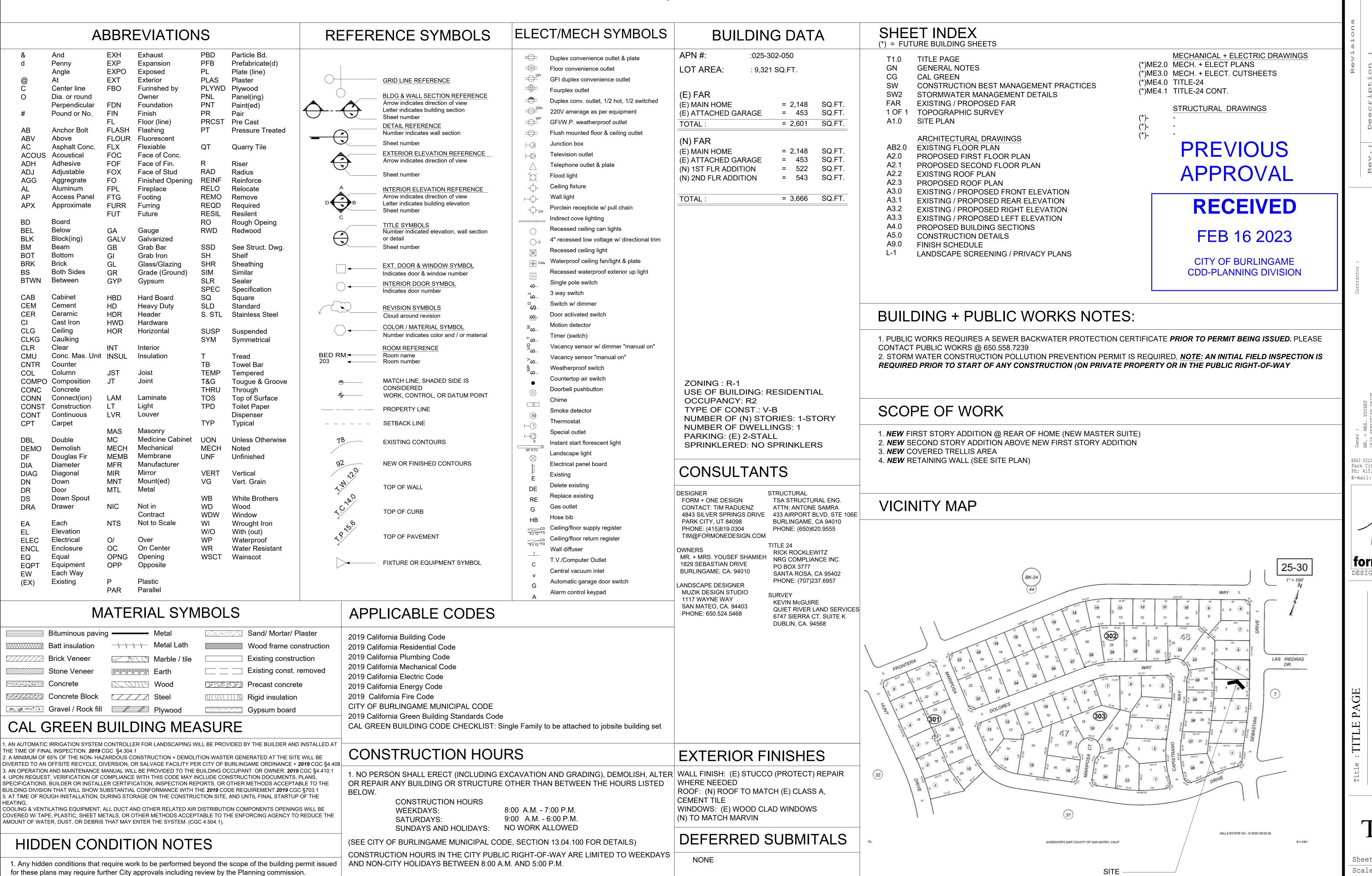
MR. + MRS. YOUSEF SHAMIEH 1829 SEBASTIAN DR. BURLINGAME, CA 94010



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E-mail: TIM@FORMONEDESIGN.COM

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2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION AT CRAWL SPACES AT OR BELOW GRADE, AND OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY

OTHER FOR SPECIFIC INFORMATION. 3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND 3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS INSTALLED ON EACH LEVEL OF A MULTI-STORY NOT TO INTERFERE WITH USEABLE ATTIC STORAGE

4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY

5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.

6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE IN ACCORDANCE WITH APPROVED MANUFACTURER'S REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE

7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE PROVIDED WITH SMOKE DETECTORS LOCATED AS AND SHALL NOT BE OBSTRUCTED.

8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO WIRING WHEN SUCH WIRING IS SERVED FROM A BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE WHEN THE BATTERIES ARE LOW. WIRING SHALL BE UPPER AND LOWER THIRD OF THE UNIT. 9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS, TYPICAL OF

INTERIOR CONDITIONED SPACES. 10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.

12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OUTLETS WITH OWNER PRIOR TO INSTALLATION. OPENINGS INTO THE BUILDING AND BE PROVIDED WITH

BACKDRAFT DAMPERS. 13. AT NEW FORCED AIR FURNACE INSTALLATIONS A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED). BACK AND TOP OF FURNACE.

14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

PLUMBING NOTES: 1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

OWNERS.

3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.

4. NO DISHWASHER MACHINE SHALL BE DIRECTLY WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON NECESSARY TEMPORARY POWER THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR

DRAINBOARD, WHICHEVER IS HIGHER 5. (E) ON-DEMAND SYSTEM, CONFIRM WITH OWNER, RECIPROCATING PUMP AS OPTION.

ELECTRICAL NOTES: 1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES 2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED

OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.)

PROTECTION. DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE DWELLING, INCLUDING BASEMENT LEVELS. IN

SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN 2019 CALIFORNIA MECHANICAL CODE THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS \$1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE

REQUIRED FOR NEW DWELLINGS. IN NEW RECEIVE THEIR PRIMARY POWER FROM THE BUILDING SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION,

REPAIRS, OR ADDITIONS REGULATED AS OUTLINED 4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE 5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.

PROVIDE 3' MIN. WORKING SPACE ALONG EACH SIDE (WITH 6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 PERSONS AND PROPERTY. FEET MEASURED HORIZONTALLY ALONG THE WALL. 7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.

8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN 2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:

A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12" B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9.

10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL

11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED PROTECT ADJACENT SPACES AND EXISTING FINISHES. AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER 2019 CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.

14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES. STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS. **GENERAL NOTES:**

ALL WORK SHALL COMPLY W/ THE 2019 EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING: 2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA ELECTRICAL CODE 2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK. 3.THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH

STANDARDS EXISTS. 4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT. 5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC. 6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.

7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED, (U.O.N.) 8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE

WITHOUT APPROVAL FROM THE DESIGNER 9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR

CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF

10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN. 11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITES, INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITES ARE TO REMAIN **FULLY OPERATIONAL.**

12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE. 13.CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO CONTRACTOR OS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.

14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.

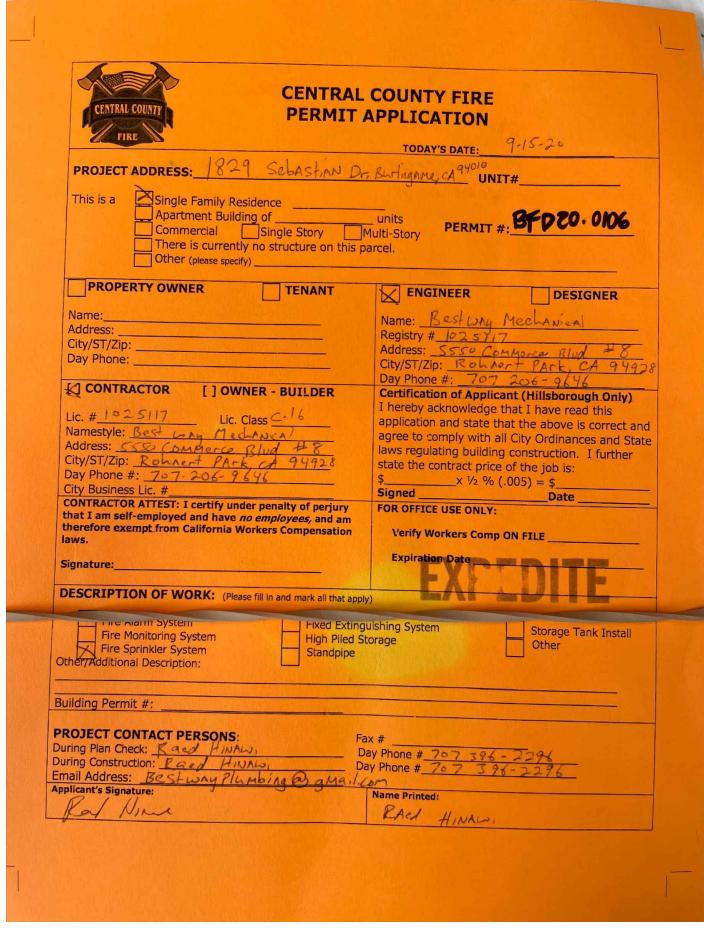
15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL. 16. TOTAL THICKNESS OF NEW WALLS SHALLMATCH THAT OF ADJACENT WALLS. 17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO

MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES 18. ALL WORK SHALL BE SCHEDULED AND PERFORMED

SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR, SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE

19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION. 20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL

21. THE AMERICANS WITH DISABILITIES ART (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY





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4843 SILVER SPRINGS DRIVE

E-mail: TIM@FORMONEDESIGN.COM

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1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2019 CGC §4.304.1

2. A MINIMUM OF 65% OF THE NON- HAZARDOUS CONSTRUCTION AND DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME AND 2019 CGC

3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2019 CGC

§4.410.1 4. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2019 CODE REQUIREMENT. 2019 CGC

5. AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC 4.504.1).

CAL GREEN SITE DEVELOPMENT

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). A BMP PAGE IS SUFFICIENT. **2019** CGC 4.106.2

2. PLANS SHALL INDICIATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. **2019** CGC 4.106.3

3. ELECTRICAL VEHICLE (EV(CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS **2019** CGC 4.106.4

GENERAL NOTES

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5 2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER

3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE

4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC

6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT.

2019 CALIFORNIA GREEN BUILDING CODE RESIDENTIAL CHECKLIST

New residential buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to <u>additions or alterations of existing residential buildings</u> which increase the building's conditioned area, volume, or size. These requirements apply only to the specific area of addition or alteration. 2019 CGC §301.1.1

Permit Number: 22_01

Project Address: 1829 SEBASTIAN DR.

Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.

| Green Building Measure | | |
|--|--|----------------|
| SITE DEVELOPMENT (2019 CGC §4.106) | | |
| Projects that disturb less than less than one acre shall develop and imple storm water drainage DURING CONSTRUCTION . A BMP page is sufficient. | ment a plan to manage 2019 CGC §4.106.2 | SW |
| Plans shall indicate how Grading and Paving will prevent surface water fl buildings. Exception: Projects that do not alter the drainage path. | ows from entering 2019 CGC §4.106.3 | A1.0 |
| Electric Vehicle (EV) Charging, parking spaces: comply with relevant sect | ions. 2019 CGC §4.106.4 | NA |
| ENERGY EFFICIENCY | | |
| (2019 CGC and the 2019 California Building Energy Efficier | ncy Standards) | |
| 2019 Energy Code performance (T-24) compliance documentation 8-1/2" X 11" format, and must be replicated on the plans. | must be provided in 2019 CEC §150.1 (b) | ME4.0/4.1 |
| BUILDING ENVELOPE INSULATION, climate zone 3, Table 150.1-A, a | and B: | A2.0 |
| Below Roof Deck, No Insulation is required. | | Not Required |
| Ceiling Insulation, Minimum R-30 Insulation Required. | | A2.0, #1 |
| Radiant Barrier, Required, per Section 110.8(j) and Reference Resid | dential Appendix RA4. | A2.0, #2 |
| Walls, Above or Below Grade, meet standards in Table 150.1-A, or | B. | A2.0, #3 |
| Floors, Slab perimeter NR, Raised R-19, Concrete Raised U Factor 0.269. | | A2.0, #4 |
| Quality Insulation Installation Inspection (QII) is Required by a third | d party. | A2.0, #5 |
| Hot water piping insulation required: 3/4 inch or larger. 2019 CEG | C §150.0 (j) 2 A i, ii, iii | ME2.0, #36 |
| Lighting: luminaires shall meet the requirements in Table 150.0-A, | 2019 CEC §150.0 (k) | ME2.0, #37 |
| Fenestration Maximum U-factor 0.30. No SHGC requirement. | Table 150.1-A, and B | A2.0, #31 |
| Maximum Total Area, 20%, no maximum for West Facing Area | Table 150.1-A, and B | A2.0, #6 |
| Door Maximum U-factor 0.20. | Table 150.1-A, and B | A2.0, #7 |
| Whole House Fan, none required in climate zone 3. | Table 150.1-A, and B | ME2.0, #20 /N/ |
| PV: new low-rise residential only, per equation 150.1-C, Annual Ph | noto Voltaic Output | A2.0 / A2.2 |

| Green Building Measure | | |
|---|---|--|
| Duct insulation: minimum (R-6) required. 2019 CEC §150.0 (m) 5 | ME2.0, #38 | |
| Duct leakage testing: 5% with air handler. 2019 CEC §150.0 (m) 11 | ME2.0, #39 | |
| Water heating: 120 volt, 20 Amp receptacle < 3 ft., Cat III or IV vent, condensate drain, | | |
| and gas supply line capacity of at least 200,000 Btu / hour. 2019 CEC §150.0 (n) | ME2.0, #41 | |
| Third-party HERS verification for ventilation and indoor air quality. 2019 CEC §150.0 (o) | ME2.0, #42 | |
| Maximum U-factor (0.58) for fenestration and skylights. 2019 CEC §150.0 (q) | A2.0, #24 | |
| INDOOR WATER USE (2019 CGC §4.3) | | |
| The effective flush volume of water closets will not exceed 1.28 gal / flush. 2019 CGC §4.303.1.1 For dual flush toilets average two reduced flushes with one full flush. The effective flush volume of urinals will not exceed 0.125 gal / flush. 2019 CGC §4.303.1.2 Maximum flow rate for showers shall be 1.8 GPM, at 80 psi. 2019 CGC §4.303.1.3 Maximum flow rate for lavatory faucets shall be 1.2 GPM, at 60 psi. 2019 CGC §4.303.1.4.1 Maximum flow rate for kitchen faucets shall be 1.8 GPM, at 60 psi. Can temporarily increase to | A2.0 / NOTE #37 | |
| 2.2 GPM, but must default back to maximum flow rate of 1.8 GPM 2019 CGC §4.303.1.4.4 | | |
| OUTDOOR WATER USE (2019 CGC §4.4) Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWELO) checklist. 2019 CGC §4.304.1 | NA, MAIN HOUSE HAS IT COMP. | |
| ENHANCED DURABILITY AND REDUCED MAINTENANCE (2019 CGC §4.406) | | |
| Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2019 CGC §4.406.1 | ME2.0, #47 | |
| CONSTRUCTION WASTE MANAGEMENT (2019 CGC §4.408) | | |
| Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2019 CGC §4.408 | T1.0, #2 | |
| BUILDING MAINTENANCE AND OPERATION (2019 CGC §4.410) | | |
| An operation and maintenance manual will be provided at final inspection. 2019 CGC §4.410.1 For buildings with more than 4 multi-family units provide for recycling. 2019 CGC §4.410.2 FIREPLACES (2019 CGC §4.503) | T1.0, 33 | |
| Any installed gas fireplaces will be direct-vent, sealed-combustible type. 2019 CGC §4.503.1 | | |
| / | A2.0, #23 + #26 | |
| Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits. | | |
| Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits. POLLUTANT CONTROL (2019 CGC §4.504) | | |
| Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits. POLLUTANT CONTROL (2019 CGC §4.504) At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution components openings will be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2019 CGC §4.504.1 | ME2.0, #48 | |
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| Green Building N | Plan Sheet, And details | |
|---|---|-------------|
| Where resilient flooring is installed, at least 80% of the floomply with the California Green Building Code requirer | A2.0, CG #4 | |
| Hardwood plywood, particleboard, and medium density shall comply with the low formaldehyde emission standa | | A2.0, CG #5 |
| INTERIOR MOISTURE CONTROL (2019 CGC §4.505) | | |
| A capillary break will be installed if a slab on grade foundar | tion system is used. 2019 CGC §4.505.2 | A2.0, #20 |
| Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2019 CGC §4.505.3 | | |
| INDOOR AIR QUALITY AND EXHAUST (2019 CGC §4 | | |
| Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo).2019 CGC §4.506.1 Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2019 CGC §4.506.1 | | |
| ENVIRONMENTAL COMFORT (2019 CGC §4.507) | | |
| The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2019 CGC §4.507 | | |
| INSTALLER AND SPECIAL INSPECTOR QUALIFICATION | | |
| HVAC system installers will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certification program. 2019 CGC §702.1 | | ME2.0, #52 |
| When required by the enforcing agency, shall employed | ME2.0, #50 | |
| VERIFICATION (2019 CGC §703) | | |
| Upon request, verification of compliance with this code mass specifications, builder or installer certification, inspection the Building Division that will show substantial conforma. | reports, or other methods acceptable to | T1.0,#4 |
| Responsible Designer's Declaration Statement | Contractor's Declaration Statement | |
| | | |

I hereby certify, as the builder or installer, under permit

listed herein, that this project will be constructed to meet the requirements of the 2019 Green Building Code.

City/State/Zip Code

Date:

I hereby certify that this project has been designed to

meet the requirements of the 2019 Green Building

Name: TIM RADUENZ - FORM+ONE

Address: 4843 SILVER SPRINGS DRIVE

City/State/Zip Code PARK CITY, UT 84098

Date: 01.19.23

4843 SILVER SPRINGS DRIVE E-mail: TIM@FORMONEDESIGN.COM



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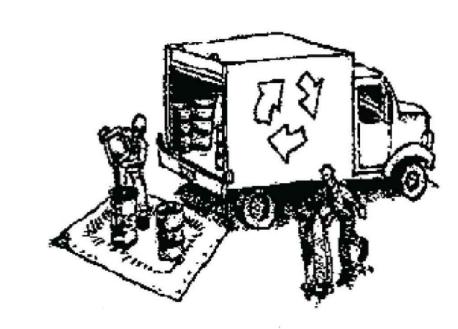
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



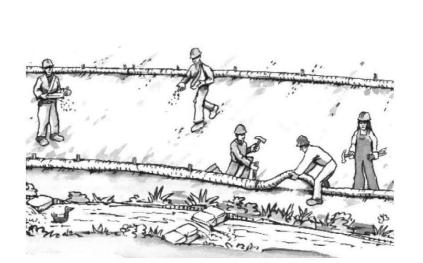
Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite. clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

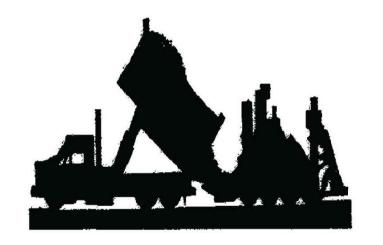


- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

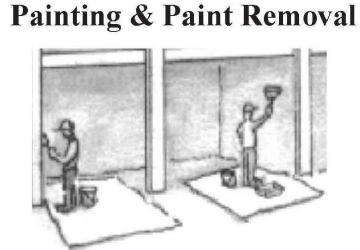
Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

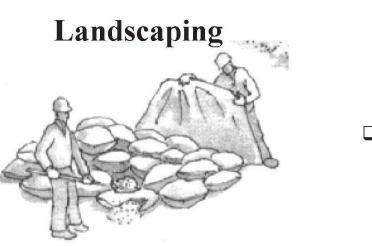
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.

drain onto a bermed surface to be pumped



☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.

Concrete, Grout & Mortar

Application

☐ Store concrete, grout, and mortar away

☐ Wash out concrete equipment/trucks

offsite or in a designated washout

that will prevent leaching into the

☐ When washing exposed aggregate,

and disposed of properly.

area, where the water will flow into a

temporary waste pit, and in a manner

underlying soil or onto surrounding areas.

Let concrete harden and dispose of as

prevent washwater from entering storm

gutters, hose washwater onto dirt areas, or

drains. Block any inlets and vacuum

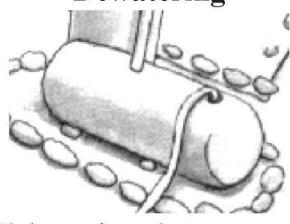
rain, runoff, and wind.

from storm drains or waterways, and on

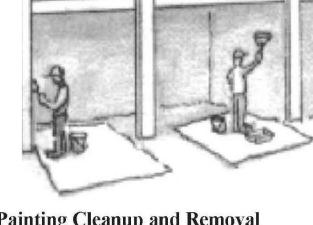
pallets under cover to protect them from

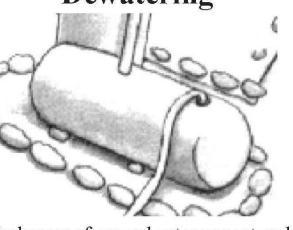
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal





- ☐ Divert run-on water from offsite away
- before discharging water to a street gutter

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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E-mail: TIM@FORMONEDESIGN.COM

DRYWELL (RECOMMENDED DETAIL)

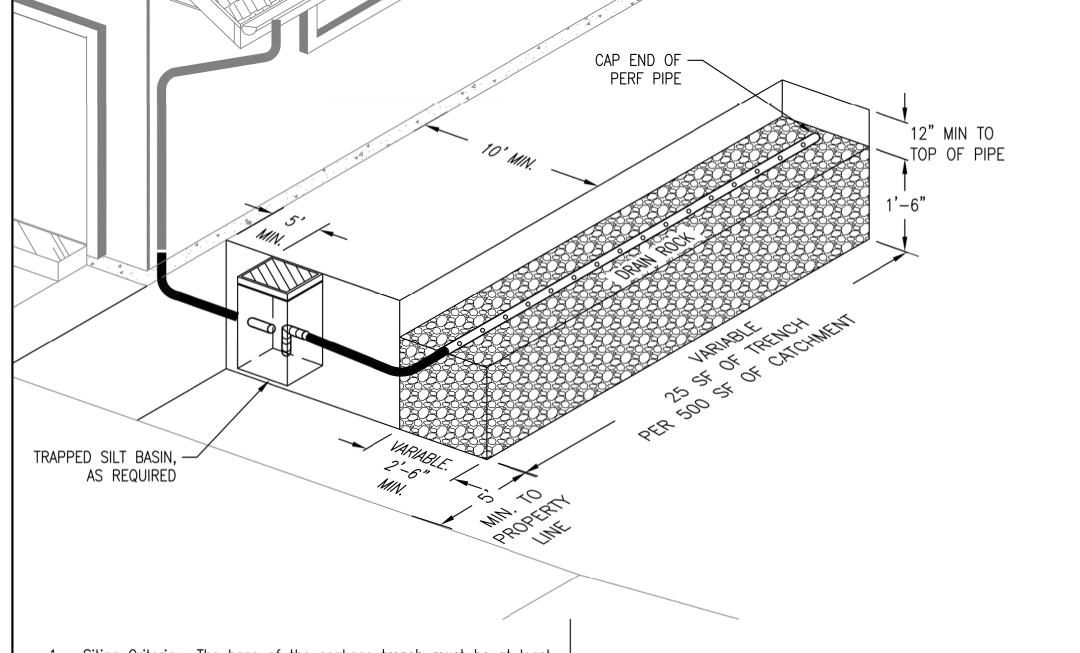
- 1. Sizing: See adjacent table to size the drywell(s) based on
- 2. Siting Criteria: The base of the drywell must be at least 5' above seasonal high groundwater.
- Setbacks: Measured from the center, the drywell must be 10' from foundations and 5' from property lines except next to the right-of-way where no setback is required between the edge of the drywell drain rock and the property line. The foundation setback is 8" for plastic mini—drywells.
- 4. Piping: Conform with Oregon Plumbing Specialty Code (OPSC) requirements.
- 5. Access: In residential settings, an access cleanout is optional but highly recommended.
- 6. Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for drywells managing roof runoff and runoff from pedestrian—only areas.
- 7. The top of the perforated drywell sections must be lower than neighboring foundations.
- 8. Inspections: Call BDS IVR inspection line, (503) 823-7000. Request 487.3 inspections required.

| Drywell Depth | Maximum Catchment Area Managed | | |
|-------------------|--------------------------------|--------------|--|
| Drywen beptil | by One Drywell | | |
| | 28" diameter | 48" diameter | |
| 5′ | 1000 sf | 2500 sf | |
| 10' | 2500 sf | 4500 sf | |
| 15' | 3500 sf | 5000 sf | |
| | | | |
| 2x2 plastic mini- | | | |
| drywell (maximum | 500 sf | | |
| of 2 drywells per | | | |

CONSTRUCTION REQUIREMENTS

catchment)

Smearing the soil surface during excavation can limit infiltration rates. If smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.



1. Siting Criteria: The base of the soakage trench must be at least 5' above seasonal high groundwater.

2. Sizing: 1'-6" tall, 2'-6" wide minimum. 25 square feet of trench per 500 square feet of catchment area.

Setbacks: Measured from the edge, the soakage trench must be 10' from foundations and 5' from property lines, except next to the right-of-way.

4. Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for soakage trenches managing roof runoff and runoff from pedestrian—only areas.

5. Piping: Conform with Oregon Plumbing Specialty Code (OPSC) requirements.

6. The top of the soakage trench must be lower than foundations, including basements within 10 feet of the soakage trench.

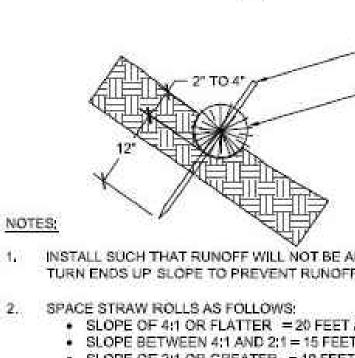
7. Inspections: Call BDS IVR inspection line, (503) 823-7000. Request 487.3 inspections required.

SECTION FILTER FABRIC TO BE -PLACED ON SIDES AND ENDS. FOLD OVER AND COVER PERF PIPE AND DRAIN ROCK. 12" MIN. GREEN TRACER LINE ON PIPE WASHED DRAIN ROCK

CONSTRUCTION REQUIREMENTS

The outline of the facility must be clearly marked before site work begins to avoid soil disturbance. Use of heavy equipment should be minimized within 10 feet of soakage trench areas. The bottom of the soakage trench and the perforated pipe must be level. Clay check dams may be used to prevent water from collecting near the downstream end. Smearing the soil surface during excavation can potentially limit infiltration rates; if smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.

LINE TRENCH SIDES WITH PERMEABLE FILTER FABRIC AS SHOWN, ADD 18" OF DRAIN ROCK. PLACE PERF. PIPE AND COVER ALL.



 INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.

VERTICAL SPACING PER NOTE 2

- . SLOPE OF 4:1 OR FLATTER = 20 FEET APART SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
- SLOPE OF 2:1 OR GREATER = 10 FEET APART
- 3. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY, REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
- 4. IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

SOAKAGE TRENCH

Scale: N.A. SW2

STRAW ROLL DETAIL

Scale: N.A. SW2

INSTALL STRAW ROLLS IN A

IF MORE THAN ONE STRAW

SEDIMENT AND ORGANIC

MATTER ARE CAPTURED

USE P BY Y WOOD STAKES

DIAMETER MIN, SHALL BE

USED AT TOE OF SLOPES

GREATER THAN 5:1)

BEHIND THE ROLLS

MINIMUM 24" LONG 6" DIAMETER MIN. (20"

ROLL LENGTH IS NEEDED IN A ROW, THE ROLLS SHALL BE OVERLAPPED, NOT ABUTTED

ON LEVEL CONTOURS

SW2

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Management Details

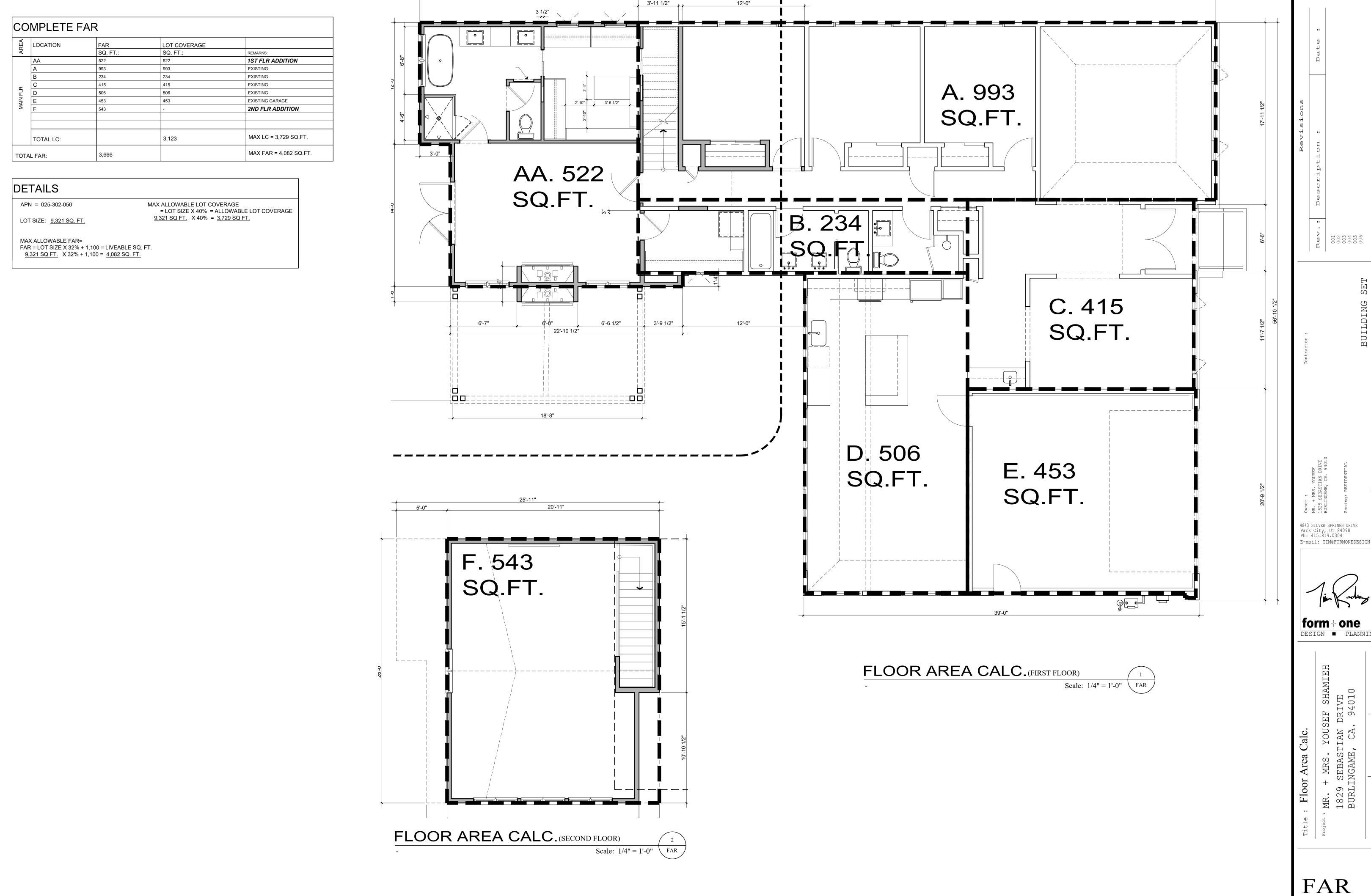
Stormwater

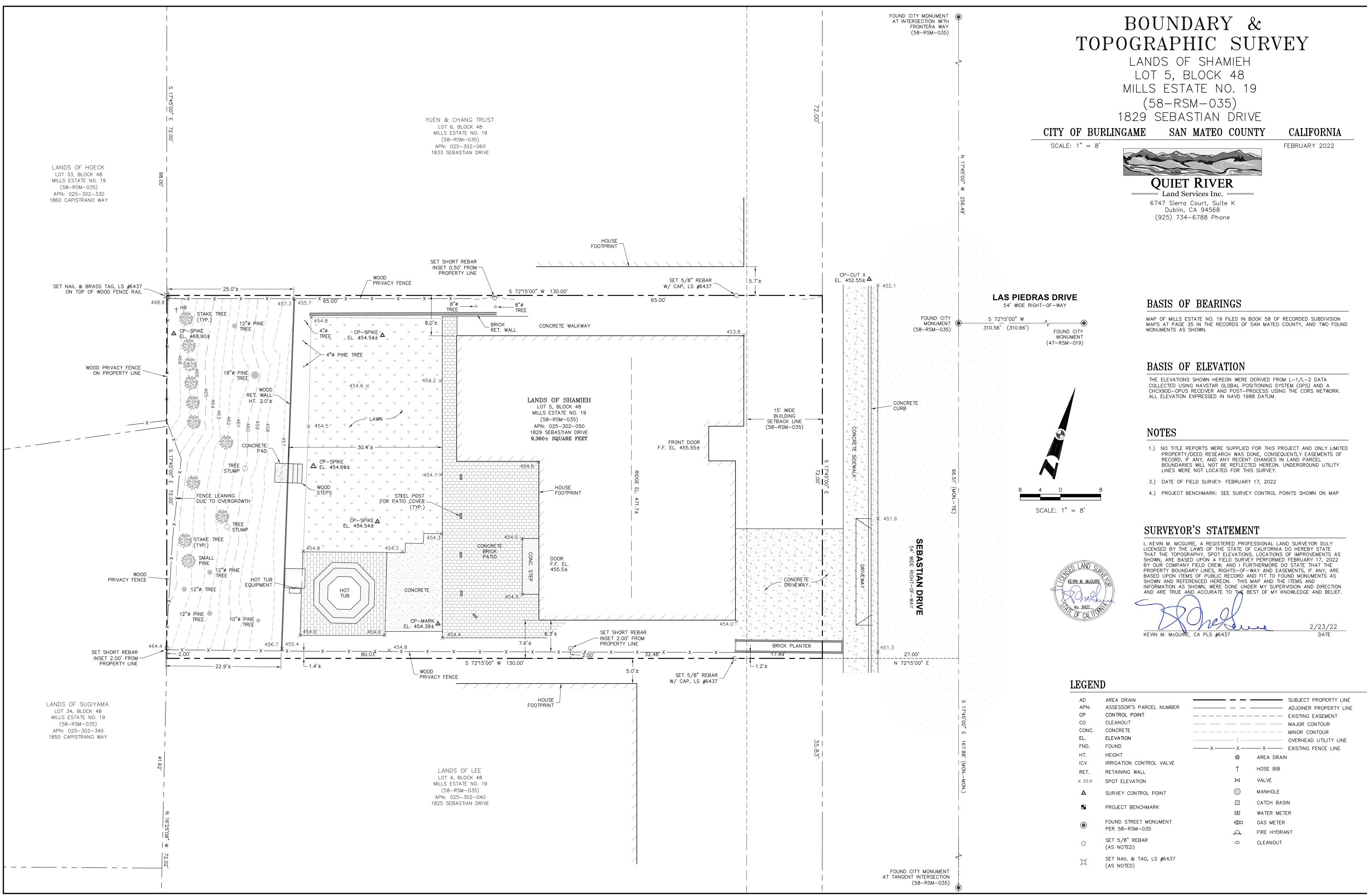
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DRJ 9,

E-mail: TIM@FORMONEDESIGN.COM





GENERAL NOTES & SCOPE

. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION. CONSULT ARBORIST AS REQUIRED. 2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE

MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT. 3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS. 4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM

WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3 5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS 6. CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE ARE TO BE REPLACED. 7. ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS ARE TO BE REPLACED WITH NEW 4" LATERAL. EXISTING WATER LINE CONNECTIONS TO CITY WATER MAINS ARE TO BE REPLACED. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT MAIN PER CITY REQUIREMENTS.

B. NO PERMANENT STRUCTURES ARE EXISTING / PROPOSED BEYOND THE PROPERTY LINE NOR INTO THE PUBLIC RIGHT-OF-WAY.

. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A

SUFFICIENT.

2. PLANS SHALL INDICIATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER

FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE

3. ELECTRICAL VEHICLE (EV(CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS

PUBLIC WORKS NOTES

. A REMOVE/REPLACE UTILITES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ILL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE O BE INSTALLED PER =CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND THER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL

STORMWATER CHECKLIST

IRRIGATION OR OTHER NON-POTABLE USE.

2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED

3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO

5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION. 5. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND

DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS,

(A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION 13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER

14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN

(E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)

MATS, COVERS FOR SOIL STOCK PILES, ETC.

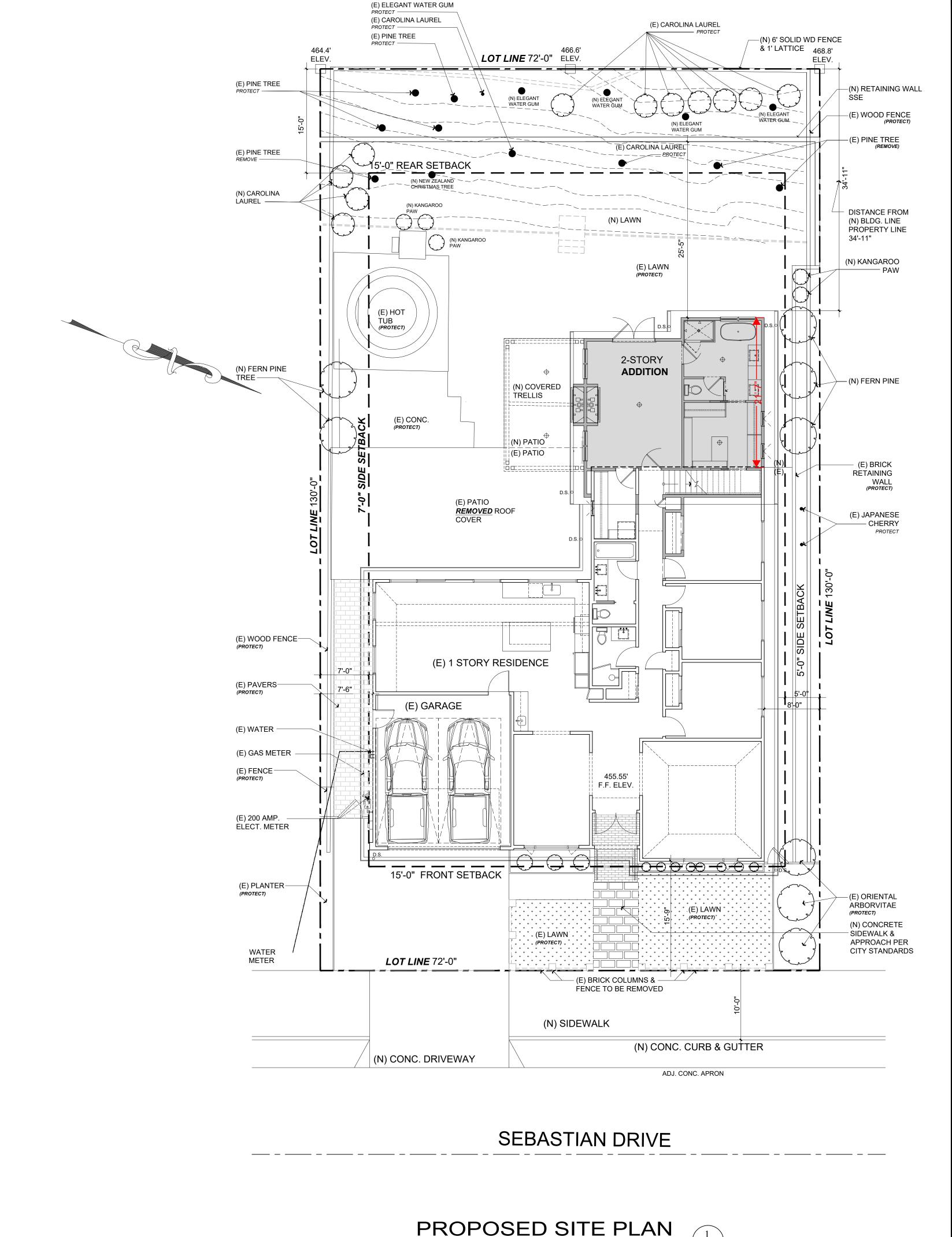
AROUND THE SITE (E.G SWALES AND DIKES)

DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE 19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.

20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A

PRODUCTS,CHEMICALS,WASHWATEROR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS

AND WATERCOURSES.



Scale: 1/8= 1'-0"

Site

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E-mail: TIM@FORMONEDESIGN.COM

Park City, UT 84098 Ph: 415.819.0304

Sheet Scale:

See Details

CAL GREEN SITE DEVELOPMENT

PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). A BMP PAGE IS

2019 CGC 4.106.2

DRAINAGE

PATH. **2019** CGC 4.106.3

2019 CGC 4.106.4

ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF

. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR

VEGETATED AREAS. I. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.

MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY. 7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR

EQUIVALENT. 8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C)

MINIMIZE USE OF PESTICIDES AND QUICK -RELEASE FERTILIZERS. 9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.

10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.

EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES. 12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING:

DEWATERING AND OBTAIN ALL NECESSARY PERMITS. 15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS

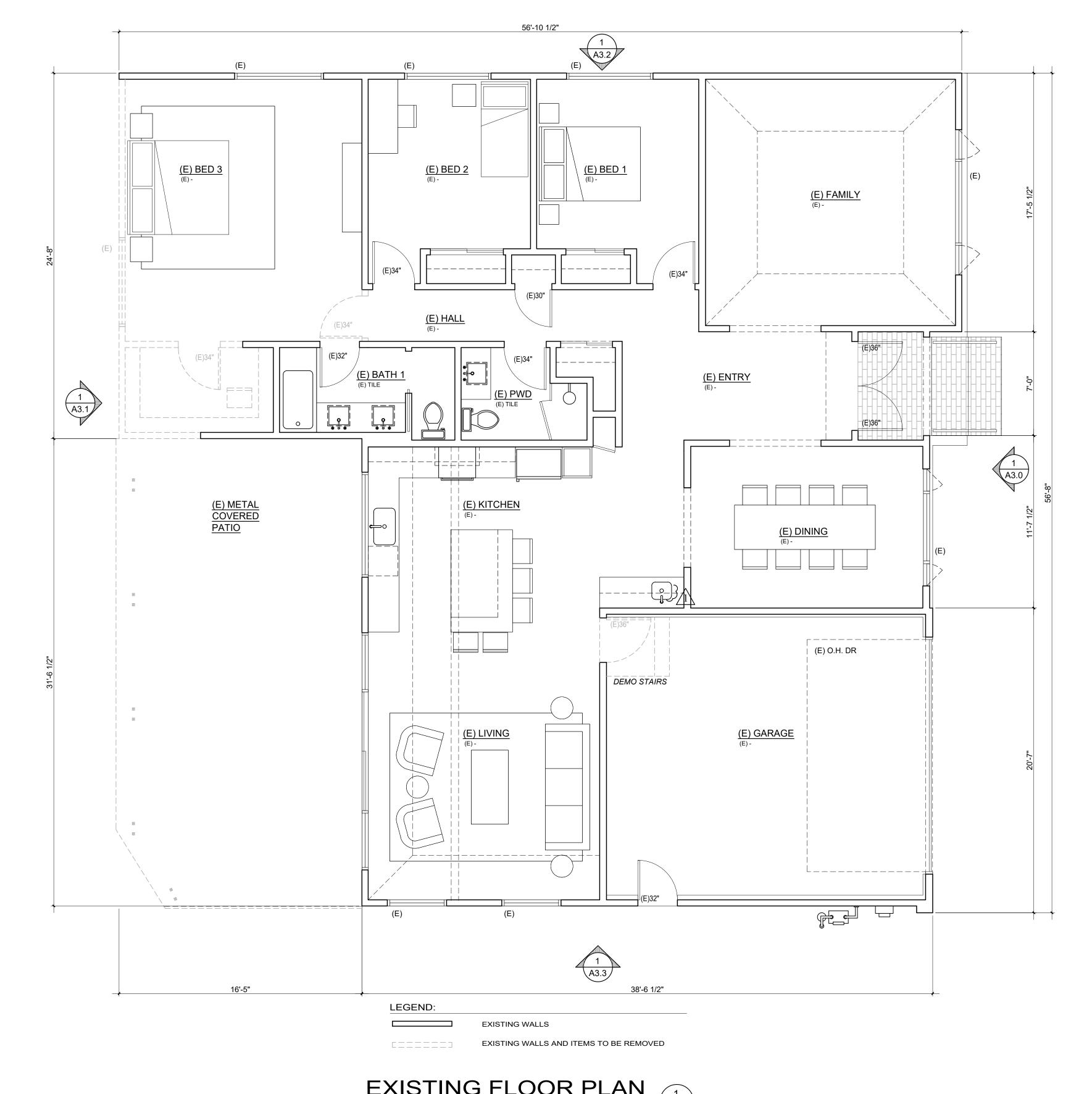
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE

17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-STE RUNOFF

18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS,

DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED. 21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.

22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES, PAINTS, CONCRETE, PETROLEUM



EXISTING FLOOR PLAN

Scale: 1/4 = 1'-0"

AB2.0

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TOILETS AVERAGE TWO REDUCED FLUSHES WITH ONE FULL FLUSH

- MAX. FLOW RATE FOR SHOWERS SHALL BE 1.8 GPM, @ 80 PSI (2019

- MAX. FLOW RATE FOR LAVATORY FAUCETS SHALL BE 1.2 GPM, @ 60

- MAX. FLOW RATE FOR KITCHEN FAUCETS SHALL BE 1.8 GPM, @ 60 PSI, CAN TEMPORARILY INCREASE TO 2.2 GPM, BUT MUST DEFAULT BACK TO MAX. FLOW RATE OF 1.8 GPM (2019 CGC 4.303.1.4.4).

GAL/FLUSH (**2019** CGC - 4.303.1.2

PSI (**2019** CGC 4.303.1.4.1)

- THE EFFECTIVE FLUSH VOLUME OF URINALS WILL NOT EXCEED 0.125

FIRE RATING NOTES:

CRC TABLE R302.1(1) OR 2019 CBC, TABLE 602.

2019 CRC TABLE R302.1 OR 2019 CBC TABLE 705.2

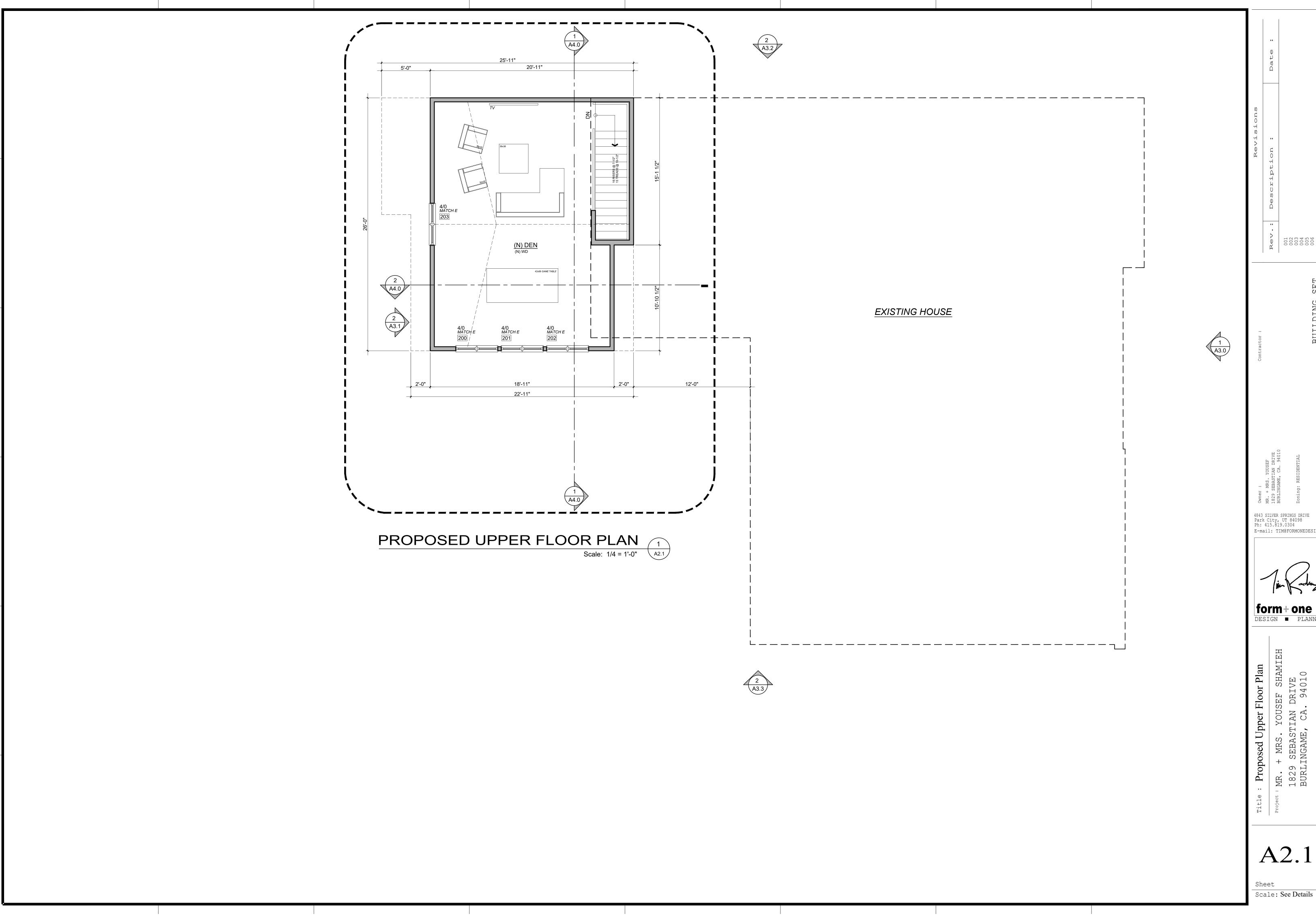
1. EXTERIOR BEARING WALLS LESS THAN 5' FEET FROM THE PROPERTY

LINE WILL BE BUILT OF ONE-HOUR FIRE RATED CONSTRUCTION, 2019

2. ROOF EAVES WILL NOT PROJECT WITHIN 2' FT. OF PROPERTY LINE

RELATED CODE REQUIREMENTS: (EGRESS) 1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA 2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20" 3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" RELATED CODE REQUIREMENTS: (BATHS) (CONT.): - SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE, THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT 56'-10 1/2' ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, **ADDITION** MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1 PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING. (E) EGRESS RELATED CODE REQUIREMENTS: (BATHS) (CONT.): - SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" A/ THE DRAIN INLET W/ MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER & IS NOT ALLOWED ON CLGS. CEMENT BOARD WITH A MOISTURE BARRIER & CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" (N) WD / (E) SAVE AS MUCH ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE (E) BED 2 REQUIRED IN ALL BEDROOMS, ADJOINING HALL, & AT EACH LEVEL PER NO WORK RELATED CODE REQUIREMENTS: (BATHS)(CONT.) (E) FAMILY ELECTRICAL: - IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED. - A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM. - LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT 3'-0" SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN (E)34" BASE FLUORESCENT WITH ELECTRONIC BALLAST. MECHANICAL - A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND (N) (E) FLOOR BE INSPECTED UNDER TEST PRIOR TO COVERING. GENERAL NOTES: 1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5 (E)34" 2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF (N) M. CLT.-2 ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6 (E) ENTRY 3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE 4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC 6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER 7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP. 8. SUB- PANEL ELECT., VERIFY LOCATION. 10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED) 13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE 22'-10 1/2" NO WORK QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2019 CPC 609.10. 14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE COVERED LOGGIA, PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER SET UP FOR GAS OR ELECT. HEAT @ 15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" (N) COVERED CEILING MAX. FOR OUTSWING DOORS. <u>LOGGIA</u> 16. (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE 17. (N) ELECTRICAL METER LOCATION 18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT —(R) DOOR TO SWING ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND INTO HOUSE FOR CAR NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. -6x6 OR PER 2019 CRC R311.3 CLEARANCE (E) O.H. DR 8x8 POSTS 19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4. 20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . 2019 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3 21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE NO WORK CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2019 CGC §4.505.3 23. ANY GAS FIREPLACE WILL BE DIRECT-VENT SEALED-COMBUSTIBLE POLLUTANT CONTROL **EGRESS NOTES:** TYPE 2019 CGC §4.503.1 1. AT LEAST (1) WINDOW OR DOOR THAT COMPLIES 24. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION AND WITH EGRESS REQUIREMENTS, 2019 CRC R310, OR SKYLIGHTS §150.0B 1. PAINTS + COATINGS WILL COMPLY WITH VOC CBC 1030 25. WALLS WITH 2X6 AND LARGER FRAMING REQUIRE R-19 INSULATION§150.0(C)2 LIMITS PER **2019** CGC §4.504.2.2 26. ANY WOOD STOVE OR PELLET STOVE WILL COMPLY WITH US EPA 2. DOCUMENTATION PROVIDED THAT VERIFIES ADDRESS NUMBERING POLICY: PHASE II EMISSION LIMITS 2019 CGC §4.503.1 COMPLIANCE WITH VOC FINISH MATERIALS. 2019 27. PLUMBING CONTRACTOR WILL PROVIDE THE CITY BUILDING 1. NUMBERS + ADDRESSES SHALL BE PLACED ON ALL CGC §4.504.2.4 INSPECTOR A SINGLE LINE DRAWING OF THE EXISTING AND NEW GAS L----3. CARPET SYSTEM INSTALLED IN THE BUILDING LINES AND INDICATE THE DISTANCE FROM THE METER TO EACH GAS + EXISTING BUILDINGS IN SUCH A POSITION AS TO BE INTERIOR WILL MEET THE TESTING + PRODUCT FIRED APPLIANCE PRIOR TO INSTALLATION. INCLUDE THE SIZE OF THE L_______ REQUIREMENTS FOUND IN THE **2019** CALIFORNIA GAS PIPE TO EACH APPLIANCE AND BTU RATING OF EACH APPLIANCE. VISIBLE + LEGIBLE FRONT THE STREET OR ROAD GREEN BUILDING CODE. **2019** CGC §4.504.3 GAS PIP SIZING WILL BE SIZED PER TABLE 1216.2(1) IN THE 2019 CPC. FRONTING THE PROPERTY. SAID NUMBERS SHALL 4. WHERE RESILIENT FLOORING IS INSTALLED, AT NOTE: ANY INSTALLATION OF NEW GAS PIPING PRIOR TO PLAN CHECK CONTRAST W. THEIR BACKGROUND, SHALL BE A APPROVAL IS AT THE RISK OF THE CONTRACTORS RISK. LEAST 80% OF THE FLOOR AREA RECEIVING MINIMUM OF ONE-HALF INCH STROKE BY FOUR INCHES 28. HOT WATER PIPING INSULATION §150.0 (j)2 A ii HIGH, AND SHALL BE EITHER INTERNALLY OR RESILIENT FLOORING WILL COMPLY WITH THE 29. LIGHTING - NEW MANDATORY REQUIREMENTS FOR INDOOR EXTERNALLY ILLUMINATED IN ALL NEW CALIFORNIA GREEN BUILDING CODE CONSTRUCTION, ALTERATIONS OR REPAIR OF ROOMS §150.0 (K) REQUIREMENTS. 2019 CGC §4.504.4 30. RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.0 (C) 2 EXISTING CONSTRUCTION. THE POWER OF SUCH 5. HARDWOOD PLYWOOD, PARTICLEBOARD, + ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE. 31. REDUCE U-FACTOR (0.30) AND SHGC (0.20) FOR HIGH MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD CITY OF BURLINGAME MUNICAPAL CODE 18.08.010. PERFORMANCE WINDOWS §150.1 (C) 3 A PRODUCTS USED ON THE INTERIOR AND CBC 2019 CBC 502.1 32. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT EXTERIOR OF THE BUILDING WILL COMPLY WITH SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY THE LOW FORMALDEHYDE EMISSION STANDARDS. MANAGEMENT DISTRICT STANDARDS 2019 §4.504.2.1 PROPOSED FLOOR PLAN
Scale: 1/4 = 1'-0"
A2.0 33. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS **2019** CGC §4.504.5 OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALL 6. AEROSOL PAINTS + COATINGS SHALL MEET THE WILL BE RODENT-PROOFED BY CLOSING SUCH OPENINGS WITH PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND CEMENT MORTAR, CONCRETE, MASONRY OR SIMILAR METHOD COMPLY W/ PERCENT VOC BY WEIGHT OF ACCEPTABLE TO THE ENFORCING AGENCY. 2019 CGC § 4.406.1 PRODUCT LIMITS, REGULATION 8, RULE 49. PER 34. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY **2019** CGC 4.504.2.3 LINE WHERE SETBACK IS 4' PER 2019 CRC § TABLE R302.1 (1) OR 2019 7. ADHESIVES, SEALANTS, + CAULKS USED ON THE CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE POLLUTION OR AIR QUALITY MANAGEMENT REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE-STANDARDS **2019** CGC §4.504.2.1 RATED CONSTRUCTION PER 2019 CRC § R302.1 (1) OR 2019 CBC § 35. EXTERIOR BEARING WALLS LESS THAN 5' FROM THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE-RATED CONSTRUCTION. 2019 1. REDUCED *U-FACTOR* (0.30) FOR HIGH PERFORMANCE WINDOWS 2019 CAL CRC TABLE R302.1 (1) § OR 2019 CBC, TABLE 602. ENERGY CODE §150.1 (C)3 A 36. REQUIRED: NON-COMPLIANT PLUMBING FIXTURES TO BE 2. PROVIDE LIGHTING AT ALL EXT. LANDINGS PER 2019 CRC 303.8 OR 2019 CBC REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A 1008.2 AND 2019 CBC 1205.4 PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. 3. ALL ROOMS TO MEET NATURAL LIGHTING + VENTILATION REQUIREMENTS 37. PLUMBING - INDOOR WATER USE: -THE EFFECTIVE FLUSH VOLUME OF WATER CLOSETS WILL NOT WILL MEET **2019 CRC R303** EXCEED **1.28 GAL/FLUSH** (**2019** CGC - 4.303.1.1) FOR DUAL FLUSH

4843 SILVER SPRINGS DRIVE Park City, UT 84098 Ph: 415.819.0304 E-mail: TIM@FORMONEDESIGN.COM torm+ one DESIGN ■ PLANNING 田田田 SHAMI DR. റെ പ MR. 1829 BUR

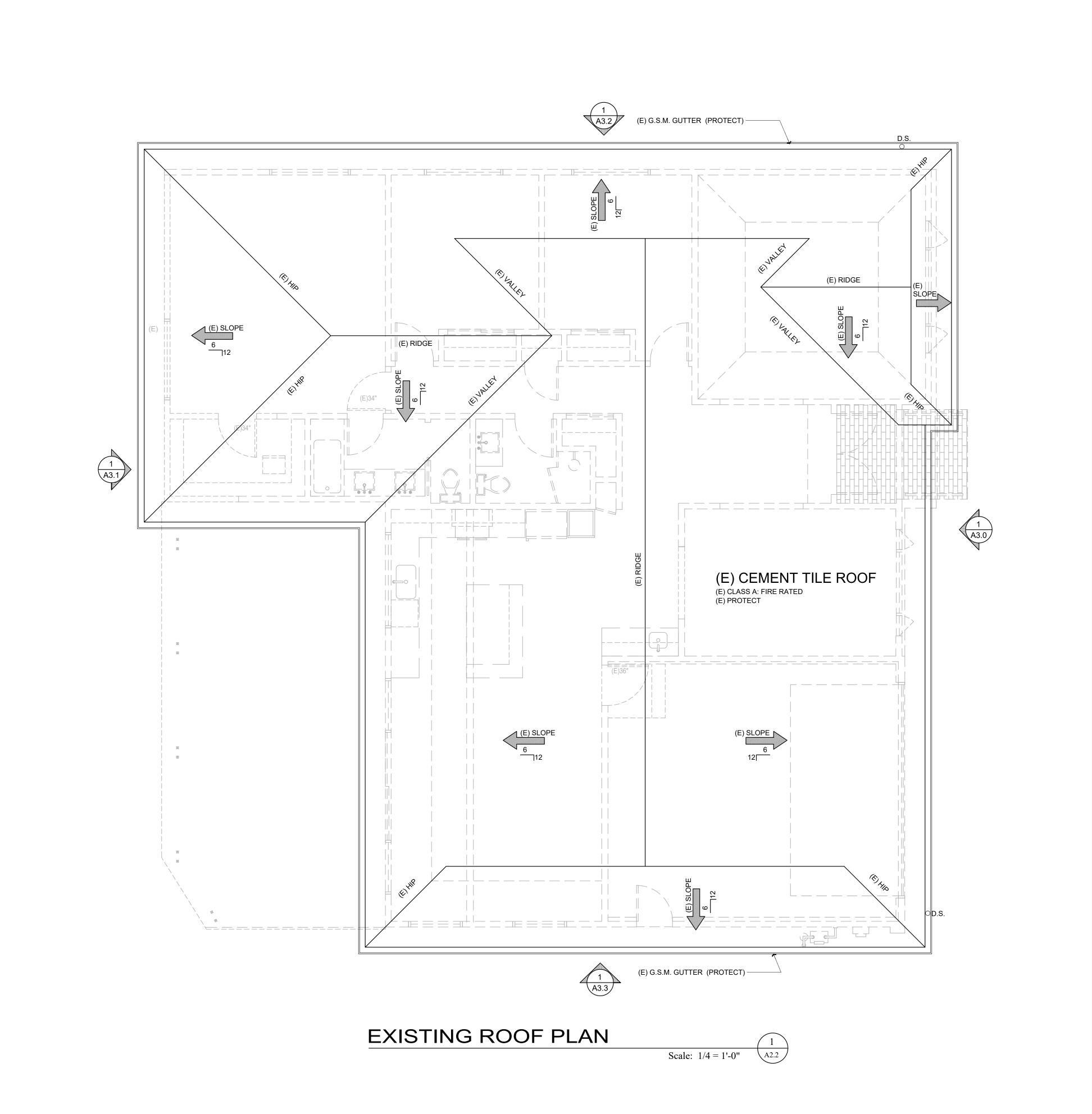


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form + one

DESIGN PLANNING



Revisions

Rev.: Description: Date:

001
002
003
004
006
006

BUILDING SET

BURLINGAME, CA. 94010

Zoning: RESIDENTIAL

APN#: 025-302-0

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM



ob No.: 22_01 | Drawn: TIM RADUENZ | Date: 01.19.23

A2.2

Sheet

Existing Roof Plan

5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD)
TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24"
CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28
GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22"
WIDE, THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL
SHOWER COMPARTMENTS, REGARDLESS OF SHAPE,
MUST BE CAPABLE OF ENCOMPASSING A 30" CIPCLE. LOR FORMED SHOWER

SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE $\frac{1}{4}$ " PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" A/ THE DRAIN INLET W/ MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER & IS NOT ALLOWED ON CLGS.

CEMENT BOARD WITH A MOISTURE BARRIER & CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, & AT EACH LEVEL PER THE BUILDING CODE. RELATED CODE REQUIREMENTS: (BATHS)(CONT.)

RELATED CODE REQUIREMENTS: (BA

- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.

- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN

BASE FLUORESCENT WITH ELECTRONIC BALLAST.

MECHANICAL:

- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.

BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5

OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF
ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE

WASHER & DISHWASHER, ETC., PER CPC
5.NA
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE
BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE
RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT.

504.
7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
8. SUB- PANEL ELECT., VERIFY LOCATION.

10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)

11. NA

13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2019 CPC 609.10.

14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC

15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.

16. (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.

18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER 2019 CRC R311.3

19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.

20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . 2019 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3

21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2019 CGC §4.505.3

23. ANY GAS FIREPLACE WILL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE 2019 CGC §4.503.1

24. NEW MANDATORY LIFACTOR (0.58) FOR FENESTRATION AND

24. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION AND SKYLIGHTS §150.0B
25. WALLS WITH 2X6 AND LARGER FRAMING REQUIRE R-19

INSULATION§150.0(C)2
26. ANY WOOD STOVE OR PELLET STOVE WILL COMPLY WITH US EPA

PHASE II EMISSION LIMITS 2019 CGC §4.503.1
27. PLUMBING CONTRACTOR WILL PROVIDE THE CITY BUILDING
INSPECTOR A SINGLE LINE DRAWING OF THE EXISTING AND NEW GAS
LINES AND INDICATE THE DISTANCE FROM THE METER TO EACH GAS
FIRED APPLIANCE PRIOR TO INSTALLATION. INCLUDE THE SIZE OF THE
GAS PIPE TO EACH APPLIANCE AND BTU RATING OF EACH APPLIANCE.
GAS PIP SIZING WILL BE SIZED PER TABLE 1216.2(1) IN THE 2019 CPC.
NOTE: ANY INSTALLATION OF NEW GAS PIPING PRIOR TO PLAN CHECK
APPROVAL IS AT THE RISK OF THE CONTRACTORS RISK.
28. HOT WATER PIPING INSULATION §150.0 (j)2 A ii

29. LIGHTING - NEW MANDATORY REQUIREMENTS FOR INDOOR ROOMS \$150.0 (K)

30. RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.0 (C) 2
31. REDUCE U-FACTOR (0.30) AND SHGC (0.20) FOR HIGH PERFORMANCE WINDOWS §150.1 (C) 3 A
32. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL

FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT STANDARDS 2019 §4.504.2.1 33. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALL WILL BE RODENT-PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR,

CONCRETE, MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 2019 CGC § 4.406.1

34. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2019 CRC § TABLE R302.1 (1) OR 2019 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2019 CRC § R302.1 (1) OR 2019 CBC § 705.2.

WILL BE BUILT OF ONE-HOUR FIRE-RATED CONSTRUCTION. 2019 CRC TABLE R302.1 (1) § OR 2019 CBC, TABLE 602.

36. REQUIRED: NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS.

35. EXTERIOR BEARING WALLS LESS THAN 5' FROM THE PROPERTY LINE

37. PLUMBING - INDOOR WATER USE:
-THE EFFECTIVE FLUSH VOLUME OF WATER CLOSETS WILL NOT EXCEED
1.28 GAL/FLUSH (2019 CGC - 4.303.1.1) FOR DUAL FLUSH TOILETS
AVERAGE TWO REDUCED FLUSHES WITH ONE FULL FLUSH
- THE EFFECTIVE FLUSH VOLUME OF URINALS WILL NOT EXCEED 0.125

GAL/FLUSH (2019 CGC - 4.303.1.2 - MAX. FLOW RATE FOR SHOWERS SHALL BE 1.8 GPM, @ 80 PSI (2019

- MAX. FLOW RATE FOR LAVATORY FAUCETS SHALL BE **1.2 GPM**, @ 60 PSI (**2019** CGC 4.303.1.4.1)
- MAX. FLOW RATE FOR KITCHEN FAUCETS SHALL BE **1.8 GPM**, @ 60 PSI, CAN TEMPORARILY INCREASE TO 2.2 GPM, BUT MUST DEFAULT BACK TO MAX. FLOW RATE OF **1.8 GPM** (**2019** CGC 4.303.1.4.4).

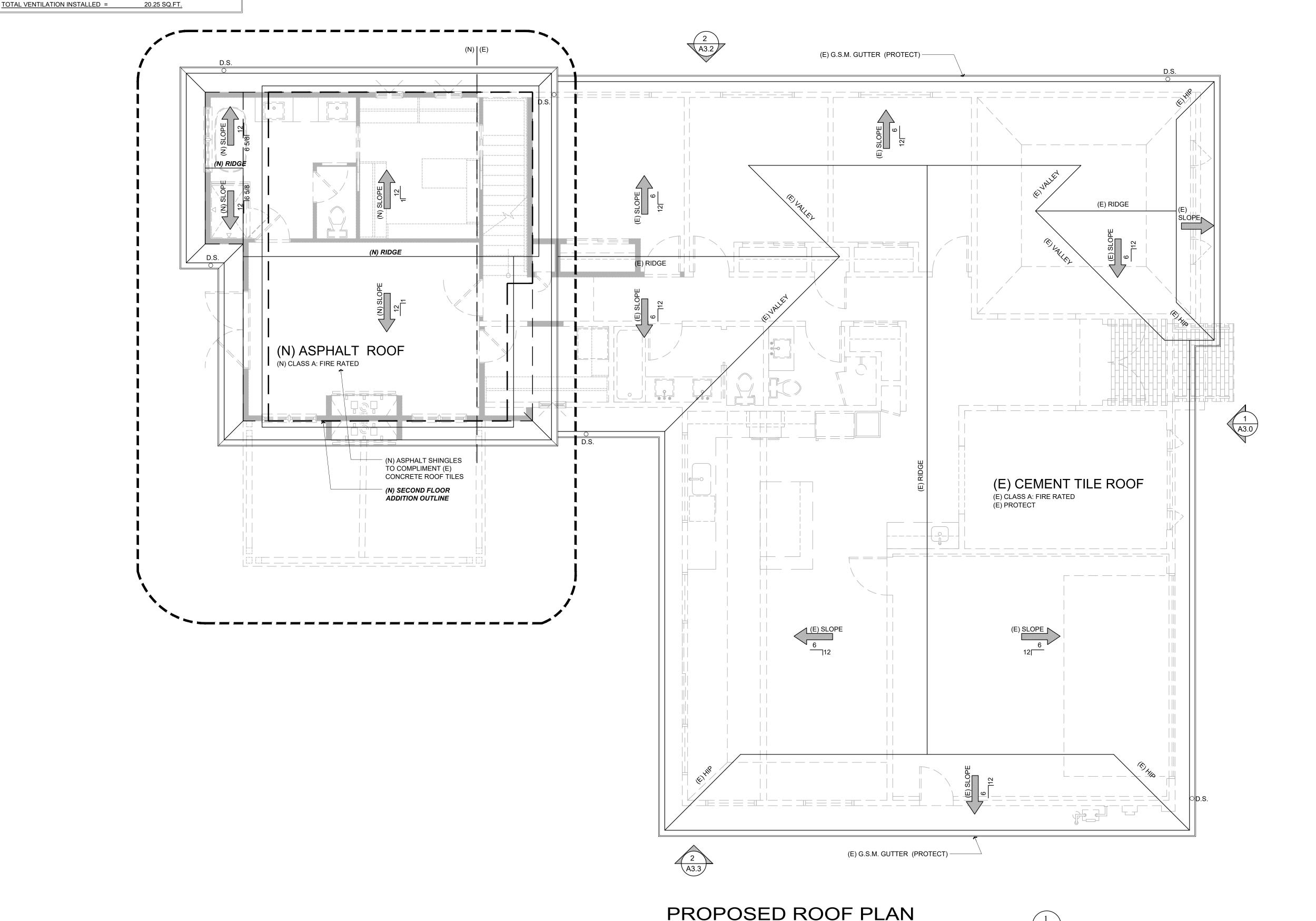
PLUMBING & HVAC NOTE:

1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

VENTILATION CALC: SQ. FT. OF (N) ROOF: 2,649.00 SQ. FT.

(N) 2,649/150 = 17.66 SQ. FT. OF VENTILATION IN EXISTING ROOF

(N) ROOF VENTS (27 ea. X .75 SQ. FT.) = 20.25 SQ. FT.



Scale: 1/4 = 1'-0''

BUILDING SI

BURLINGAME, CA. 94010

Zoning: RESIDENTIAL

Z DN# • 025-302-0

4843 SILVER SPRINGS DRIVE Park City, UT 84098 Ph: 415.819.0304 E-mail: TIM@FORMONEDESIGN.COM

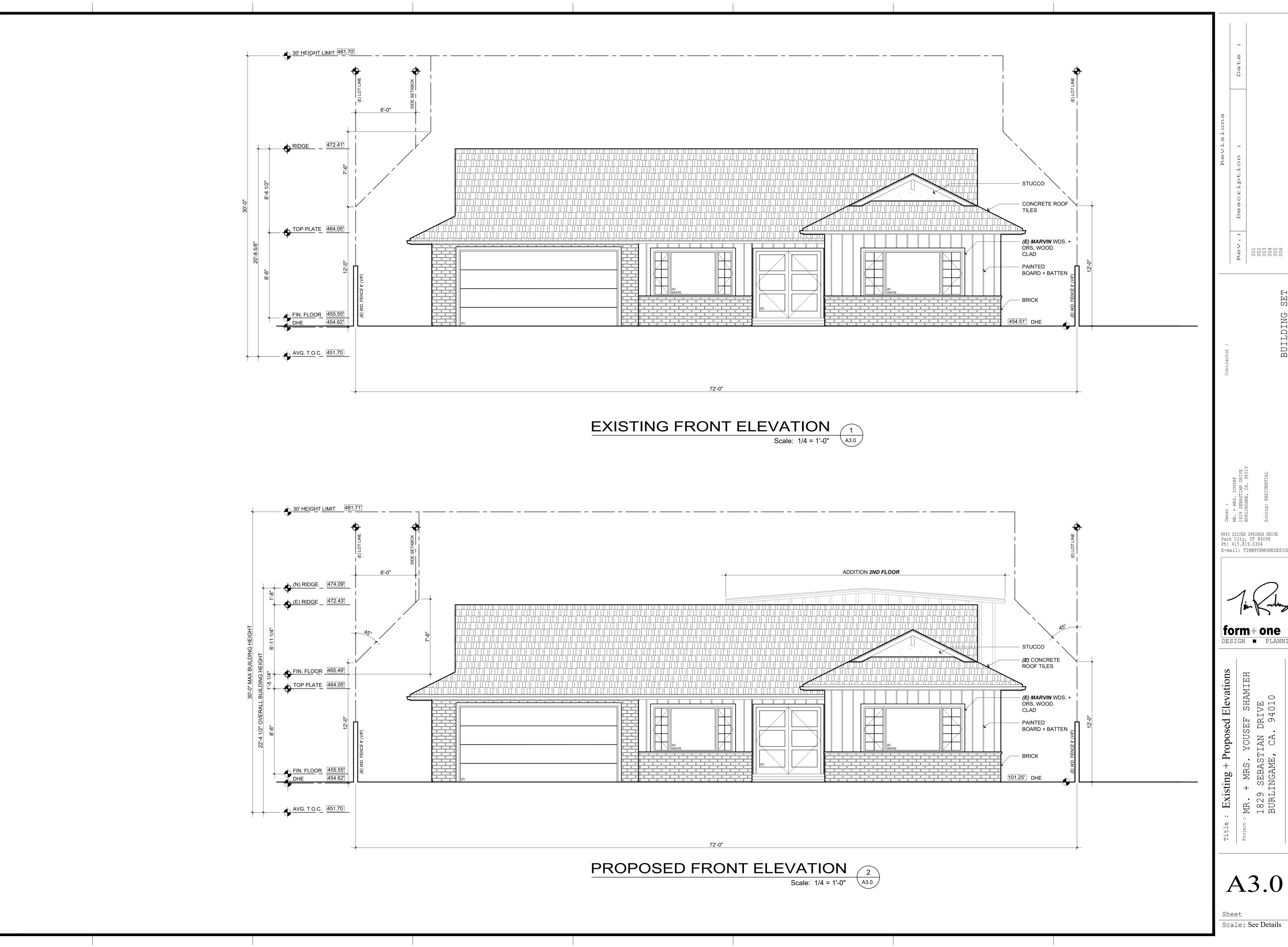


Project: MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

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Sheet
Scale:

See Details



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form + one

DESIGN PLANNING

Le: Existing + Proposed Elevations

THE HARS. YOUSEF SHAMIEH

1829 SEBASTIAN DRIVE

BURLINGAME, CA. 94010





PROPOSED REAR ELEVATION
Scale: 1/4 = 1'-0"
A3.1

A3.1

Sheet Scale: See Details

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DESIGN PLANNING

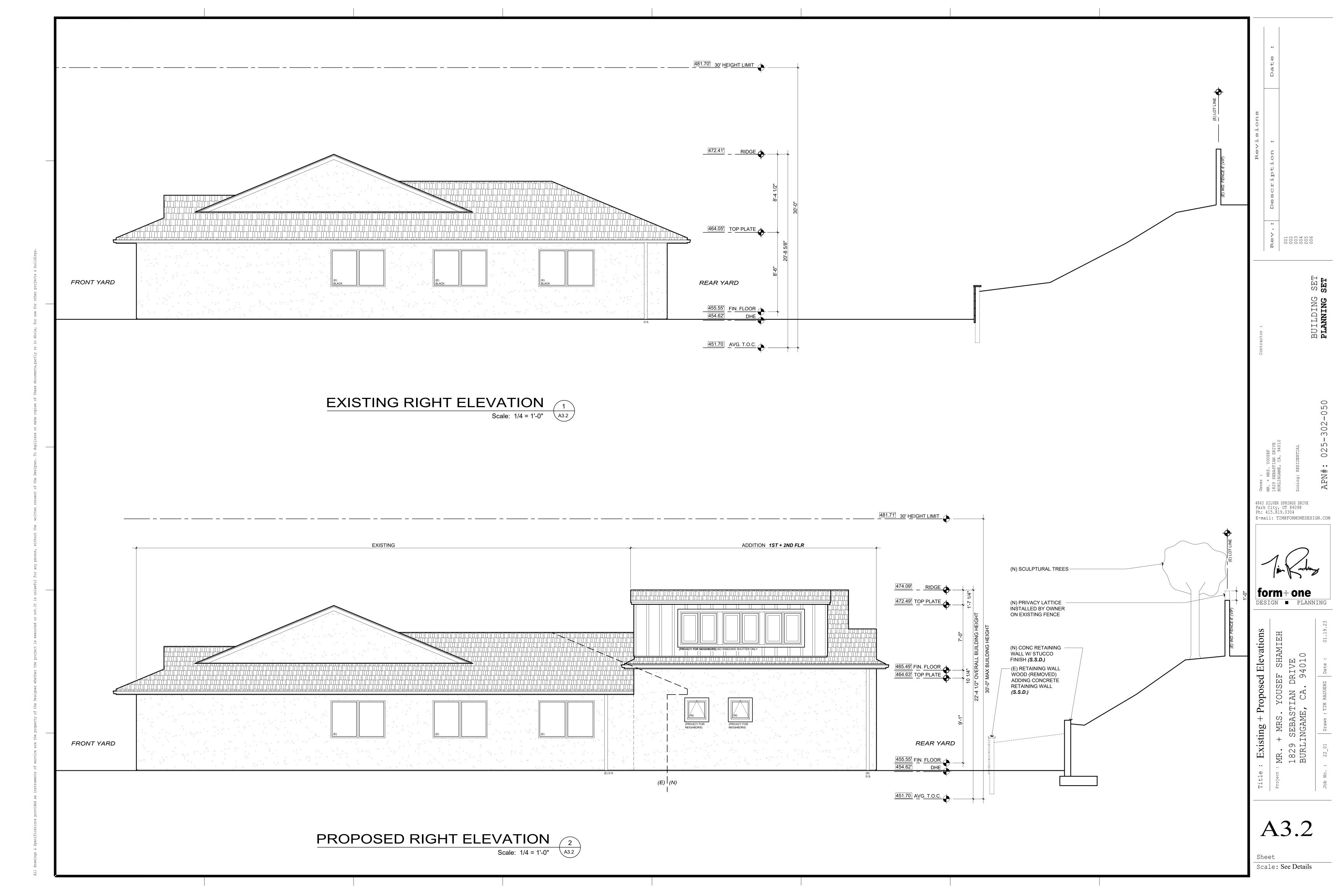
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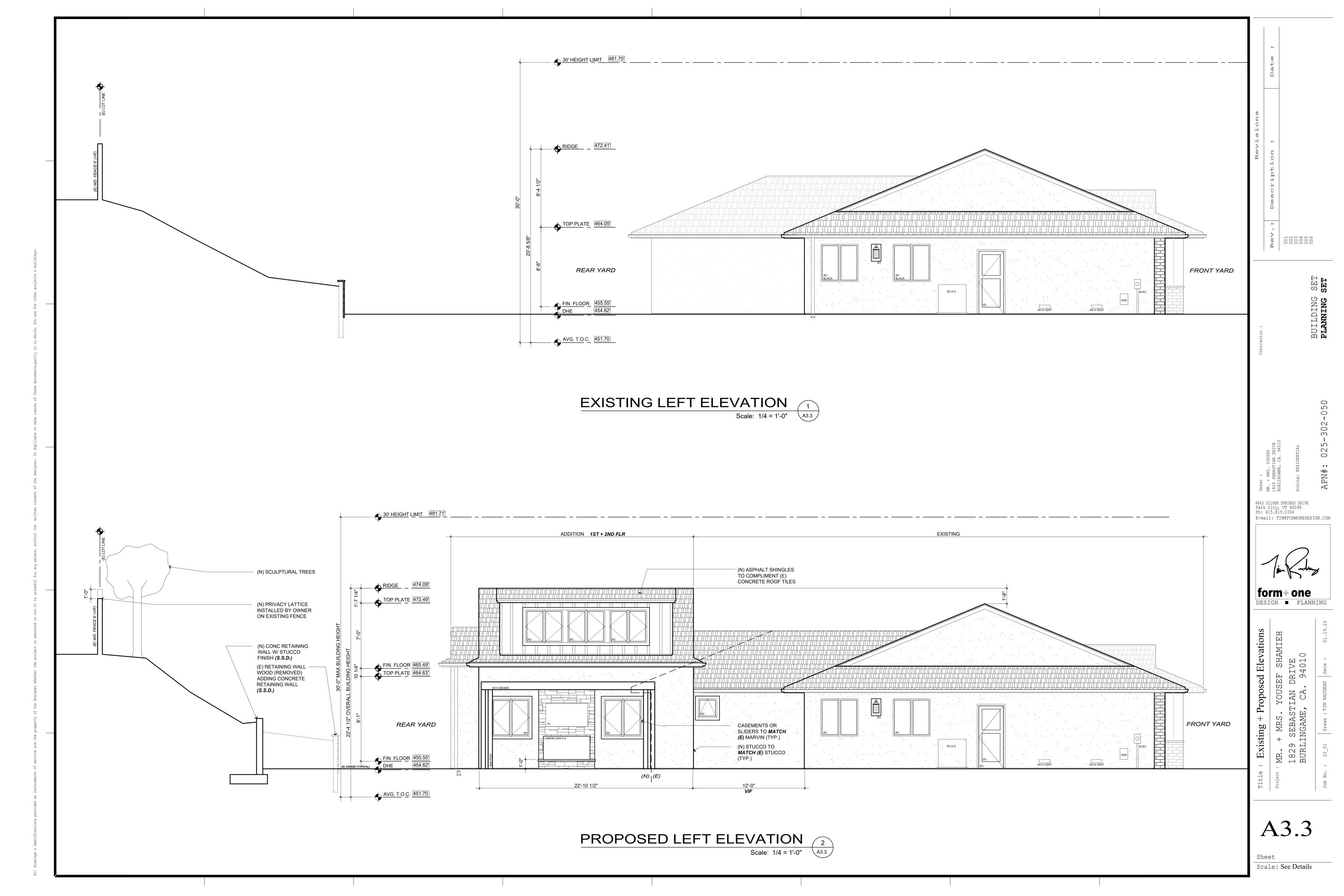
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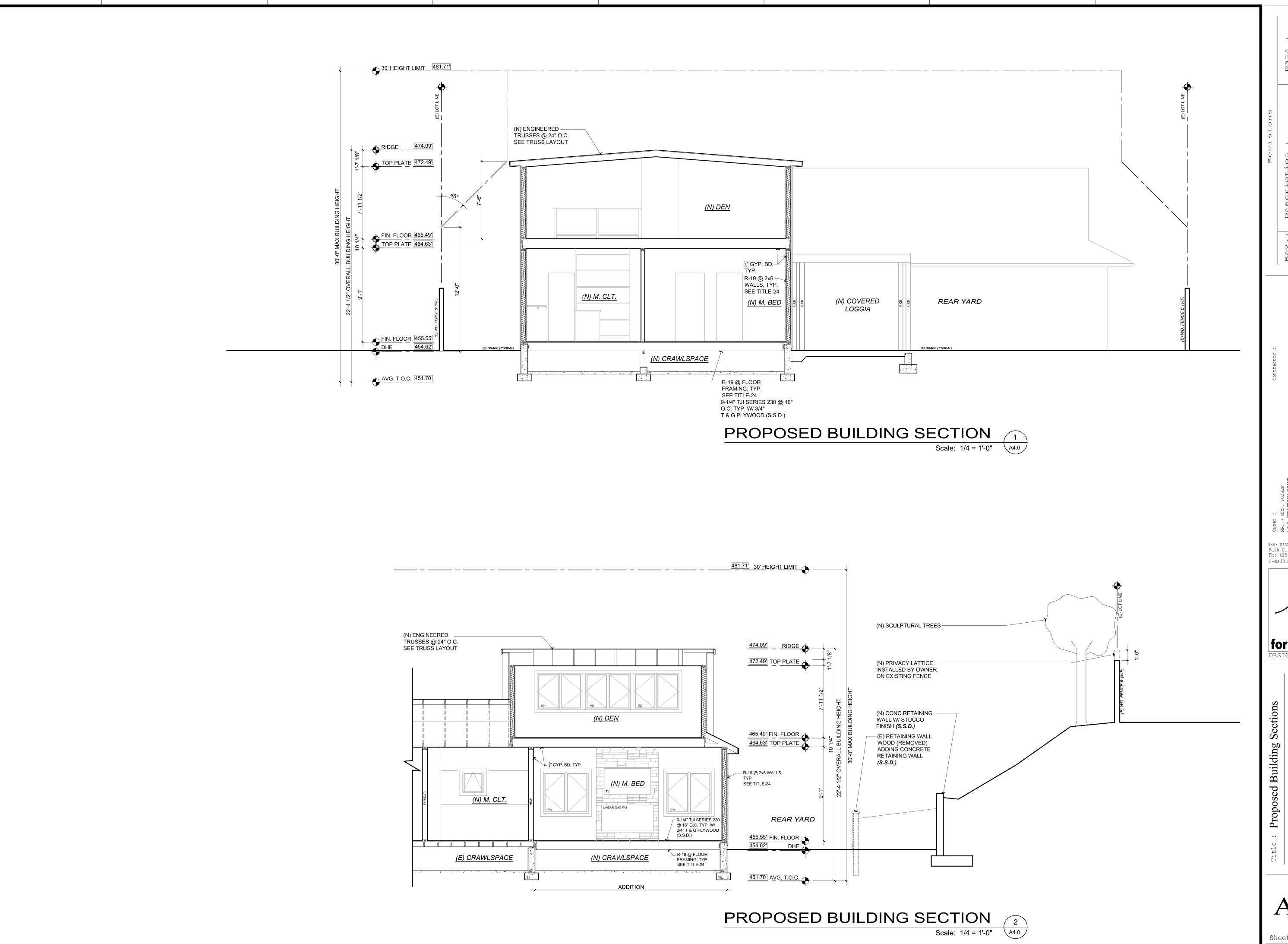
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1829 SEBASTIAN DRIVE

BURLINGAME, CA. 94010







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BUILDING SET PLANNING SET

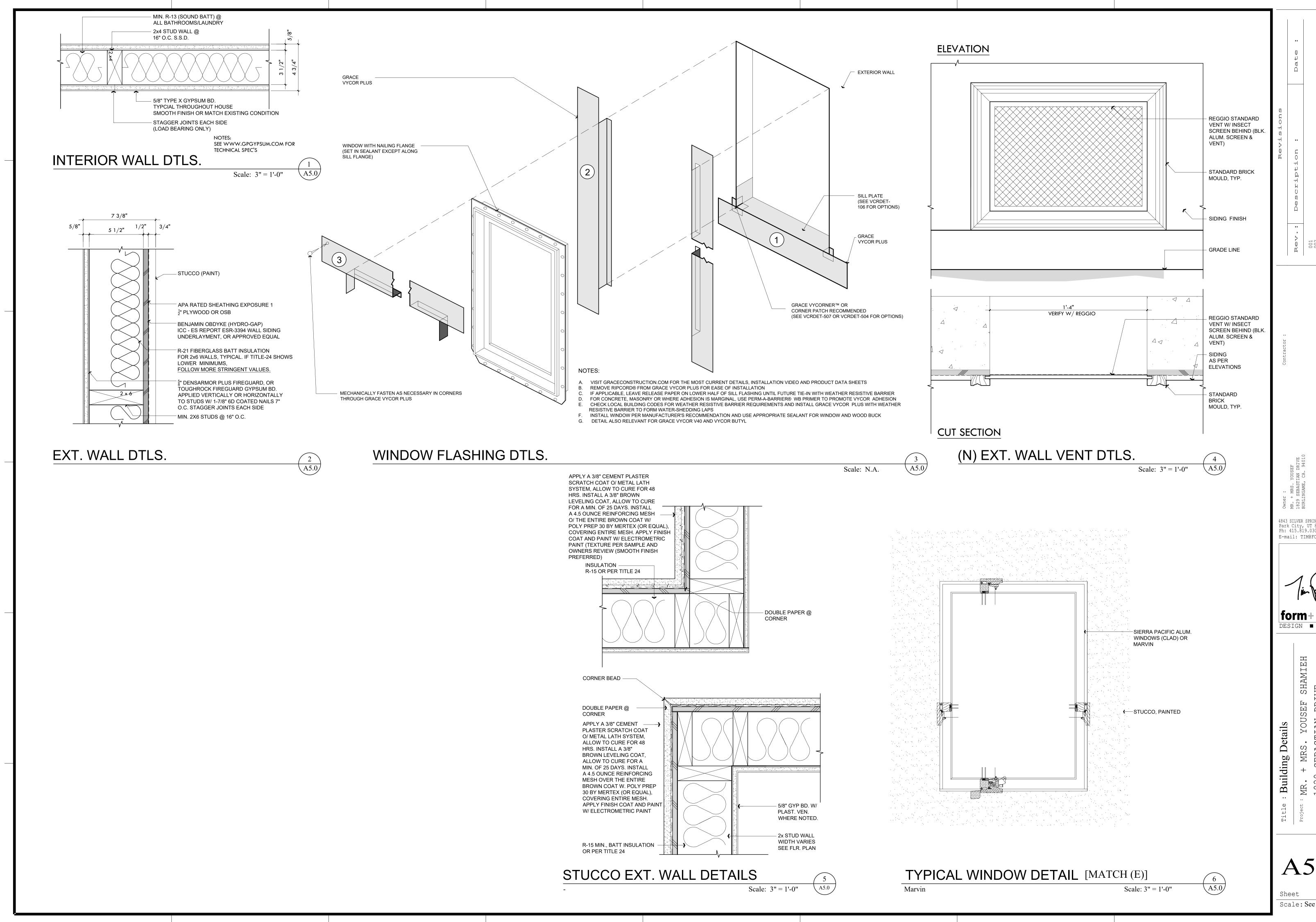
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form + one DESIGN PLANNING

MR. + MRS. YOUSEF SHAMIEH 1829 SEBASTIAN DRIVE BURLINGAME, CA. 94010

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Sheet Scale: See Details



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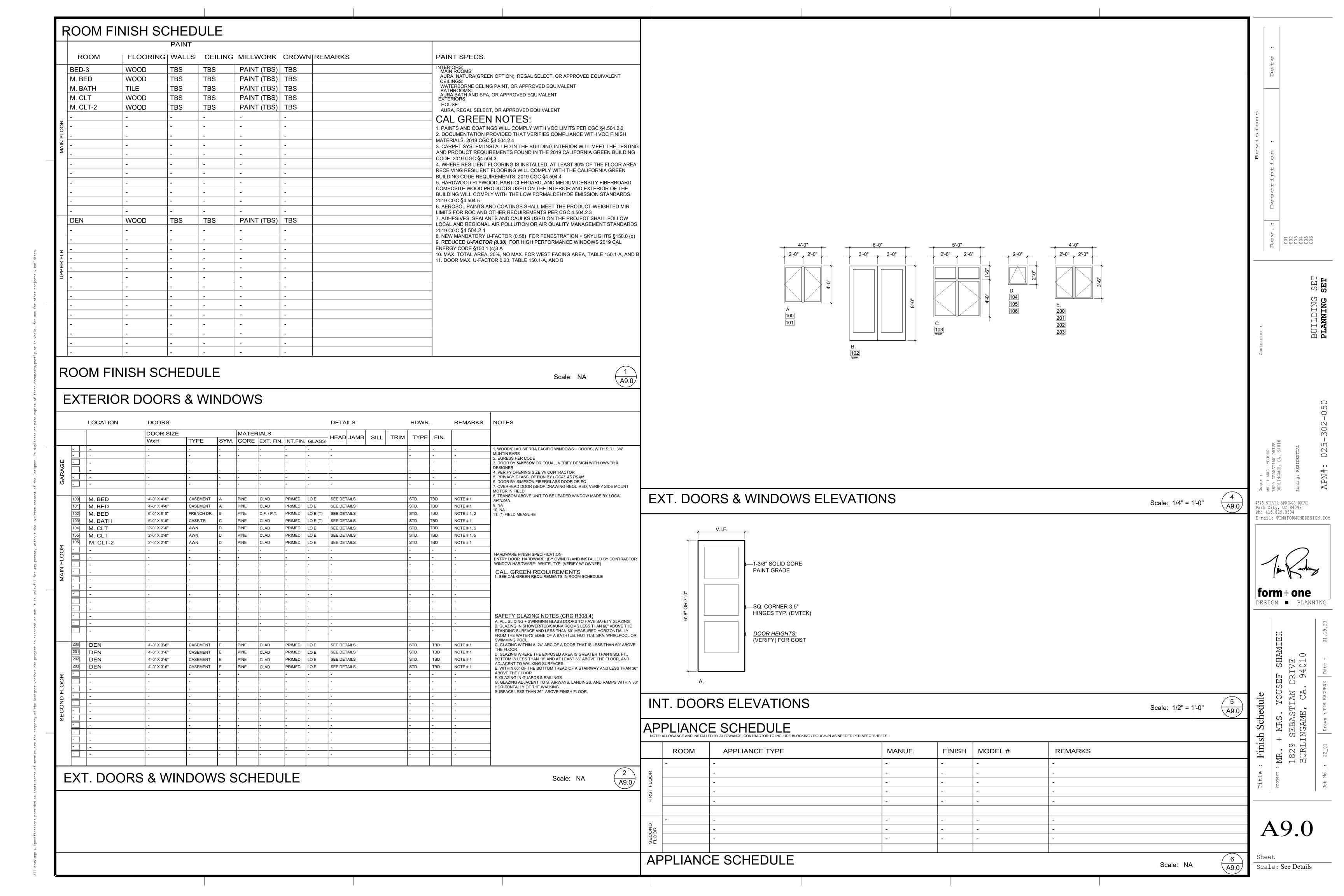
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+ MRS. YOUSEF SHAMIE 9 SEBASTIAN DRIVE .LINGAME, CA. 94010

MR. 1829 BURL

A5.0



NOTE: PRIVACY TREES ADDED PER NEIGHBOR'S **AGREEMENT** (N) 6' SOLID WD FENCE & 1' LATTICE 468.8' ELEV **LOT LINE** 72'-0" 464.4' ELEV. 466.6' ELEV (N) RETAINING WALL (x)—(E) WOOD FENCE 5'-0" REAR SETBACK New Lawn (1) MET 632 sq. ft. FROM (N) (N) LAWN BLDG. LINE (3) ANI PROPERTY LINE 34'-11" (4) PRU -New brick (E) LAWN (PROTECT) retaining wall Existing Lawn _(2) ANI to remain (E) HOT -(3) POD ΤÚΒ 8' O.C. (N) M. BATH New concrete (N) COVERED 2-STORY TRELLIS **ADDITION** (BELOW)[⊕] (2) POD DECK ABOVE 8' O.C. RETAINING (N) COVERED LOGGIA (E) CONC. (N) M. CLT. (N) PATIO (E) PATIO **REMOVED** ROOF (N) BED 3 Existing concrete path (E) BED 2 Existing (E) WOOD FENCE-(E) KITCHEN shrubs (PROTECT) (E) 1 STORY RESIDENCE (E) PAVERS-(PROTECT) (E) BED 1 (E) GARAGE (E) WATER -(E) GAS METER (E) FENCE-(PROTECT) F.F. ELEV (E) FAMILY (E) 200 AMP. ÈLECT. METER 15'-0" FRONT SETBACK (E) PLANTER-(PROTECT) (E) ORIENTAL ARBORVITAE (E) LAWN (PROTECT) (N) CONCRETE SIDEWALK & (E) LAWN APPROACH PER (PROTECT) CITY STANDARDS WATER METER **LOT LINE** 72'-0" (E) BRICK COLUMNS & FÉNCE TO BE REMOVED (N) SIDEWALK (N) CONC. CURB & GUTTER (N) CONC. DRIVEWAY ADJ. CONC. APRON

SEBASTIAN DRIVE

Scope

Proposed new landscape in the backyard of project site, including trees to screen the proposed 2-story addition from neighbors, new lawn area and a new structural retaining wall. See SSE for the retaining wall. All existing landscape and hardscape at front yard, side yards are remained in place.

Legends

Existing Tree with dripline

Existing Tree to be removed

Existing shrubs/groundcover

New Planting

New lawn area

Existing Tree List

| Symbol | Botanical Name | Common Name | Tree size (dia.) | Tree removal | Mature size |
|--------|-----------------------------|---------------------------------|------------------|--------------|----------------|
| 1 | Pinus Taeda # | Loblolly Pine | 12" | No | 1114141 € 5126 |
| 2 | Pinus Taeda | Loblolly Pine | 12" | No | |
| 3 | Pinus Taeda | Loblolly Pine | 10" | Yes | |
| 4 | Pinus Taeda | Loblolly Pine | 12" | No | |
| 5 | Pinus Taeda | Loblolly Pine | 1" | No | |
| 6 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 7 | Tristania laurina 'Elegant' | Elegant Water Gum | 1" | No | 20'Hx15'W |
| 8 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 9 | Tristania laurina 'Elegant' | Elegant Water Gum | 1" | No | 20'Hx15'W |
| 10 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 11 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 12 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 13 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 14 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 15 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 1" | No | 10'Hx8'W |
| 16 | Pinus Taeda | Loblolly Pine | 18" | Yes | |
| 17 | Pinus Taeda | Loblolly Pine | 12" | Yes | |
| 18 | Prunus avium | Japanese Cherry | 6" | No | 30'Hx25W |
| 19 | Prunus avium | Japanese Cherry | 6" | No | 30'Hx25W |

| Proposed Plant List | | | | |
|---------------------|-------|---------------|--|--|
| Symbol | Qnty. | Botanical Nar | | |

| Symbol | Qnty. | Botanical Name | Common Name | Spec. | Mature size | Water use |
|--------|-------|-----------------------------|---------------------------------|----------------------------------|----------------|--------------------------|
| TRI | 4 | Tristania laurina 'Elegant' | Elegant Water Gum | 15 gal, std tree form | 20'Hx15'W | L |
| POD | 5 | Podocarpus gracilior | Fern Pine | 24" box, std. tree form, 8' O.C. | 30'Hx 20'W | M, L Once established |
| MET | 1 | Metrosideros excelsus | New Zealand Christmas Tree | 15 gal, Multi. tree form | 20'Hx20'W | L |
| PRU | 4 | Prunus caroliniana 'Monus' | Bright 'N Tight Carolina Laurel | 15 gal | 10'Hx8'W | L |
| ANI | 5 | Anigozanthos | Kangaroo Paw | 5 gal | 4'Hx3'W | VL |

Tree Protection

TREE PROTECTION ZONES SHALL BE INSTALLED AND MAINTAINED THROUGHTOUT THE ENTIRE LENGTH OF THE THE PROJECT. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT PROJECT, A CHAIN LINK FENCE SHALL BE INSTALLED AT ABOUT THE DRIP LINE (WHERE POSSIBLE) OF ANY PROTECTED TREE WHICH WILL OR WILL NOT BE AFFECTED BY THE CONSTRUCTION.

THE DRIP LINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCORACHMENT OF THE CONSTRUCTION. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPAED NO MORE THAN 10 FEET APART ON CENTER.

SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT' NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. EXCAVATION, GRADING, SOIL DEPOSITS, DRAINAGE AND LEVELING ARE PROHIBITED WITHIN THE TREE PROTECTION ZONES.

NO WIRES, SIGNS, OR ROPES SHALL BE ATTACHED TO THE PROTECTED TREES ON SITE. UTILITY SERVICES AND IRRIGATION LINES SHALL ALL BE PLACED OUTSIDE OF THE TREE PROTECTION ZONES.

Landscape General Notes

- 1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
- 2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
- 3. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS 4. TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE
- OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED 5. ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC
- 6. SITE DESIGN BASED ON TOPOGRAPHIC INFORMATION FROM ARCHITECT. ALL GRADES TO BE VERIFIED IN FIELD.
- 7. SPECIFICATIONS FOR CONSTRUCTION METHODS AND MATERIALS NOT LISTED. 8. SHOULD CONFLICTS ARISE BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS
- SHALL GOVERN DIMENSIONS AND QUANTITY, SPECIFICATIONS SHALL GOVERN MATERIALS AND FINISHES. 9. ALL ELECTRICAL WORK TO COMPLY WITH CITY OF SUNNYVALE SPECIFICATIONS AND
- UNDERWRITERS LABORATORIES (UL) SPECIFICATIONS. 10. PLANT PROTECTION: ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES
- DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. SEE LANDSCAPE PLAN FOR RESTRICTIONS.
- 11. CONTRACTOR IS RESPONSIBLE FOR PHOTO DOCUMENTATION OF ALL CLOSED IN WORK. 12. ALL EARTHWORK, INCLUDING SITE CLEARING, PIER DRILLING AND SPREAD FOOT EXCAVATION, PREPARATION OF SUBGRADE AND SELECT FILL BENEATH SLABS-ON-GRADE AND OTHER FLATWORK, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCED NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST OF NECESSARY TO EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT
- 13. PROPERTY LINES ARE SHOWN FOR REFERENCE ONLY AND ADDED PER CITY/TOWN ASSESSOR'S PARCEL MAP. IF A DISCREPANCY ARISES, A BOUNDARY SURVEY SHALL BE COMPLETED BY A LICENSED SURVEYOR TO RESOLVE THE ISSUE.
- 14. CONTRACTOR TO VISIT SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS THE CHARACTER AND EXTENT OF WORK INVOLVED.
- 15. CONTRACTOR TO REMOVE ALL OBSTRUCTIONS BOTH BELOW AND ABOVE GROUND, AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- 16. BID IS TO BE SUBMITTED ON A LINE ITEM BASIS WITH UNIT PRICING WHERE APPLICABLE.

30'Hx20'W

established)

M (L Once

Moderate

Site Plan: Boundary & topographic survey by Quiet River, dated 2/23/22 Plant photo: online images

Water Usage: WUCOLS IV, Div. of Agriculture and Natural Resources, Univ. of California

Proposed Plant



Tristania laurina 'Elegant' Elegant Water Gum 20'Hx15'W Size: Water: Growth: Fast

Prunus caroliniana 'Monus

Fast

10'Hx8'W

Bright 'N Tight Carolina

Laurel

Water: Growth:





Anigozanthos Kangaroo Paw 4'Hx3'W Size: Water: Fast Growth:

Podocarpus gracilior

Fern Pine

Size:

Water:

Growth:



Metrosideros excelsus New Zealand Christmas Tree 20'Hx20'W Size: Water: Growth: Fast

rawing Title

Existing Tree Plan and Proposed Landscape Plan

Sebastian

DESIGN STUDIO

RESIDENTIAL

LANDSCAPE

PLAN

Property Owner:

Plan Prepared by

Agnes Tung

(239) 410-9251

Yousef Shamieh

1829 Sebastian Drive

Burlingame, CA 94010

Muzik Design Studio

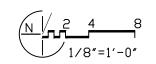
agnesytung@gmail.com

San Mateo, CA 94403

1117 Wayne Way

(239) 410-9251

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06/15/2022

