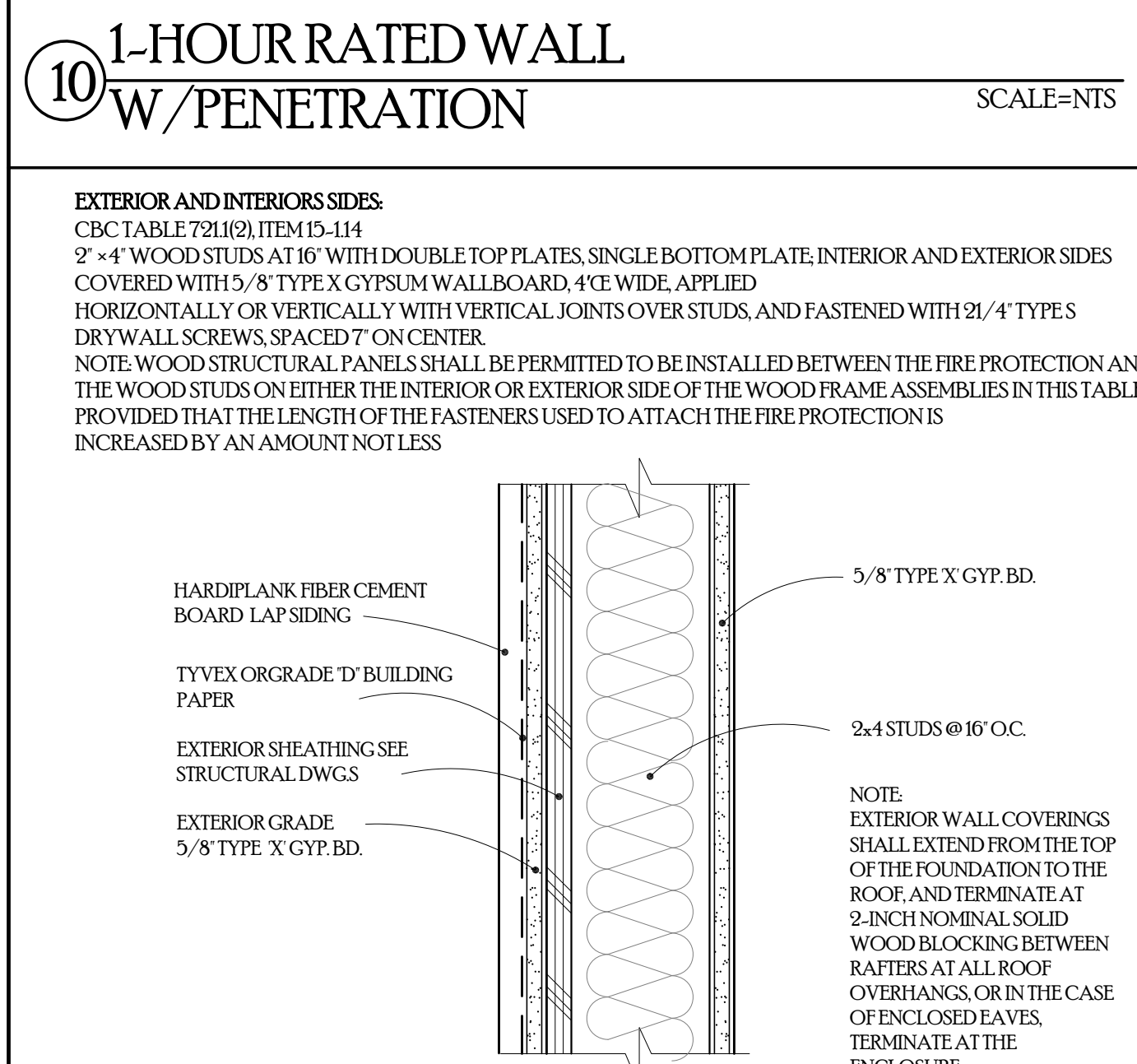
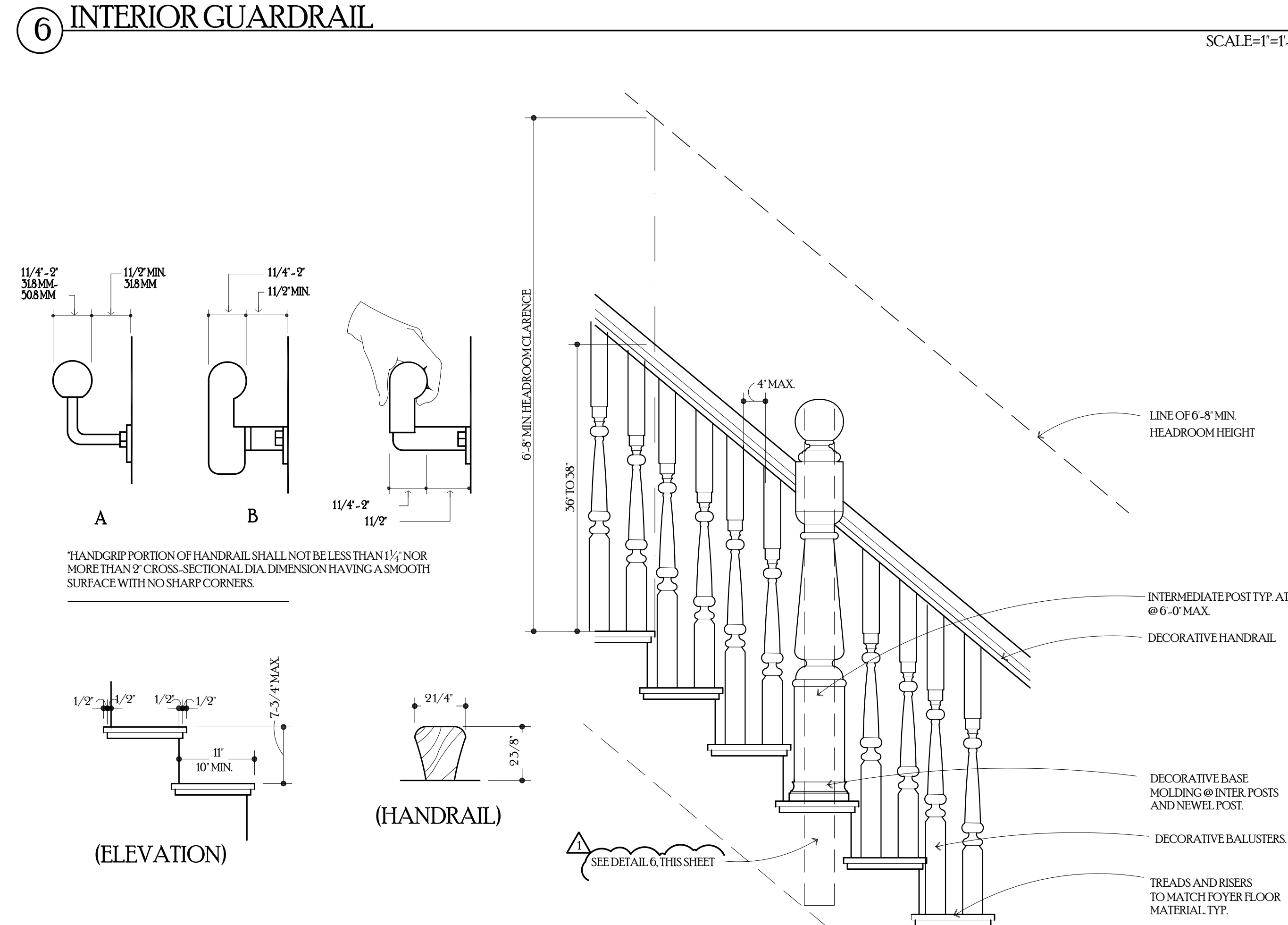
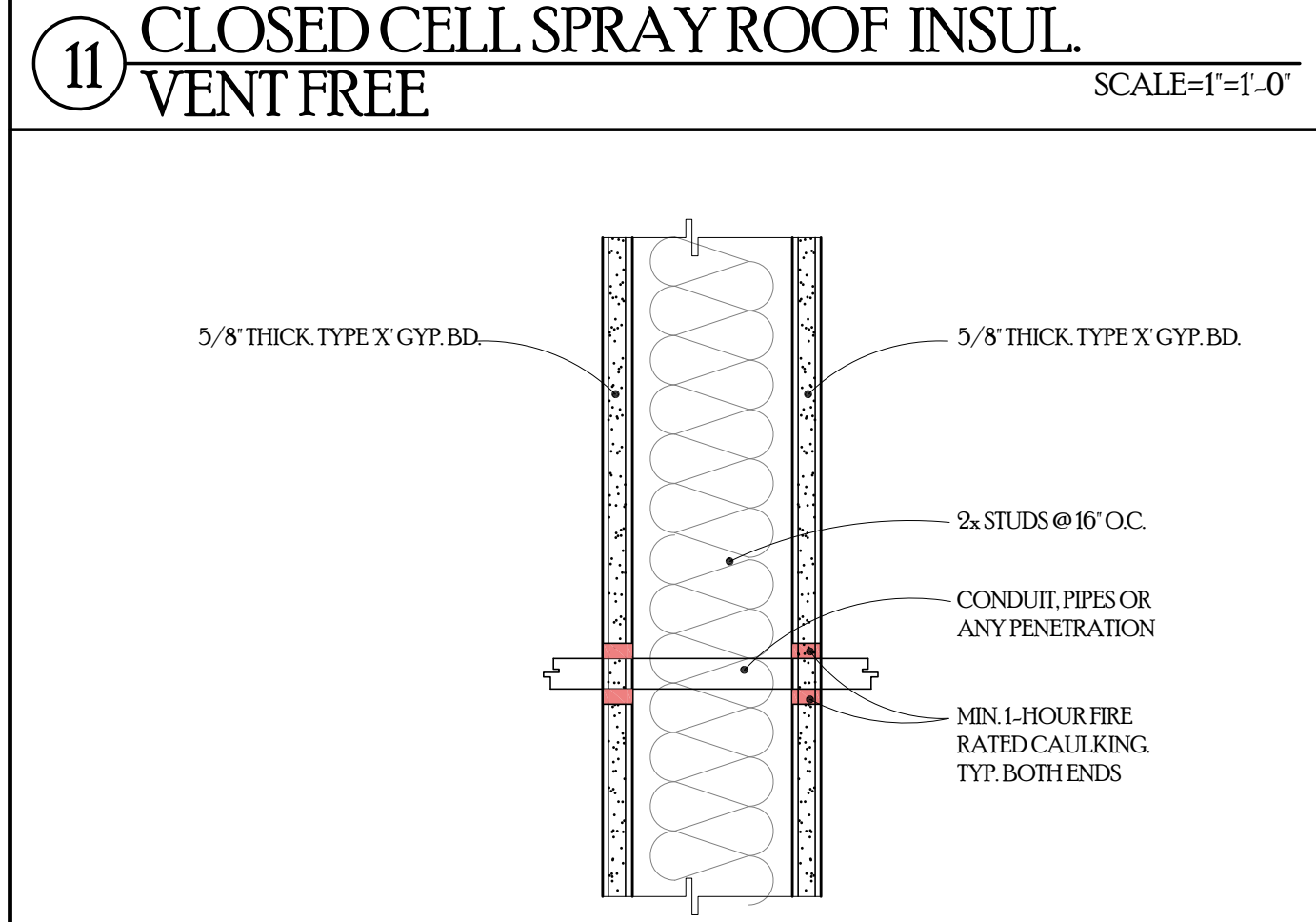
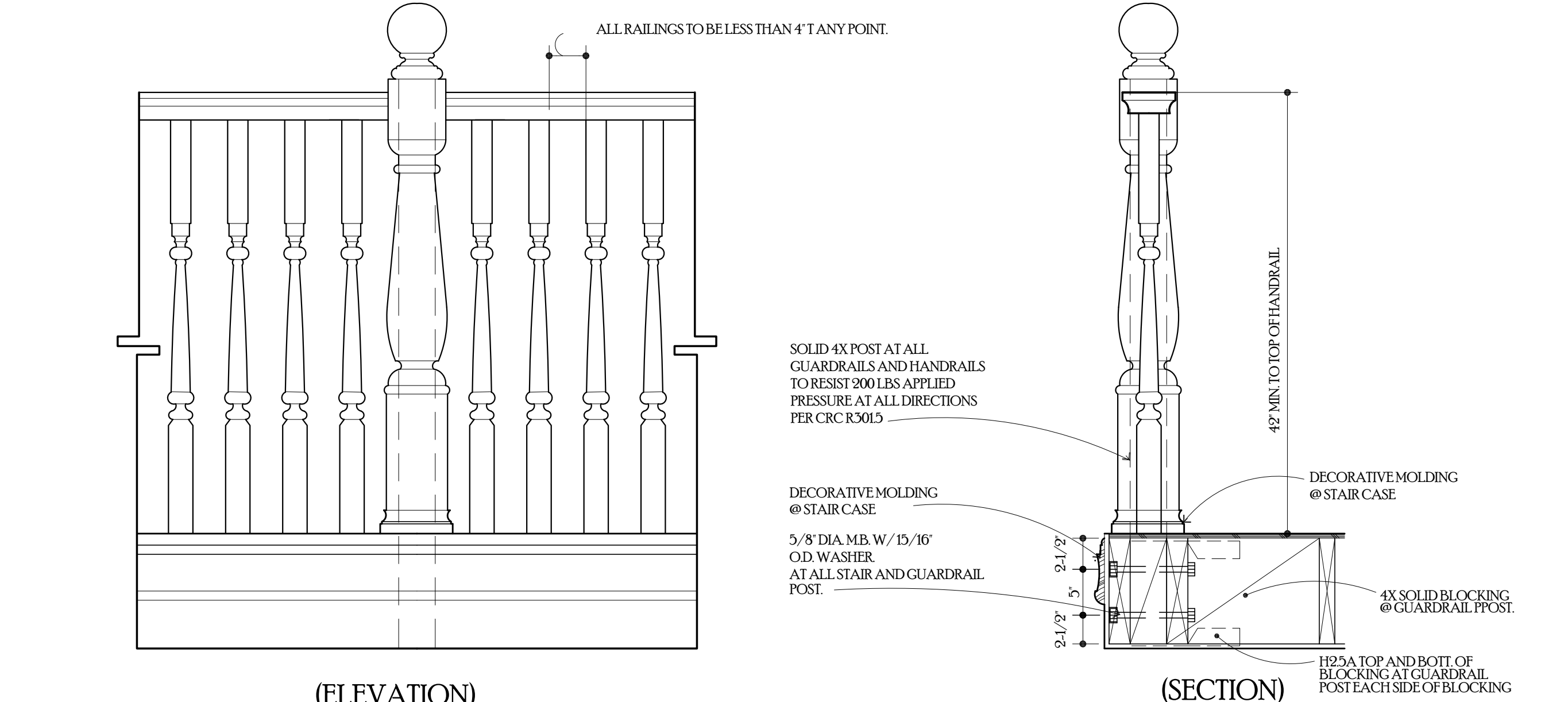
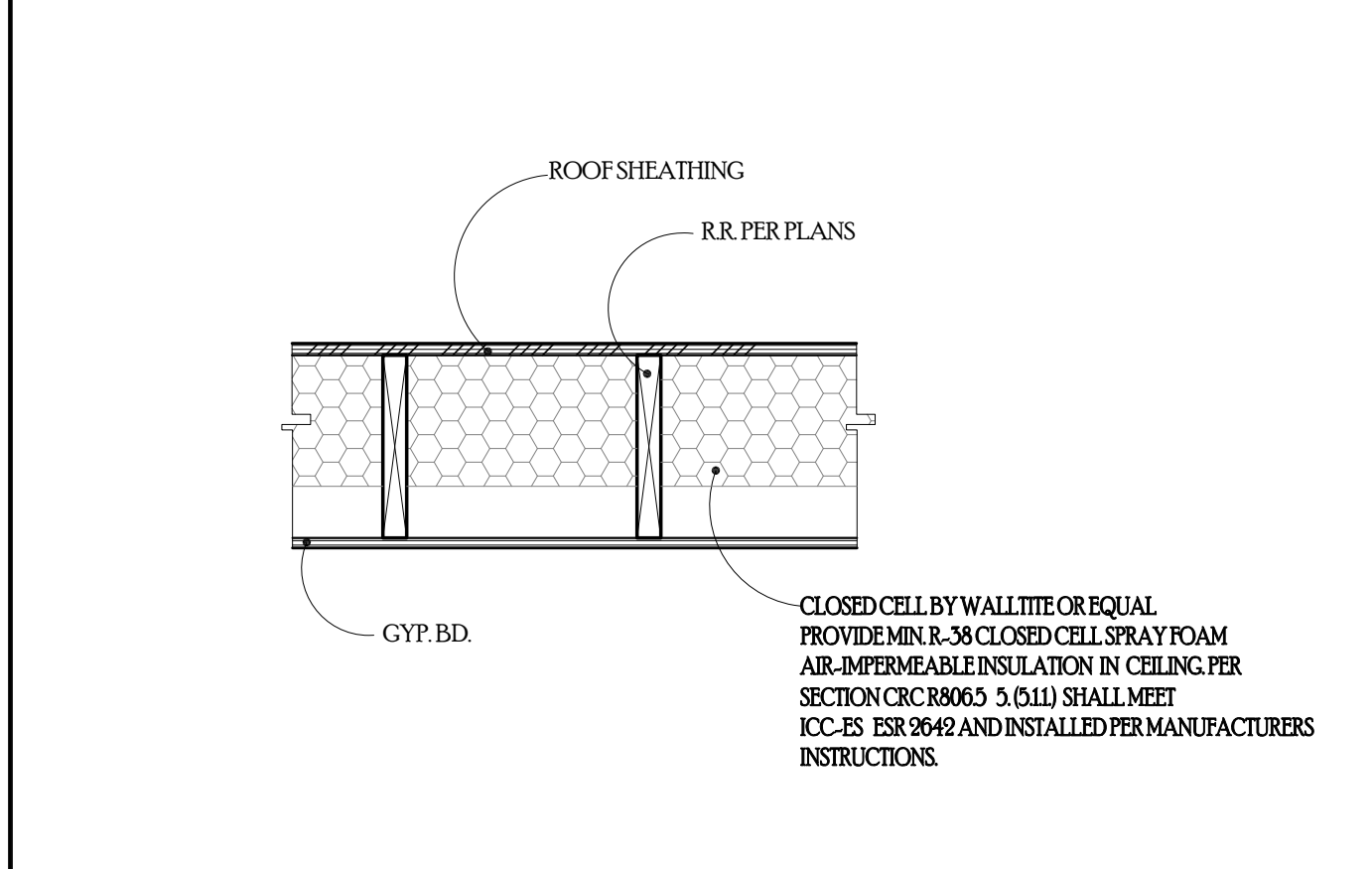
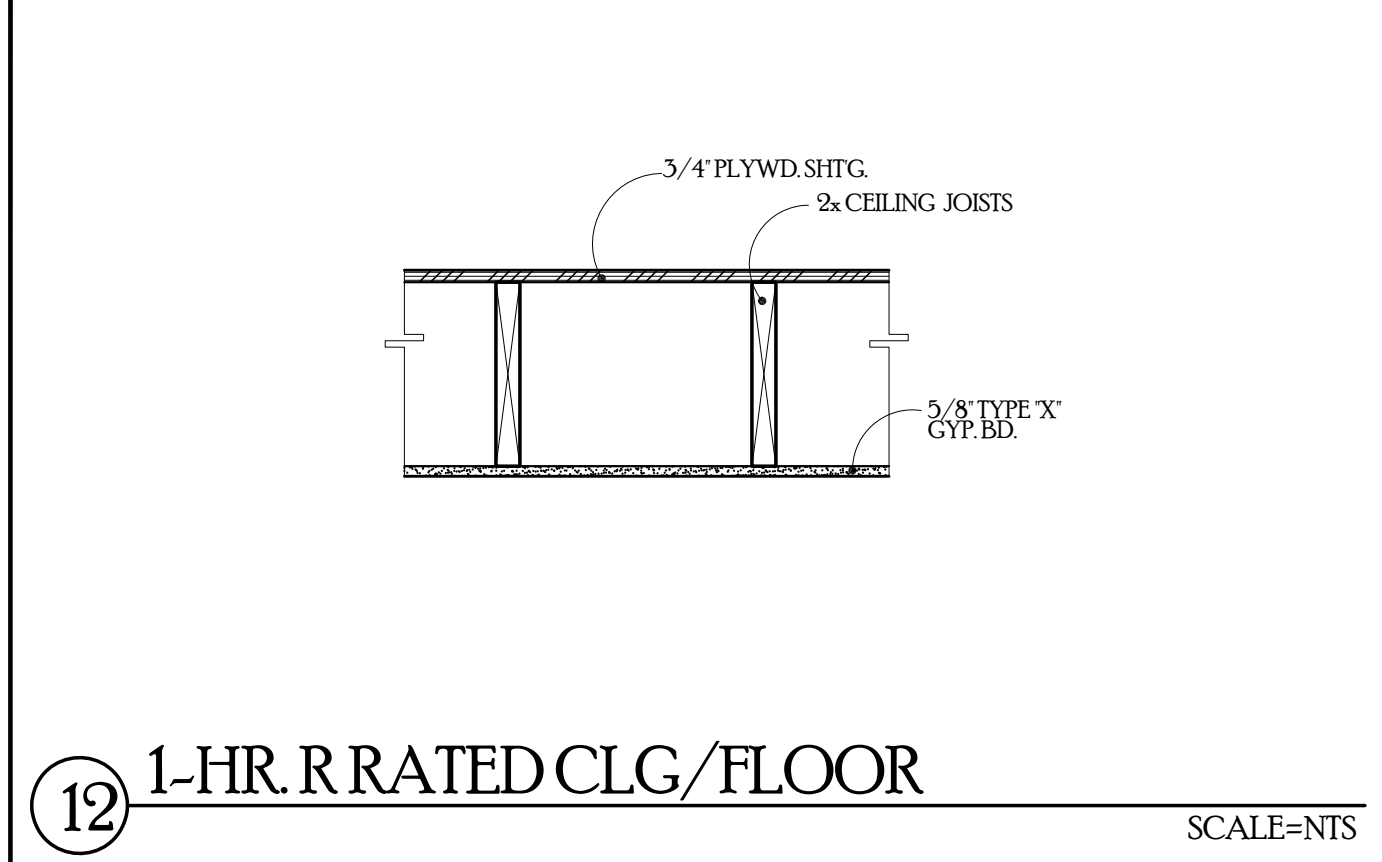
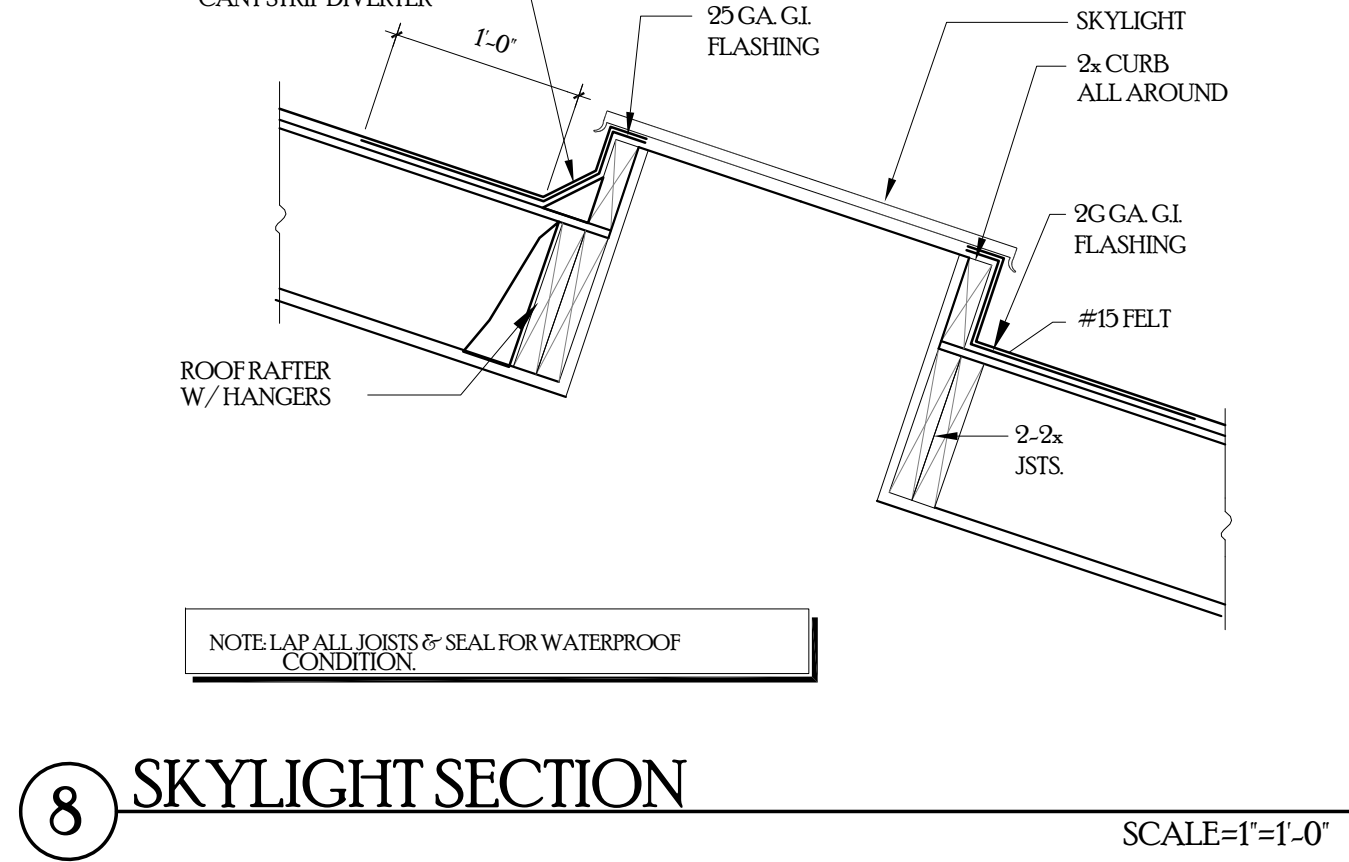
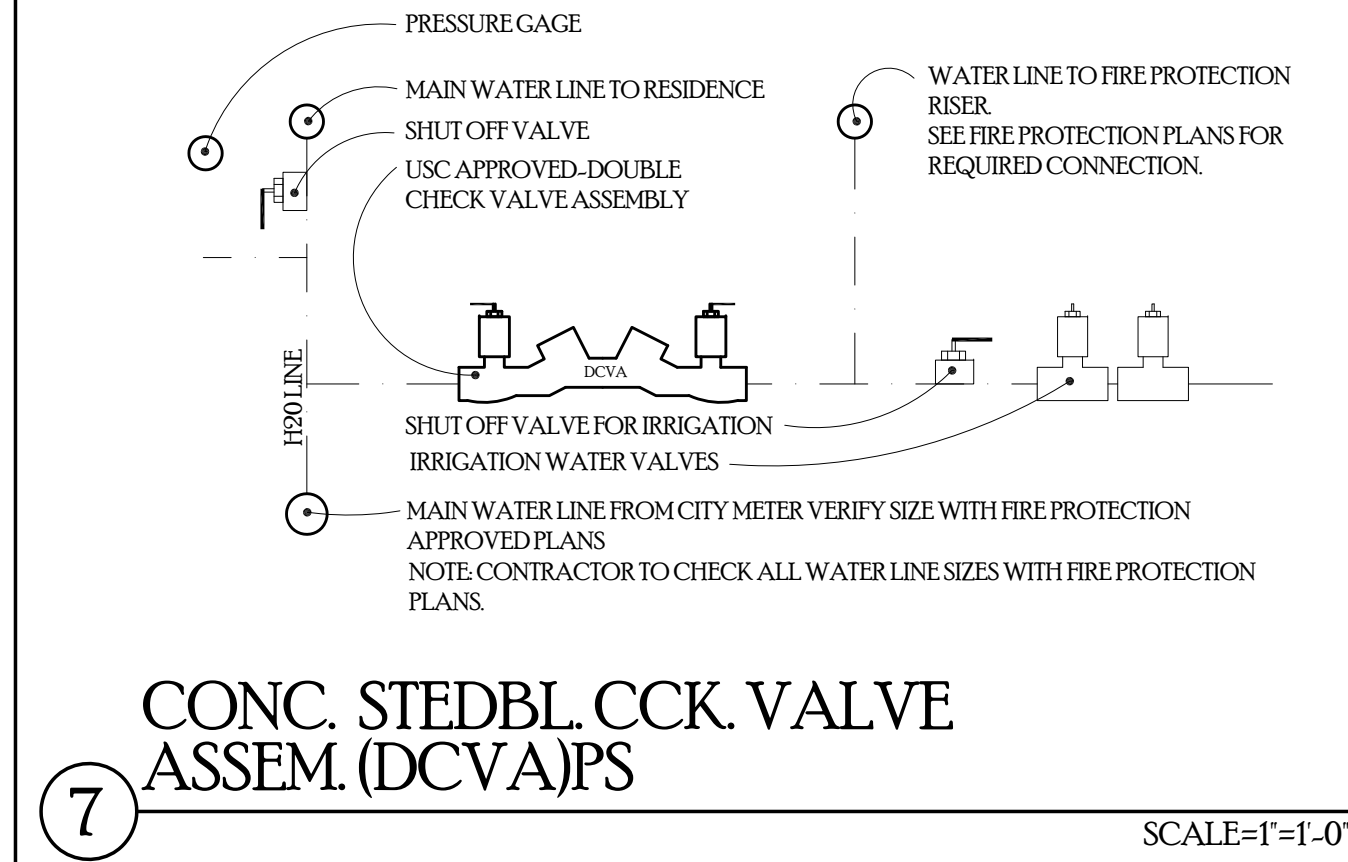
2 STAIR @ FLOOR

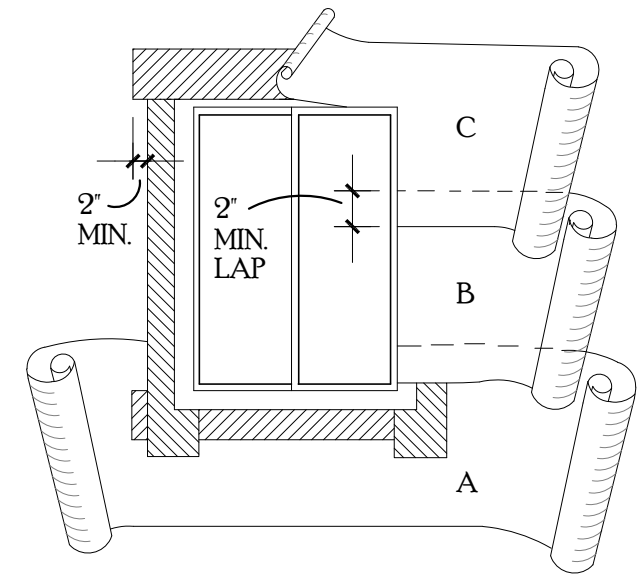
SCALE=NTS



1 STAIR TO RAISED FLOOR

SCALE=1"=1'-0"

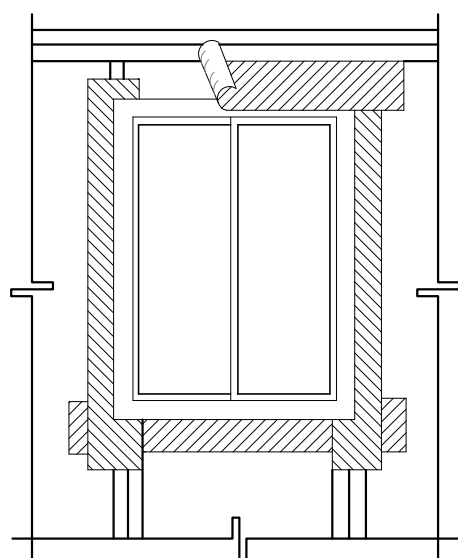




STARTING AT THE BOTTOM OF THE WALL/SOLE FLAT, LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING (SHOWN IN DIAGRAM AS SHORT DASH LINES). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B.C. etc.) OVER JAMB AND HEAD FLANGES IN SINGLE-BOARD FASHION.

(STEP 4)

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT, ISN'T A LATH OR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER WIRE BACKING.



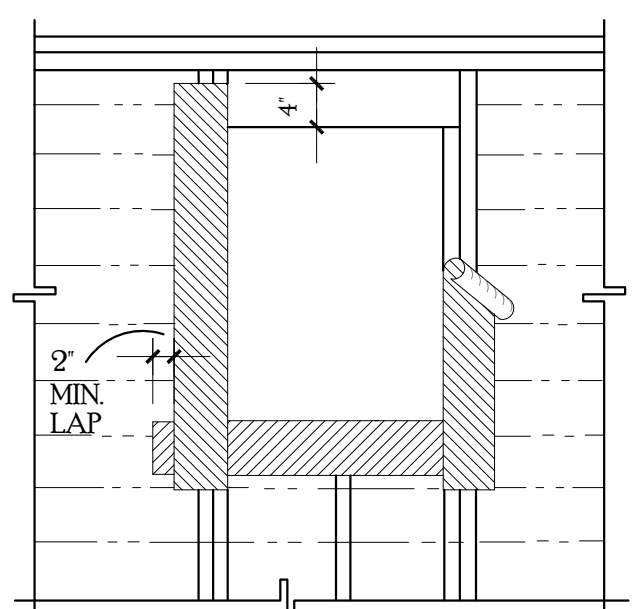
(STEP 5)

APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW THEN PLACE THE WINDOW INTO THE ROUGH OPENING. WITH FLANGES OVER THE INSTALLED FLASHING MATERIAL. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING MATERIAL AT LEAST 9" WIDE.

NOTES

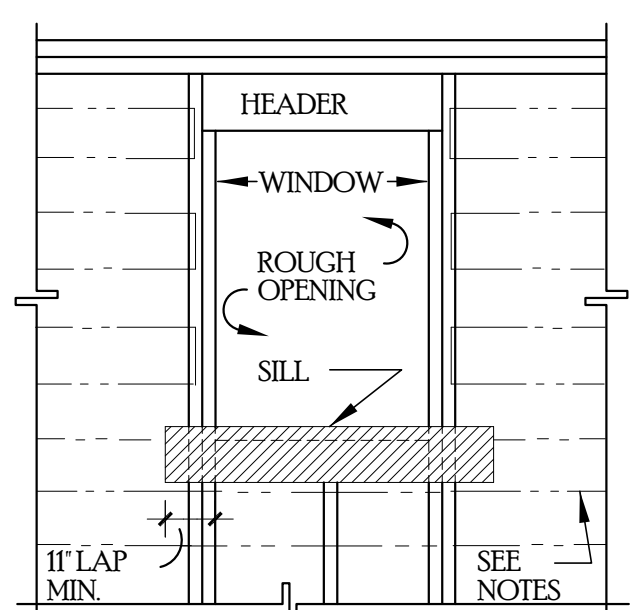
SECTION 1409.2 OF THE UNIFORM BUILDING CODE STATES, EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE WATERPROOF. THE FOLLOWING PRACTICES ARE RECOMMENDED TO ACHIEVE THIS INTENT IN THE FLASHING OF PENETRATIONS TO INCLUDE, BUT NOT LIMITED TO, WINDOWS, DOORS, VENTS, ETC.

PENETRATION FLASHING MATERIAL FOR FLASHING SHALL BE BARRIER COATED RESINIC FLASHING MATERIAL AND SHALL PROVIDE FOR 4-HOUR MINIMUM PROTECTION FROM WATER PENETRATION WHEN TESTED IN ACCORDANCE WITH ASTM D791. FLASHING MATERIAL SHALL CARRY CONTINUOUS IDENTIFICATION SEALANT SHALL BE ABILITY TO COMPLY WITH FED. SPEC. TT-S-1607.



(STEP 2)

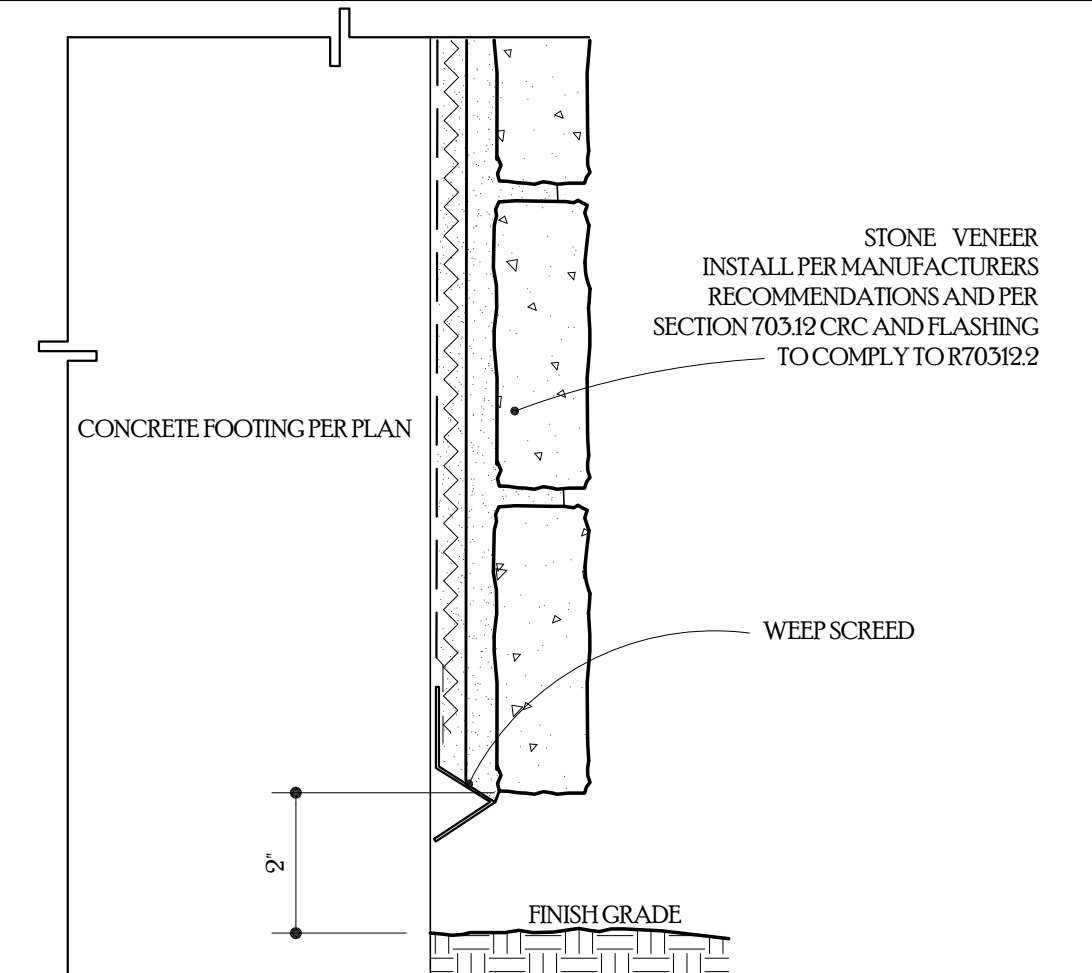
AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS INSIDE OF OPENING AT LEAST 9" WIDE WITH INSIDE EDGE OF FLASHING MATERIAL EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 2" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE HEADER (TOP OF THE WINDOW OPENING).



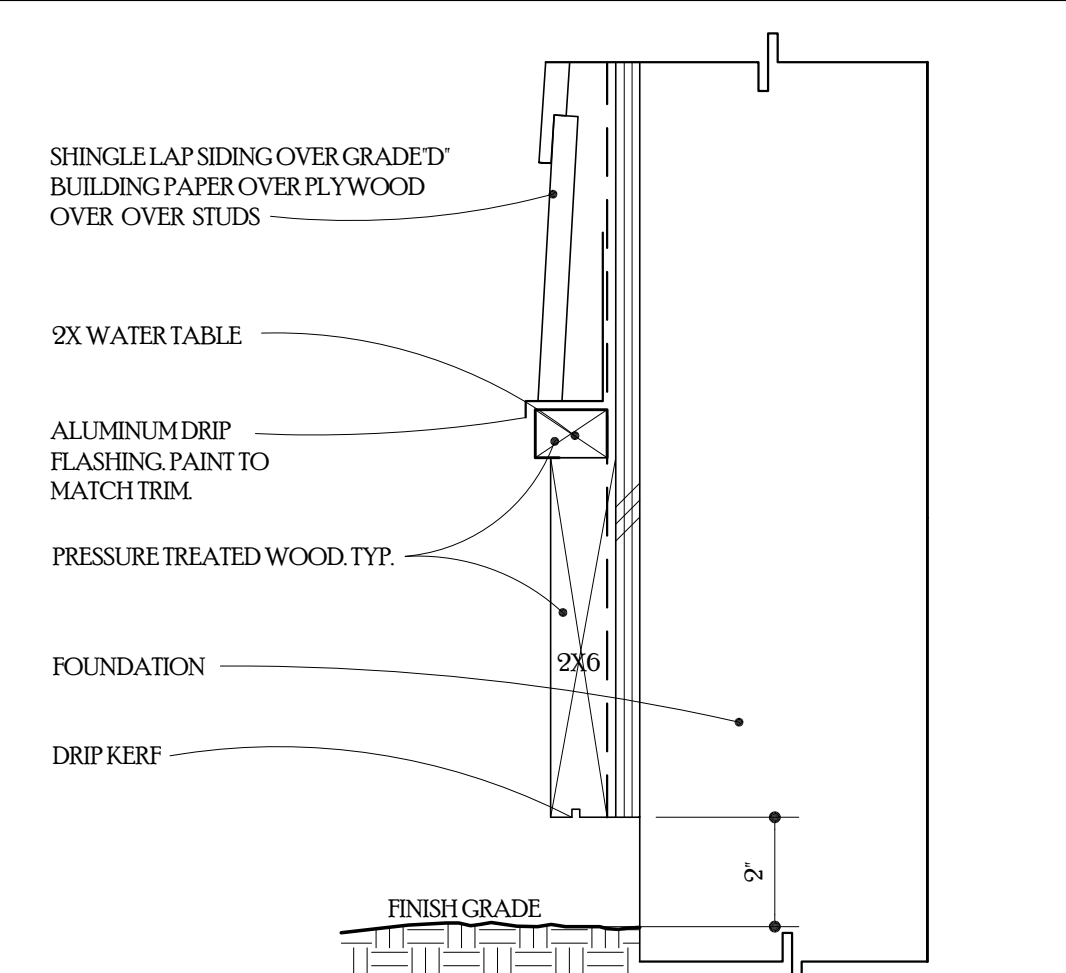
(STEP 1)

ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 1" BEYOND THE EDGE OF THE ROUGH OPENING OF WINDOW. ATTACH FLASHING MATERIAL WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.

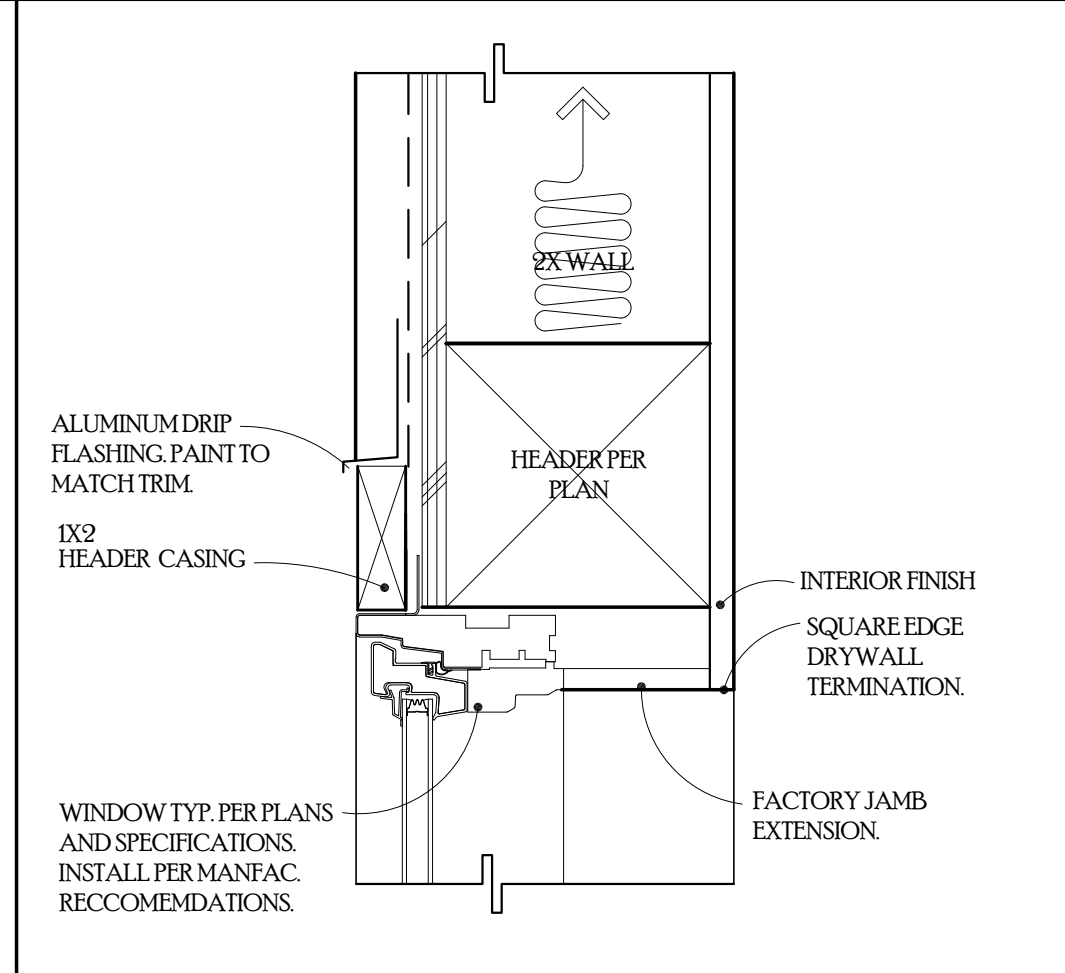
28 WINDOW FLASHING MATERIAL APPLICATION SCALE=3'-1'-0"



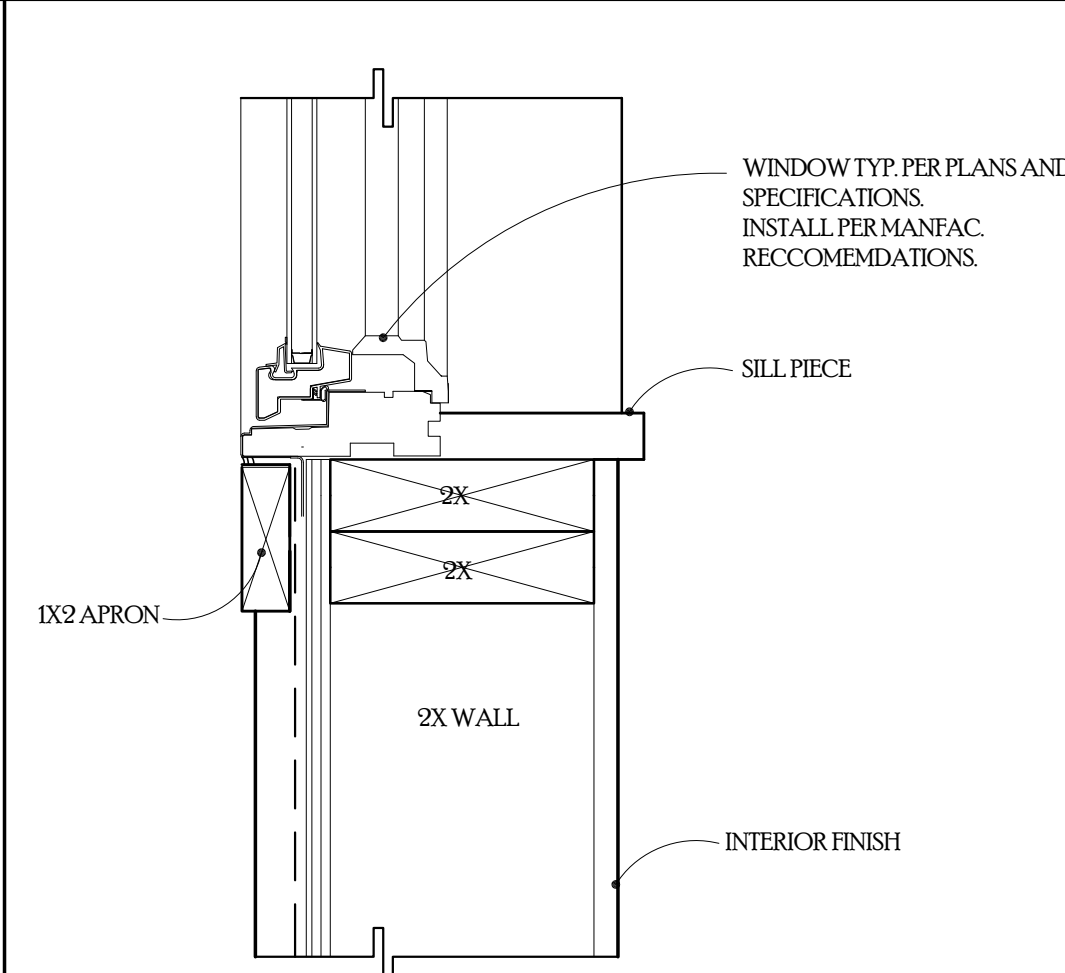
27 EXTERIOR BASE TERMINATION. TYP. SCALE=3'-1'-0"



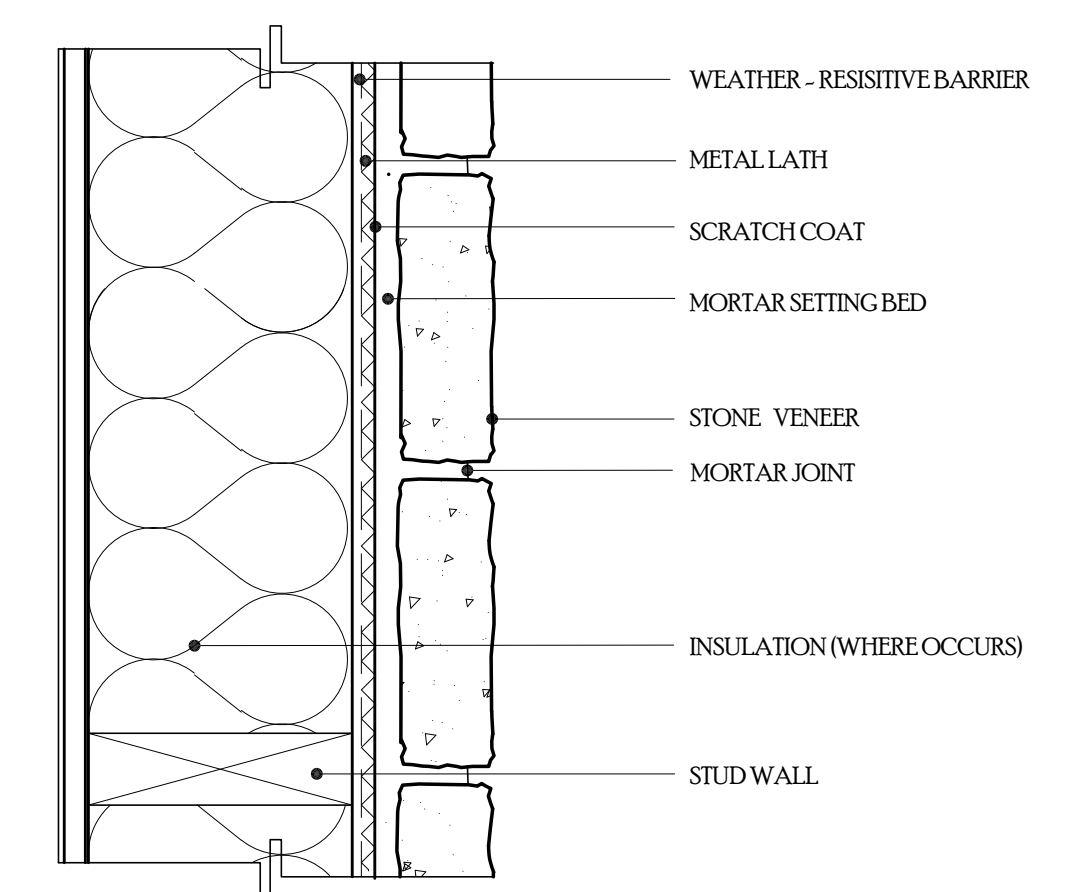
22 EXTERIOR BASE TYP. SCALE=3'-1'-0"



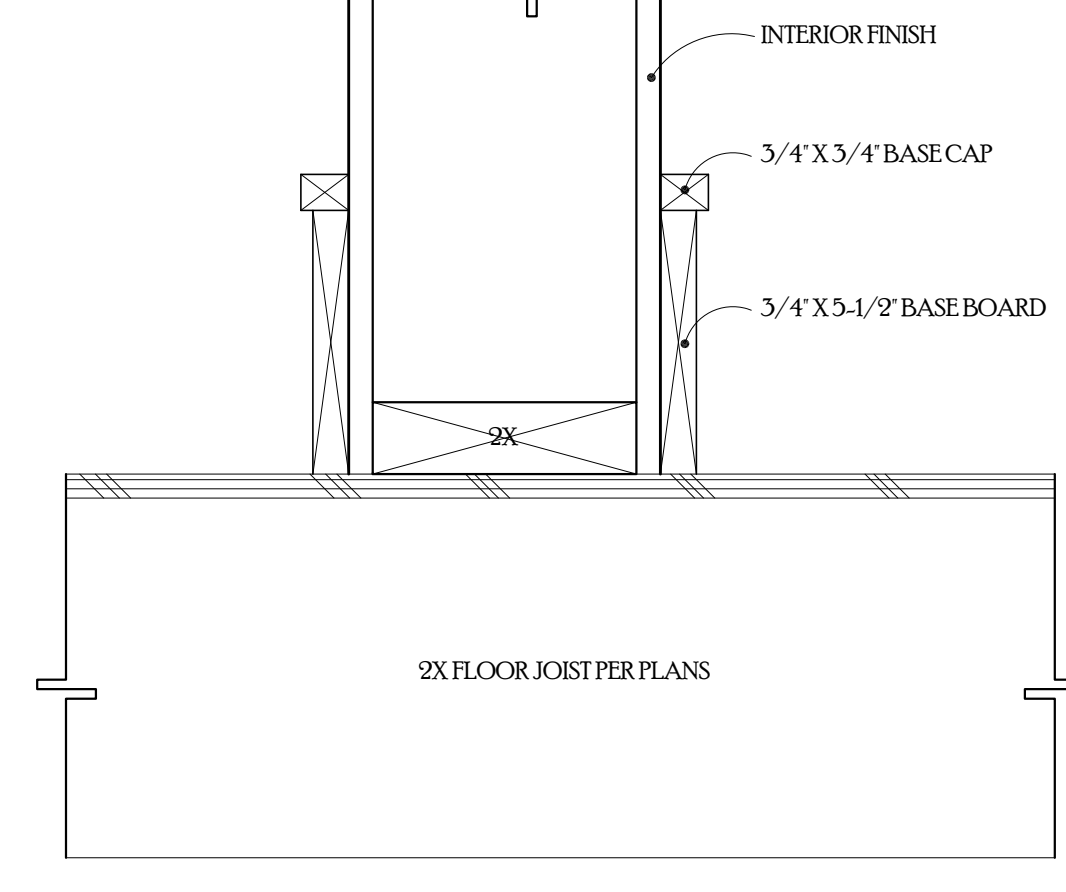
20 WINDOW HEAD SCALE=3'-1'-0"



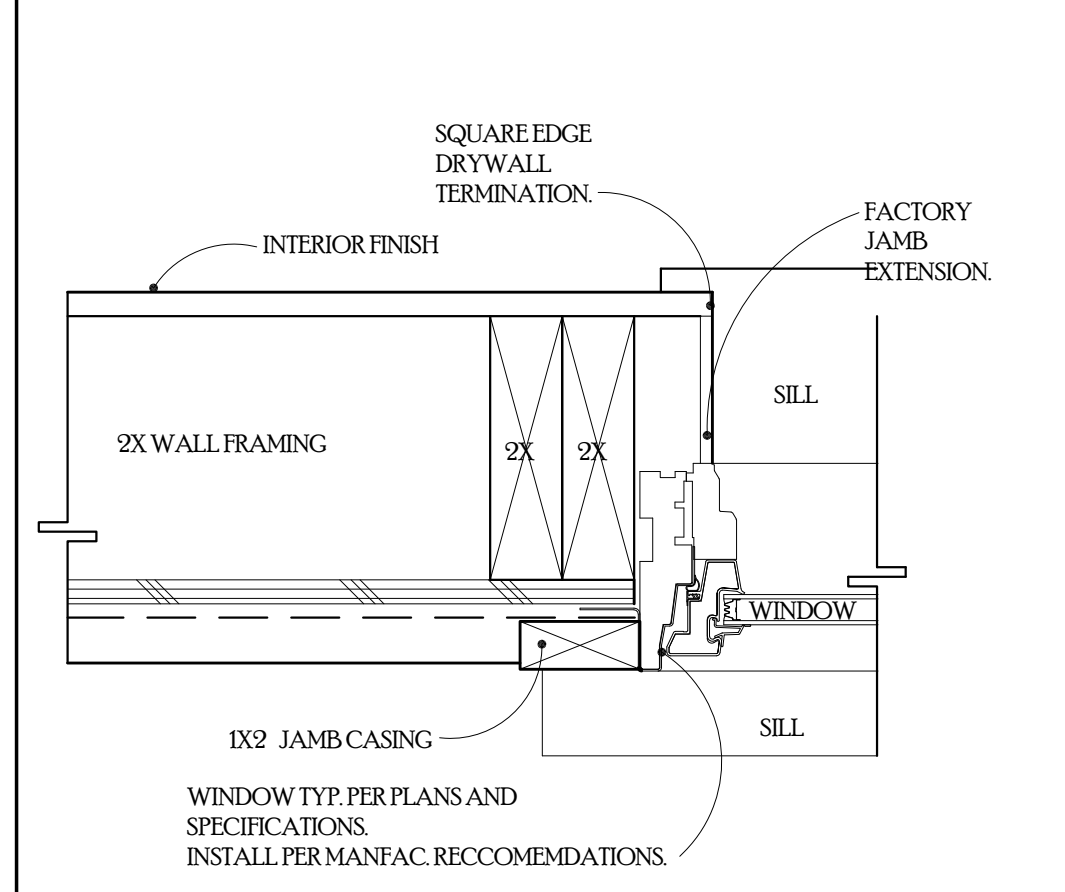
16 WINDOW SILL SCALE=3'-1'-0"



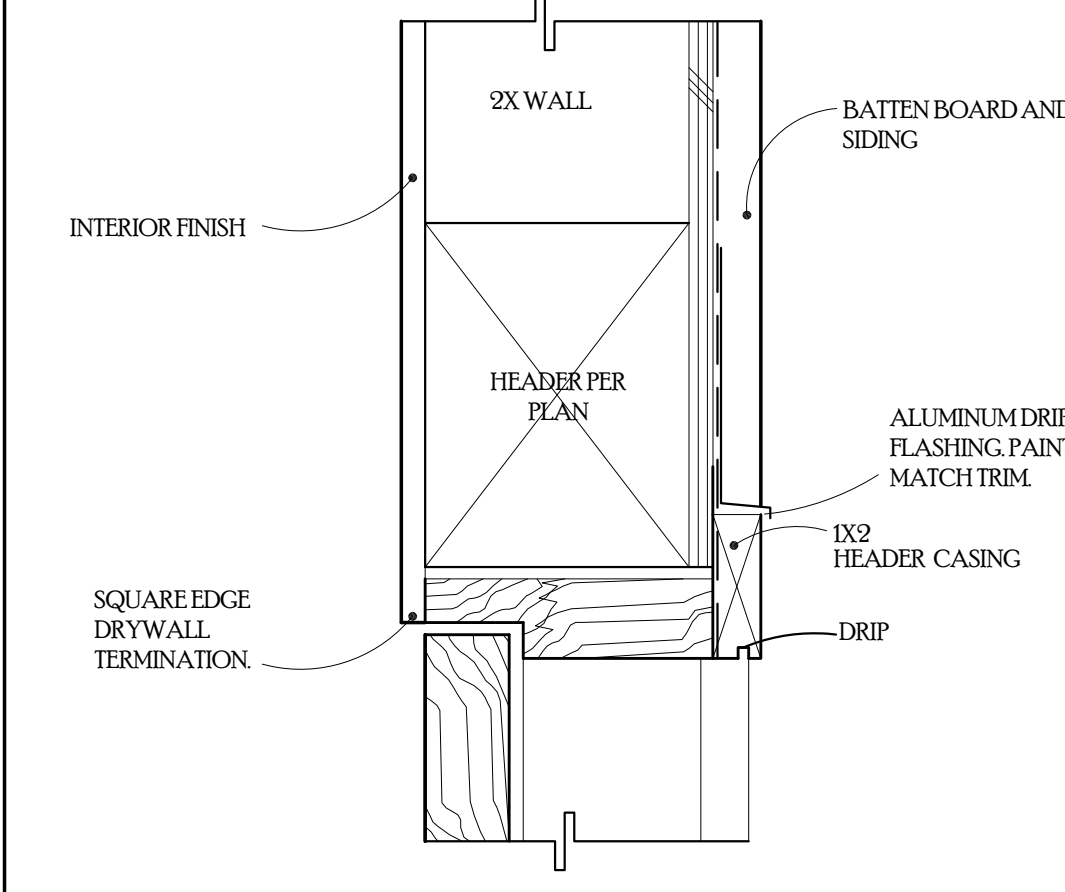
26 STONE VENEER AT WALL SCALE=3'-1'-0"



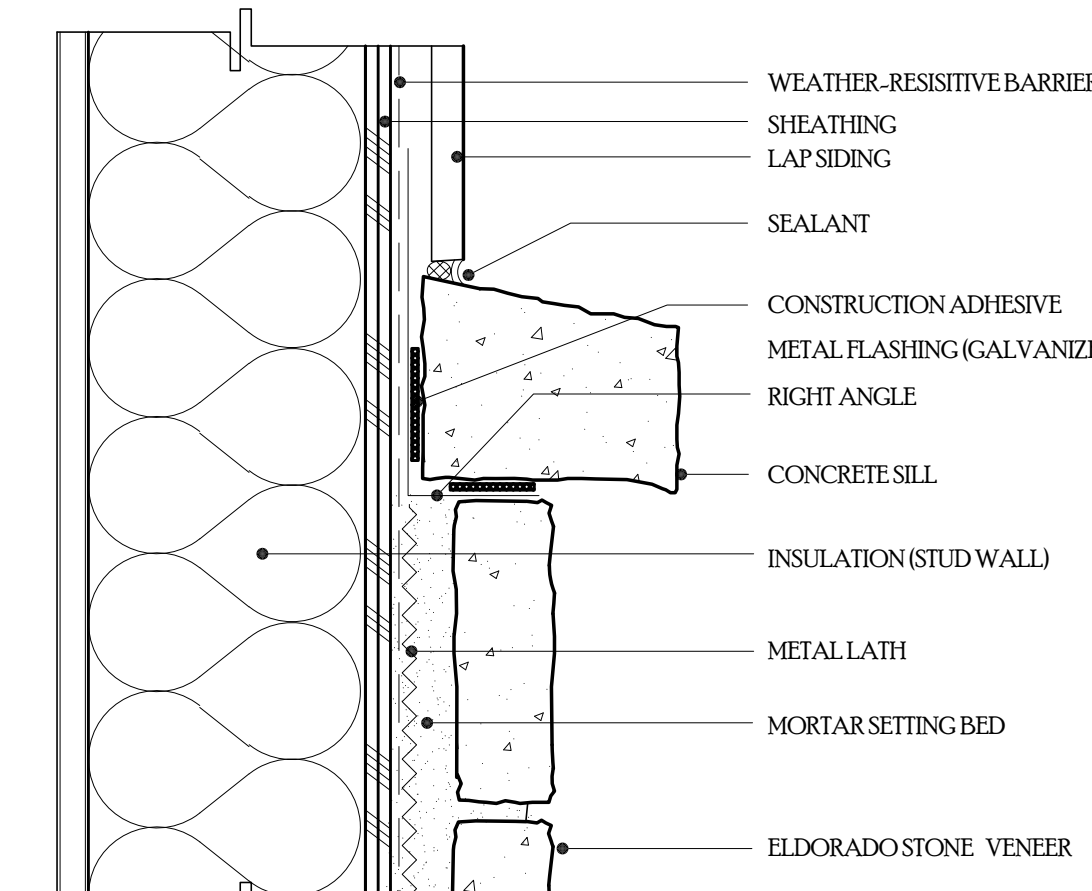
23 BASEBOARD SCALE=3'-1'-0"



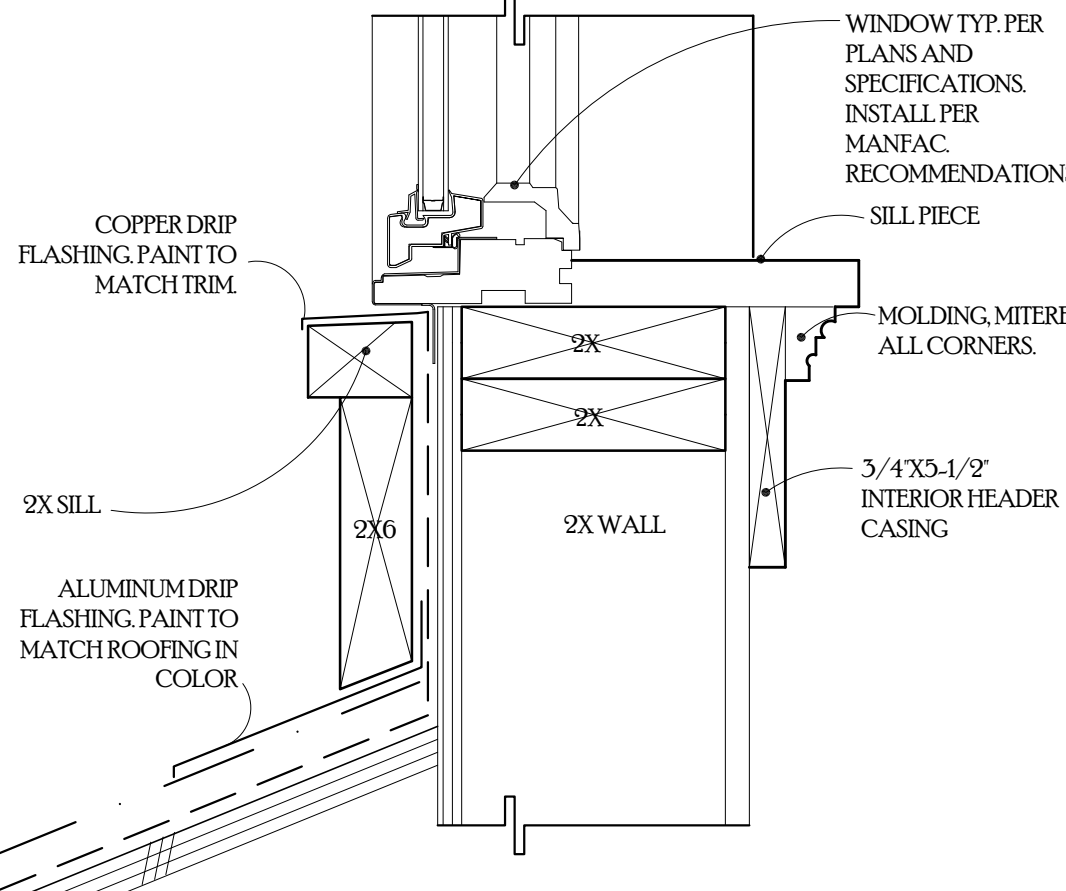
19 WINDOW JAMB SCALE=3'-1'-0"



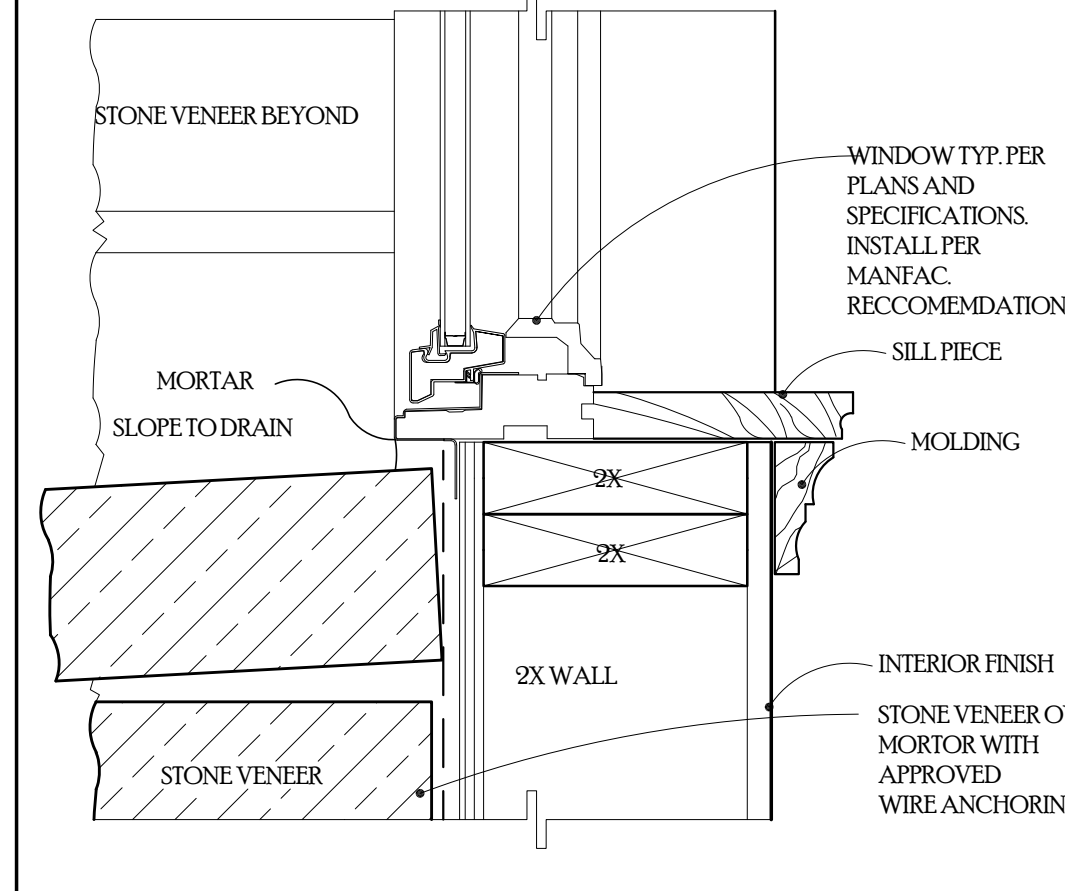
15 DOOR HEAD SCALE=3'-1'-0"



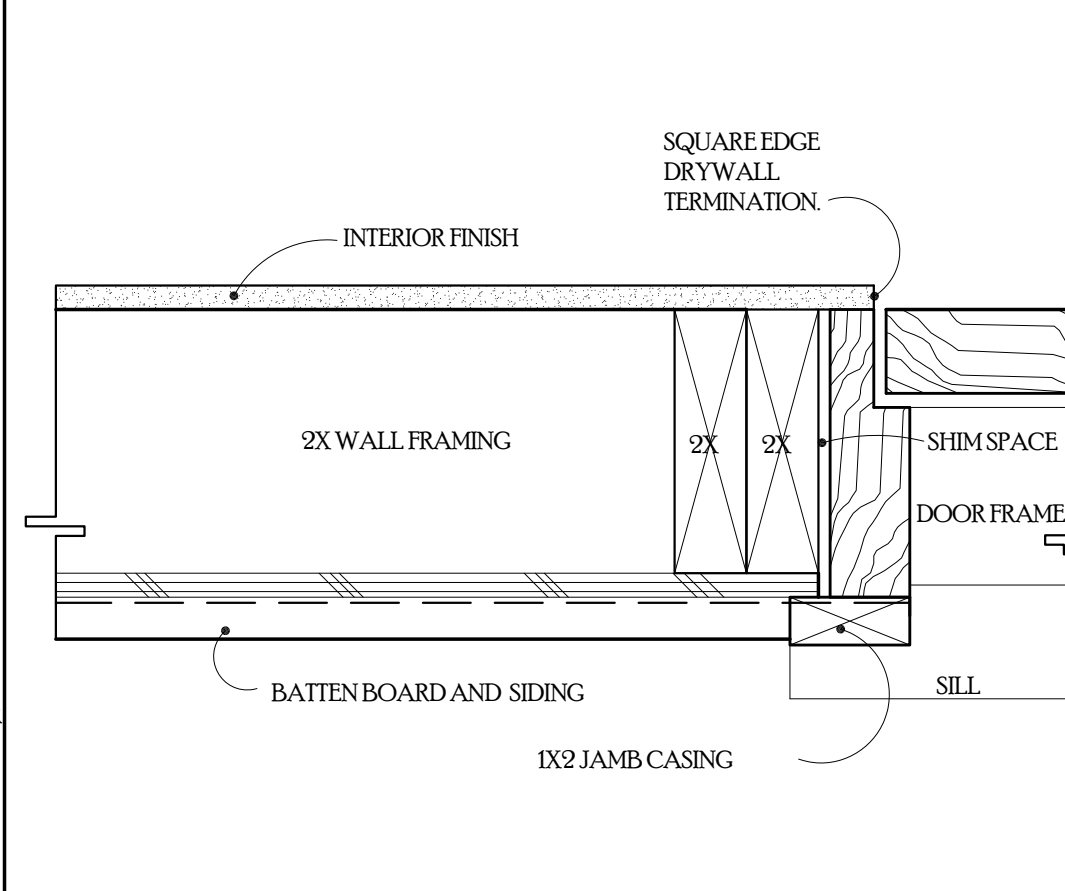
25 VENEER OVER OPEN STUD FRAM. SCALE=3'-1'-0"



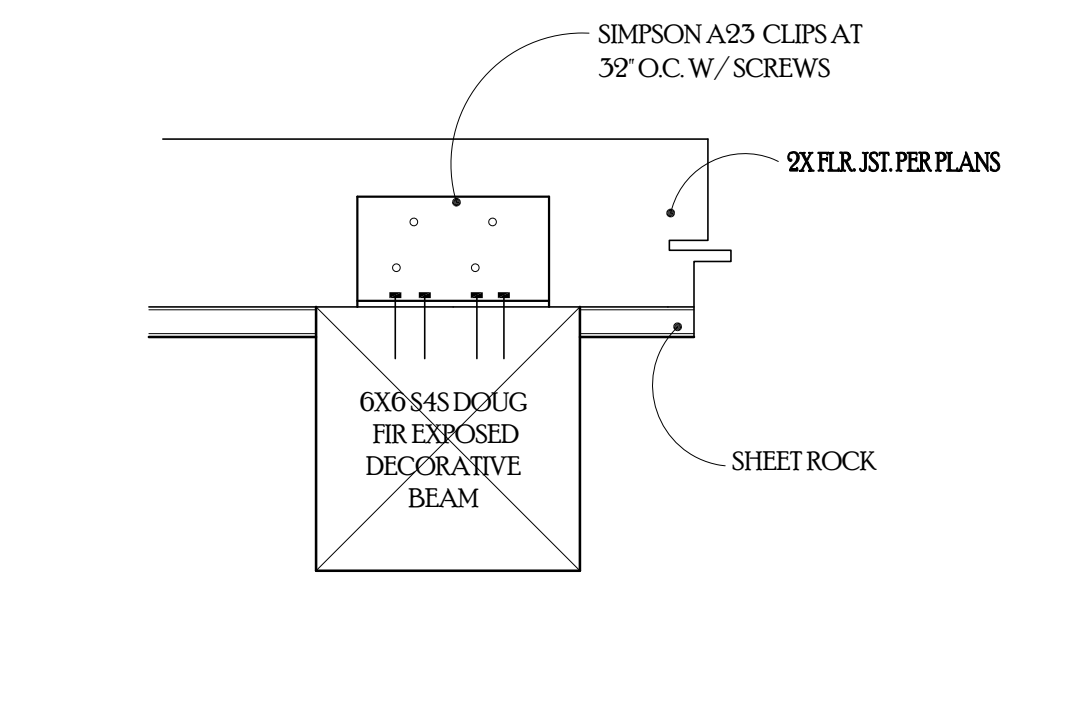
22 WINDOW SILL TO ROOF SCALE=3'-1'-0"



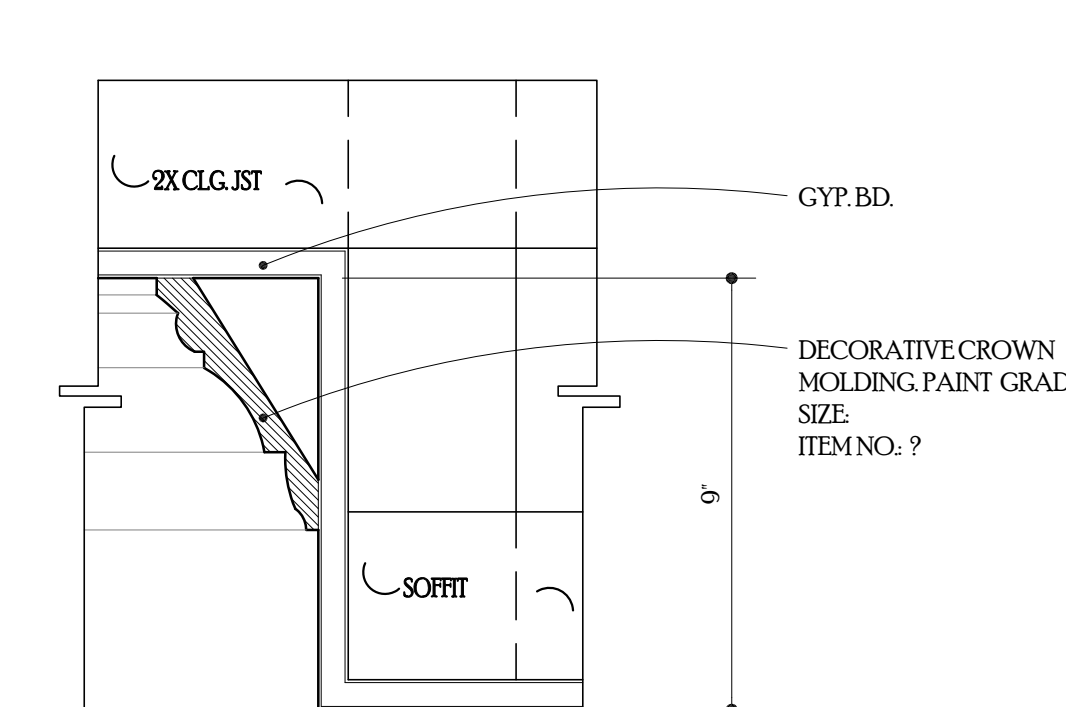
18 STONE AT SILL SCALE=3'-1'-0"



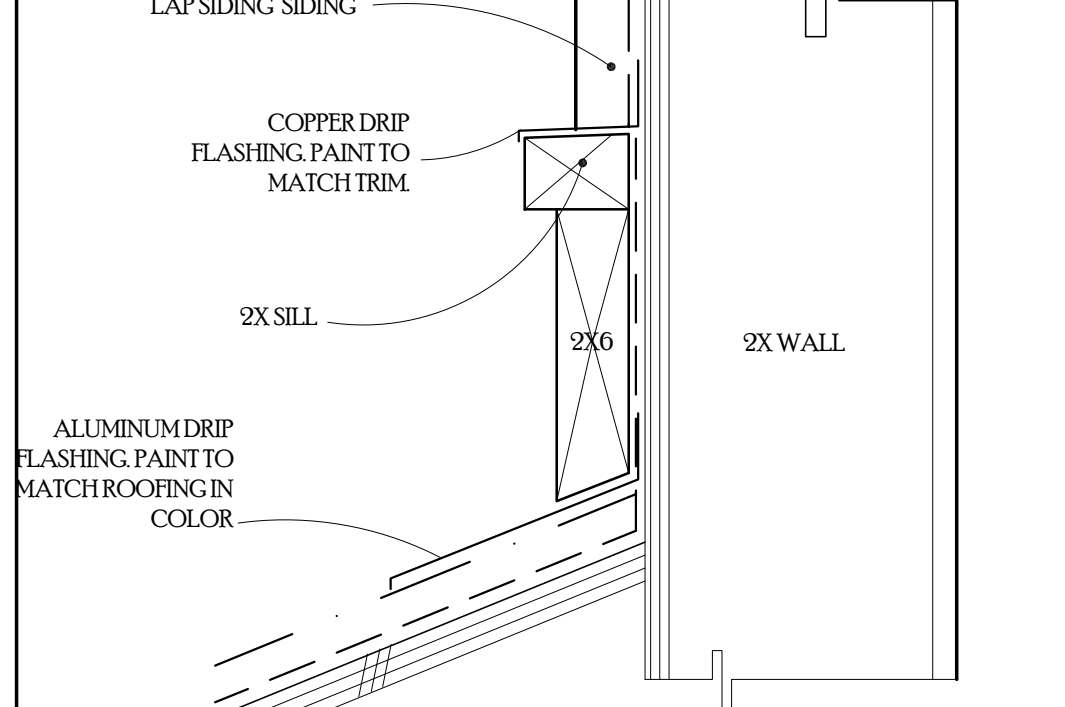
14 DOOR JAMB SCALE=3'-1'-0"



24 BEAM SCALE=3'-1'-0"



21 CROWN MOLDING SCALE=3'-1'-0"



17 WATER TABLE ROOF TO WALL SCALE=3'-1'-0"



13 DOOR SILL SCALE=3'-1'-0"

Geurse Conceptual Designs, Inc.
 405 Baywater Ave.
 Burlingame, California 94010
 tel: 650.703.6197
 email: jgeurse@gmail.com

SIGNATURE BOX
 NAME: JESSE GEURSE
 CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
 NO. 2281L EXPIRATION DATE: 06/30/2026



NO	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

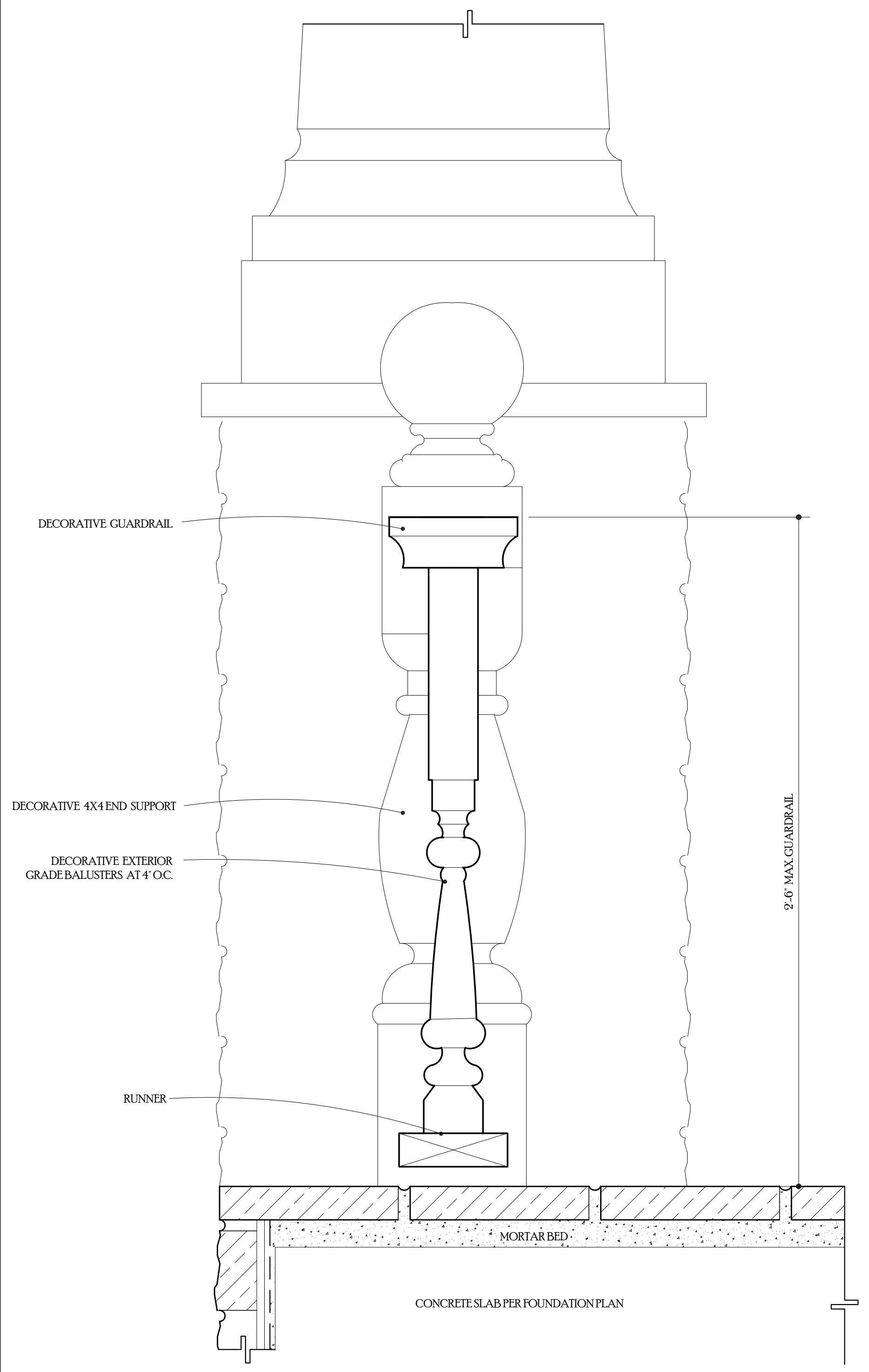
PROJECT NAME:
NEW RESIDENCE + DETACHED ADU / GARAGE
 FOR
 MR. + MRS. WHITMER
 10 STANLEY ROAD
 BURLINGAME, CALIFORNIA 94010

DRAWING TITLE:
DETAILS

DATE: _____	ENGINEER: _____	DRAWING NO: _____
JOB NO: 2601	AART ASSIN	AD.2
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	

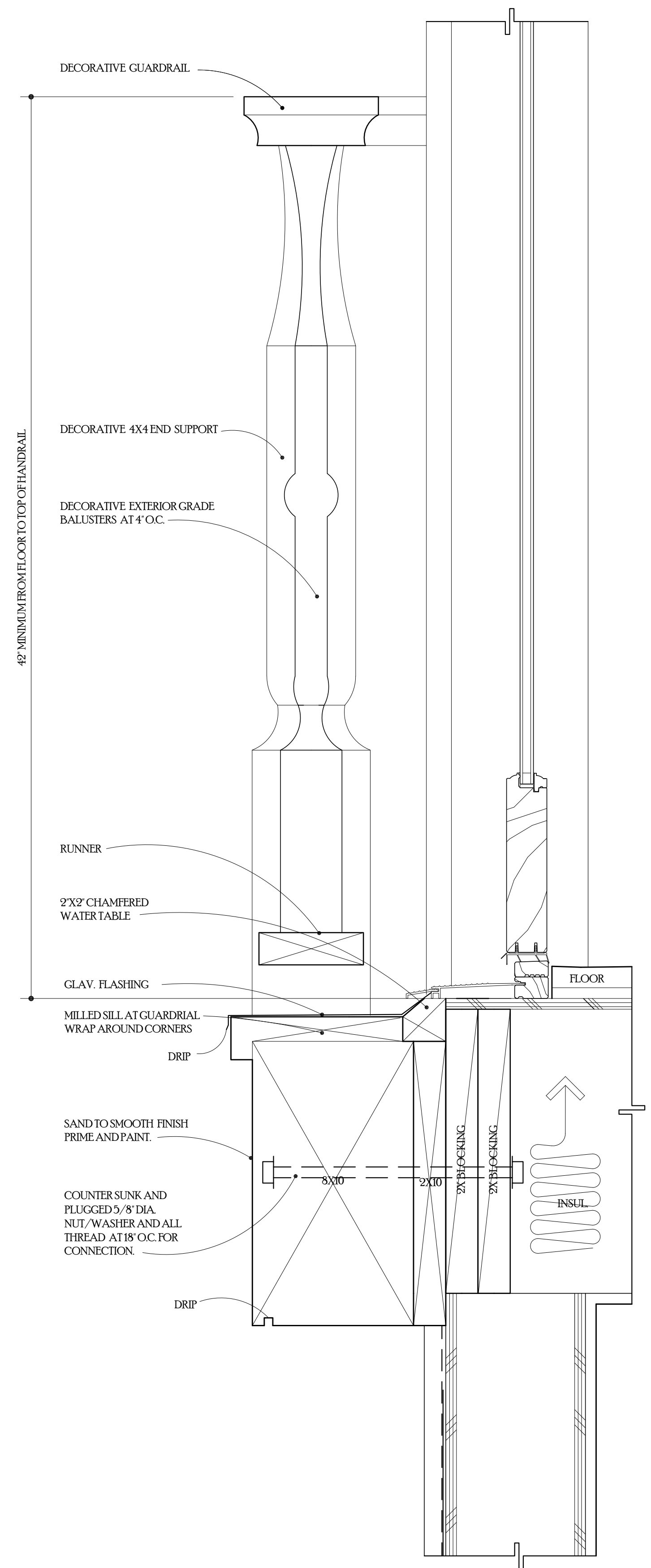
39 NOT USED

SCALE=3'-1'-0"



37 DECORATIVE PORCH GUARDRAIL

SCALE=3'-1'-0"



36 BALCONY GUARDRAIL

SCALE=3'-1'-0"

Geurse Conceptual Designs, Inc.

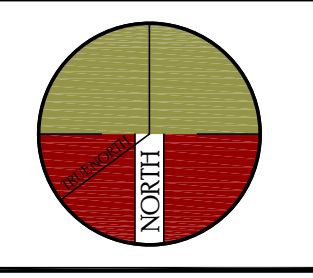
405 Baywater Ave.
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tel: 650.703.6197
email: jgeurse@gmail.com

SIGNATURE BOX
NAME: JESSE GEURSE
CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.
NO. 22811 EXPIRATION DATE 06/30/2026



NO	DATE	BY	DESCRIPTION	CONST.
△	4-7-2026	JFG	PC-1-1ST SUBMITTAL TO PLANNING/DESIGN	
△	2-19-2026	JFG	PC-0-1ST SUBMITTAL TO PLANNING/DESIGN	

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BURLINGAME, CALIFORNIA 94010

DRAWING TITLE
DETAILS

DATE	ENGINEER	DRAWING NO.
JOB NO.	AART ASSINK	AD5
DRAWN BY:	SCALE: AS SHOWN	
REVIEWED BY:	RELEASED TO CONSTRUCTION	

