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Title : TITLE PAGE	
Project : MR. + MRS. YOUSEF SHAMIEH 1829 SEBASTIAN DRIVE BURLINGAME, CA. 94010	
Job No. : 23_01	Drawn : TIM BADIENZ Date : 01.19.23
Sheet	
Scale: See Details	

form one

DESIGN ■ PLANNING



4943 SILVER SPRINGS DRIVE
Pack City, UT 84095
Ph: 415.519.0304
E-mail: TIM@FORMONEDESIGN.COM

Owner :
MR. + MRS. YOUSEF
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Contractor :

Zoning: RESIDENTIAL

APN#: 025-302-050

BUILDING SET
PLANNING SET

Revision:
001
002
003
004
005
006

1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2019 CGC § 4.304.1.
2. A MINIMUM OF 65% OF THE NON- HAZARDOUS CONSTRUCTION AND DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME AND 2019 CGC § 4.408.
3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2019 CGC § 4.410.1.

ON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2019 CODE REQUIREMENT. 2019 CGC § 703.1

AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WASTE, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC § 4.504.1).

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). *A BMP PAGE IS SUFFICIENT.*
2019 CGC 4.106.2
2. PLANS SHALL INDICATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. **2019** CGC 4.106.3
3. ELECTRICAL VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS
2019 CGC 4.106.4

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC 504
5. NA
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.

Permit Number: 22_01 Project Address: 1829 SEBASTIAN DR.

Green Building Measure	Plan Sheet, And details
SITE DEVELOPMENT (2019 CGC §4.106)	
Projects that disturb less than less than one acre shall develop and implement a plan to manage storm water drainage DURING CONSTRUCTION . A BMP page is sufficient. 2019 CGC §4.106.2	SW
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2019 CGC §4.106.3	A1.0
Electric Vehicle (EV) Charging, parking spaces: comply with relevant sections. 2019 CGC §4.106.4	NA
ENERGY EFFICIENCY (2019 CGC and the 2019 California Building Energy Efficiency Standards)	
2019 Energy Code performance (7-24) compliance documentation must be provided in 8-1/2" X 11" format, and must be replicated on the plans. 2019 CEC §150.1 (b)	ME4.0/4.1 A2.0
BUILDING ENVELOPE INSULATION, climate zone 3, Table 150.1-A, and B:	
Below Roof Deck, No Insulation is required.	Not Required
Ceiling Insulation, Minimum R-30 Insulation Required.	A2.0, #1
Radiant Barrier, Required, per Section 110.8(i) and Reference Residential Appendix RA4.	A2.0, #2
Walls, Above or Below Grade, meet standards in Table 150.1-A, or B.	A2.0, #3
Floors, Slab perimeter NR, Raised R-19, Concrete Raised U Factor 0.269.	A2.0, #4
Quality Insulation Installation Inspection (QI) is Required by a third party.	A2.0, #5
Hot water piping insulation required: 3/4 inch or larger. 2019 CEC §150.0 (j) 2 a i, ii, iii	ME2.0, #36
Lighting: luminaires shall meet the requirements in Table 150.0-A, 2019 CEC §150.0 (k)	ME2.0, #37
Fenestration Maximum U-factor 0.30. No SHGC requirement. Table 150.1-A, and B	A2.0, #31
Maximum Total Area, 20%, no maximum for West Facing Area Table 150.1-A, and B	A2.0, #6
Door Maximum U-factor 0.20. Table 150.1-A, and B	A2.0, #7
Whole House Fan, none required in climate zone 3. Table 150.1-A, and B	ME2.0, #20 /NA
PV: new low-rise residential only, per equation 150.1-C, Annual Photo Voltaic Output	A2.0 / A2.2

BUILDING SET
PLANNING SET

Owner :
MR. + MRS. YOUSEF
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 9401

form+one
DESIGN ■ PLANNING

CG

Sheet

Scale: See Details

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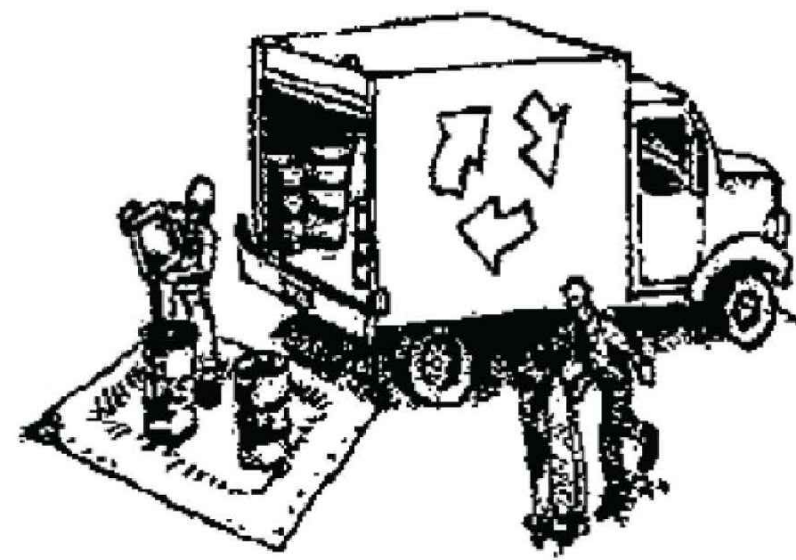


SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

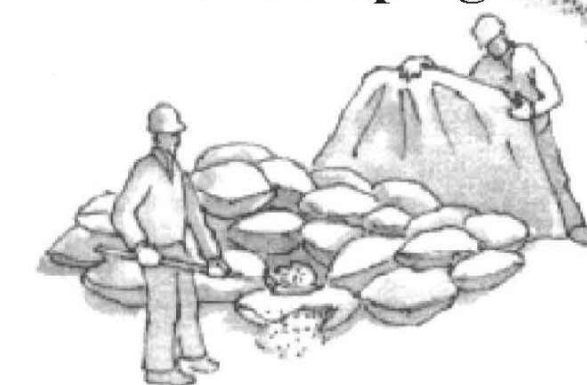
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



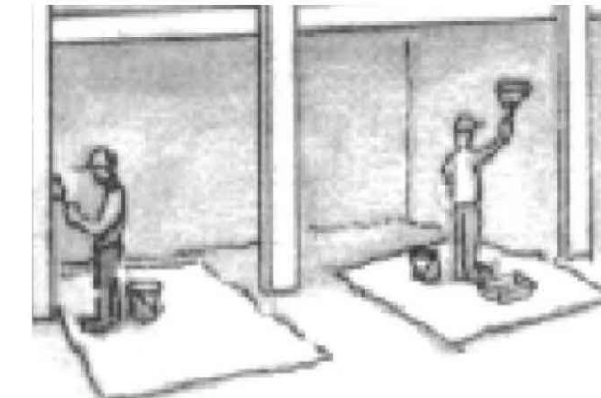
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

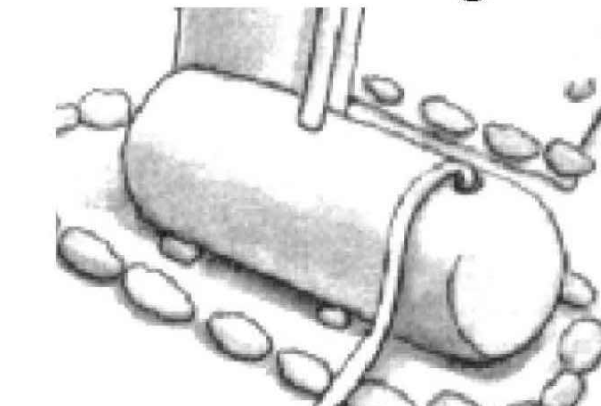
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering

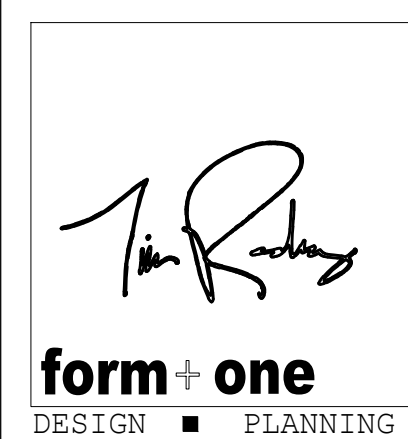


- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Revisions	
Rev.:	Description :
001	
002	
003	
004	
005	
006	

Contractor :	
MR. + MRS. YOUSEF SHAMTEH 1829 SEBASTIAN DRIVE BURLINGAME, CA. 94010	
Zoning: RESIDENTIAL	
APN#: 025-302-050	
BUILDING SET PLANNING SET	



Title : BMPs & Pollution Prevention	
Project : MR. + MRS. YOUSEF SHAMTEH 1829 SEBASTIAN DRIVE BURLINGAME, CA. 94010	
Job No. : 22.01	Date : 01.19.23

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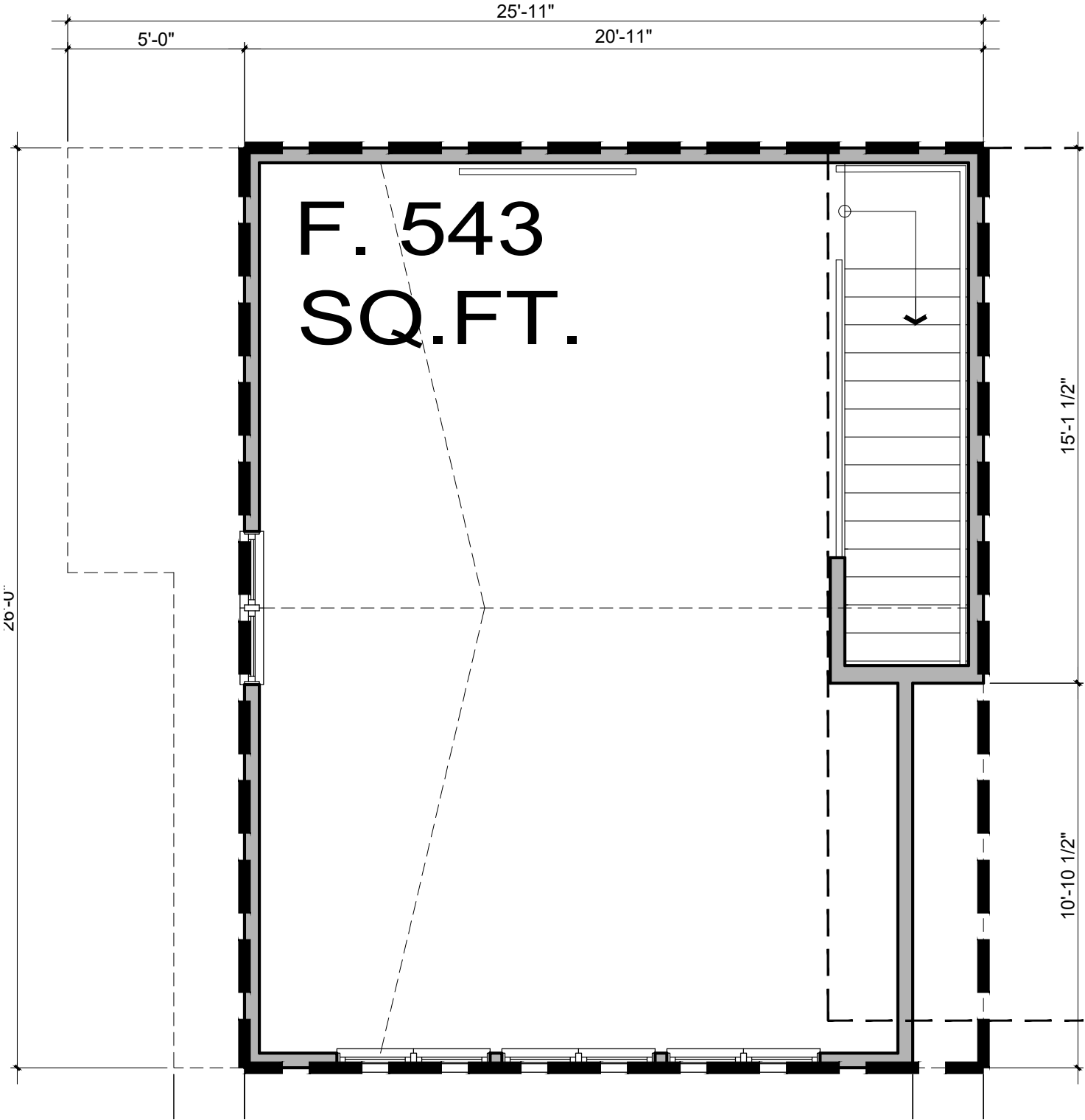
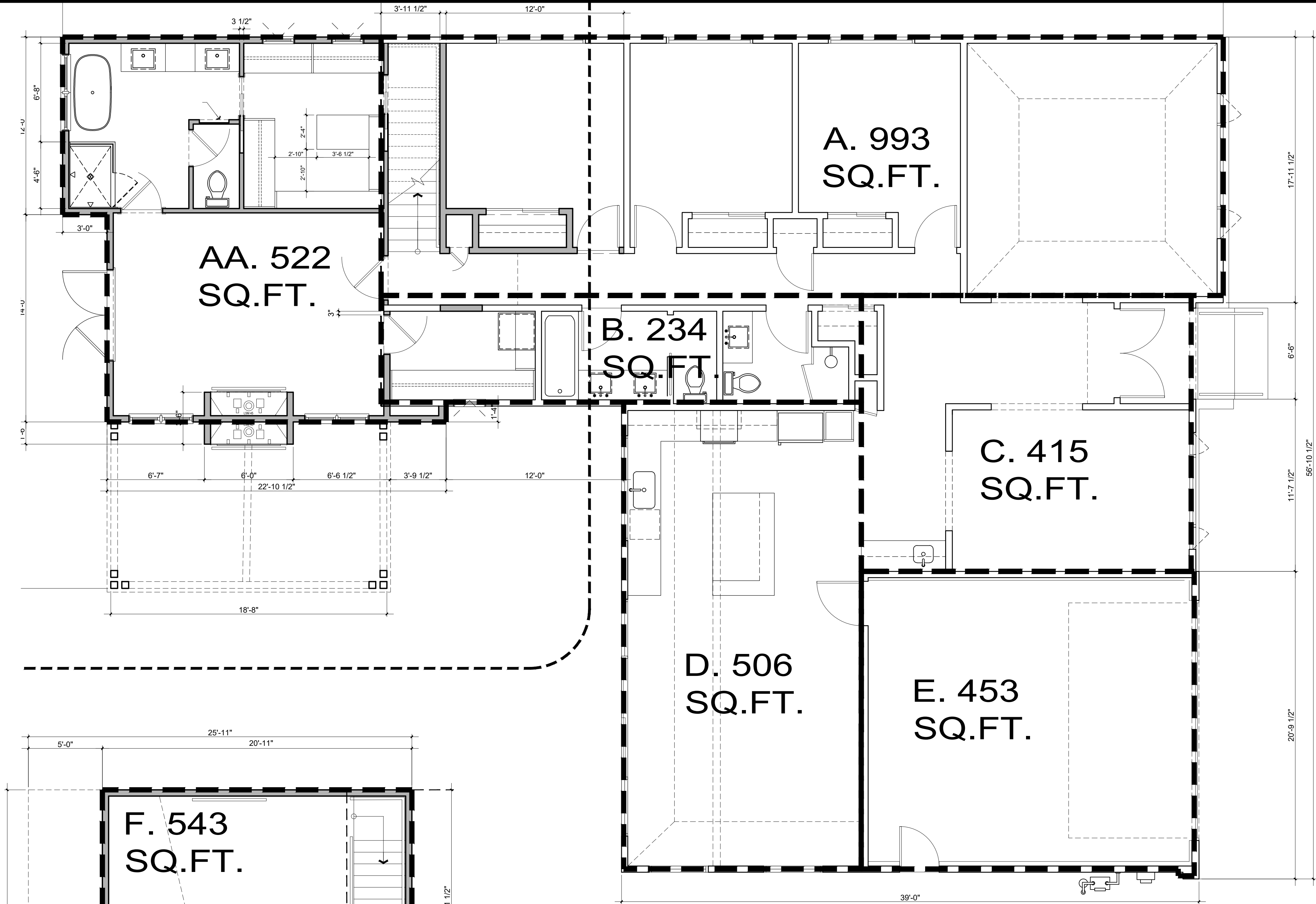
COMPLETE FAR

AREA	LOCATION	FAR SQ. FT.:	LOT COVERAGE SQ. FT.:	REMARKS:
MAIN FLR	AA	522	522	1ST FLR ADDITION
	A	993	993	EXISTING
	B	234	234	EXISTING
	C	415	415	EXISTING
	D	506	506	EXISTING
	E	453	453	EXISTING GARAGE
2ND FLR	F	543	-	2ND FLR ADDITION
TOTAL LC:			3,123	MAX LC = 3,729 SQ.FT.
TOTAL FAR:		3,666		MAX FAR = 4,082 SQ.FT.

DETAILS

APN = 025-302-050
LOT SIZE: 9,321 SQ. FT.
MAX ALLOWABLE FAR=
FAR = LOT SIZE X 32% + 1,100 = LIVEABLE SQ. FT.
9,321 SQ. FT. X 32% + 1,100 = 4,082 SQ. FT.

MAX ALLOWABLE LOT COVERAGE
= LOT SIZE X 40% = ALLOWABLE LOT COVERAGE
9,321 SQ. FT. X 40% = 3,729 SQ. FT.



FLOOR AREA CALC. (FIRST FLOOR)

Scale: 1/4" = 1'-0"

1 FAR

FLOOR AREA CALC. (SECOND FLOOR)

Scale: 1/4" = 1'-0"

2 FAR

Contractor :

Owner :
MR. + MRS. YOUSEF
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010
Zoning: RESIDENTIAL

APN#: 025-302-050

Revisions

Rev.: Description : Date :
001
002
003
004
005
006

form + one

DESIGN ■ PLANNING

Title : Floor Area Calc.

Project : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01

Drawn : TIM RADUENZ

Date : 01.19.23

FAR

Sheet
Scale: See Details

LANDS OF SHAMIEH
LOT 5, BLOCK 48
MILLS ESTATE NO. 19
(58-RSM-035)
1829 SEBASTIAN DRIVE

SCALE: 1" = 8'



6747 Sierra Court, Suite K
Dublin, CA 94568
(925) 734-6788 Phone

FEBRUARY 2022

MAP OF MILLS ESTATE NO. 19 FILED IN BOOK 58 OF RECORDED SUBDIVISION
MAPS AT PAGE 35 IN THE RECORDS OF SAN MATEO COUNTY, AND TWO FOUND
MONUMENTS AS SHOWN.

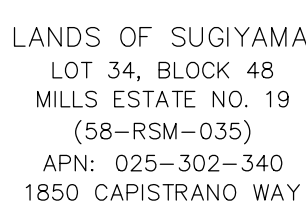
THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA
COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A
CHCX90D-OPUS RECEIVER AND POST-PROCESS USING THE CORS NETWORK.
ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

- 1.) NO TITLE REPORTS WERE SUPPLIED FOR THIS PROJECT AND ONLY LIMITED PROPERTY/DEED RESEARCH WAS DONE, CONSEQUENTLY EASEMENTS OF RECORD, IF ANY, AND ANY RECENT CHANGES IN LAND PARCEL BOUNDARIES WILL NOT BE REFLECTED HEREON. UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- 3.) DATE OF FIELD SURVEY: FEBRUARY 17, 2022
- 4.) PROJECT BENCHMARK: SEE SURVEY CONTROL POINTS SHOWN ON MAP

Y. KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN, ARE BASED UPON A FIELD SURVEY PERFORMED FEBRUARY 17, 2022 BY Y. KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR. THE PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND THE ITEMS AND INFORMATION SHOWN THEREON WERE PREPARED BY ME OR UNDER MY DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

KEVIN M. McGUIRE, CA PLS #6437 2/23/22
DATE

AD	AREA DRAIN		SUBJECT PROPERTY LINE
AFN:	ASSESSOR'S PARCEL NUMBER		ADJOINER PROPERTY LINE
CP	CONTROL POINT		EXISTING EASEMENT
CO	CLEANOUT		MAJOR CONTOUR
CONC.	CONCRETE		MINOR CONTOUR
EL	ELEVATION		OVERHEAD UTILITY LINE
FND.	FOUND		EXISTING FENCE LINE
HT.	HEIGHT		AREA DRAIN
ICV	IRRIGATION CONTROL VALVE		HOSE BIB
RET.	RETAINING WALL		VALVE
x 33.0	SPOT ELEVATION		MANHOLE
	SURVEY CONTROL POINT		CATCH BASIN
	PROJECT BENCHMARK		GAS METER
	FOUND STREET MONUMENT PER 58-RSM-035		FIRE HYDRANT
	SET 5/8" REBAR (AS NOTED)		CLEANOUT
	SET NAIL & TAG, LS #6437 (AS NOTED)		



LANDS OF LEE
LOT 4, BLOCK 48
MILLS ESTATE NO. 19
(58-RSM-035)
APN: 025-302-040
1825 SEBASTIAN DRIVE

LANDS OF SHAMIEH
LOT 5, BLOCK 48
MILLS ESTATE NO. 19
(58-RSM-035)
APN: 025-302-050
1829 SEBASTIAN DRIVE
9,360± SQUARE FEET

1. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS
6. CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE ARE TO BE REPLACED.
7. ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS ARE TO BE REPLACED WITH NEW 4" LATERAL. EXISTING WATER LINE CONNECTIONS TO CITY WATER MAINS ARE TO BE REPLACED. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT MAIN PER CITY REQUIREMENTS.
8. NO PERMANENT STRUCTURES ARE EXISTING / PROPOSED BEYOND THE PROPERTY LINE NOR INTO THE PUBLIC RIGHT-OF-WAY.

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO
MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). *A BMP PAGE IS SUFFICIENT.*
2019 CGC 4.106.2
2. PLANS SHALL INDICATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS
FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE
PATH. **2019** CGC 4.106.3
3. ELECTRICAL VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS
2019 CGC 4.106.4

1. A REMOVE/REPLACE UTILITIES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER -CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
2. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.

3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING:
(A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDING INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL; (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BARS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMPs SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G. SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMPs.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.



Scale: 1/8" = 1'-0"

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Revisions		
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Contractor :

Owner : MR. & MRS. YOUSEF
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94011

Zoning: RESIDENTIAL

APN#: 025

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
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Title :Site Plan

Project : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22 01	Drawn : TIM RADUENZ	Date : 01.19.23
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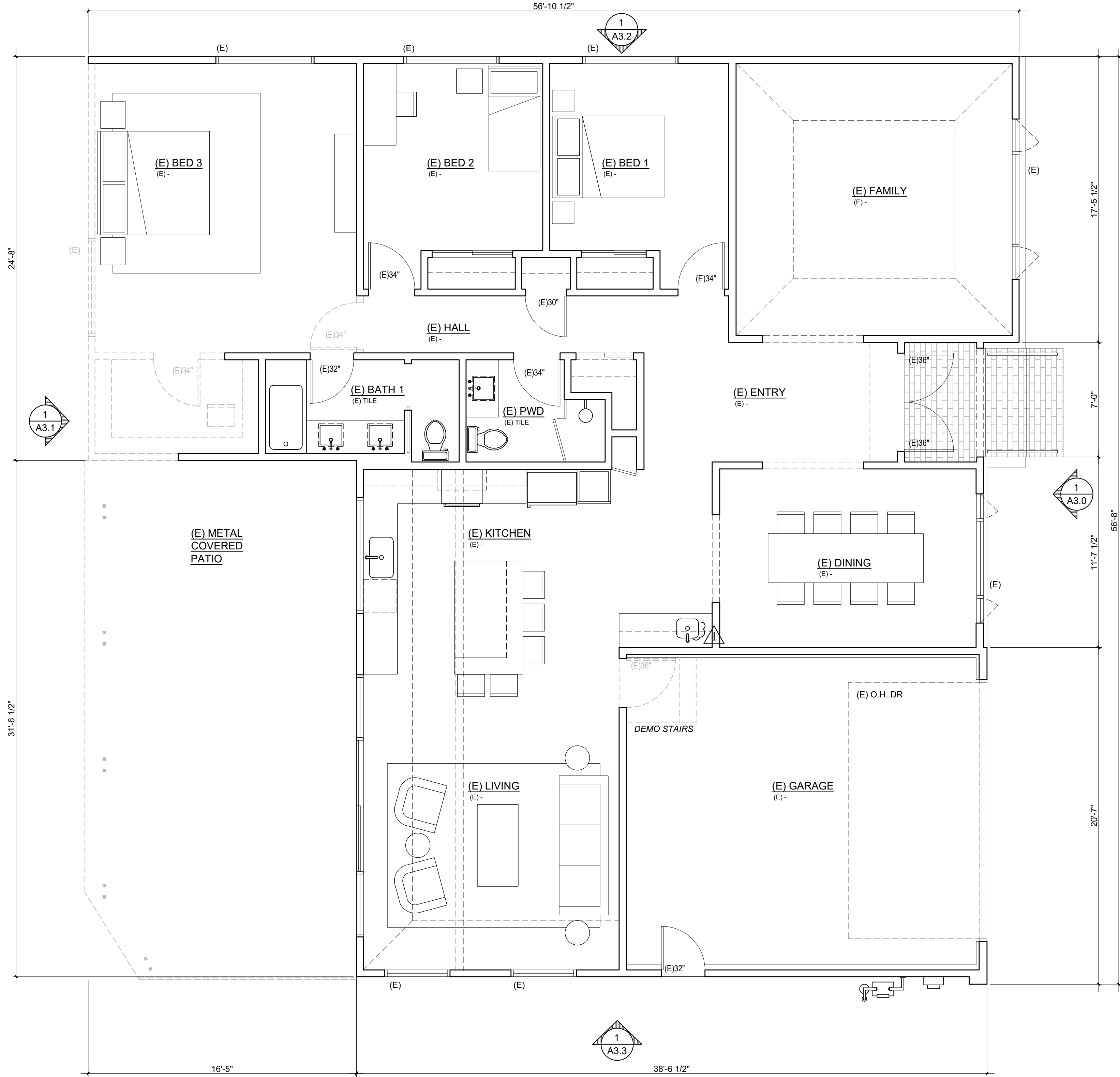
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LEGEND:
— EXISTING WALLS
- - - - - EXISTING WALLS AND ITEMS TO BE REMOVED

EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0"

Revisions		
Rev. :	Description :	Date :
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Contractor :
MR. + MRS. YOUSEF SHAMTEH
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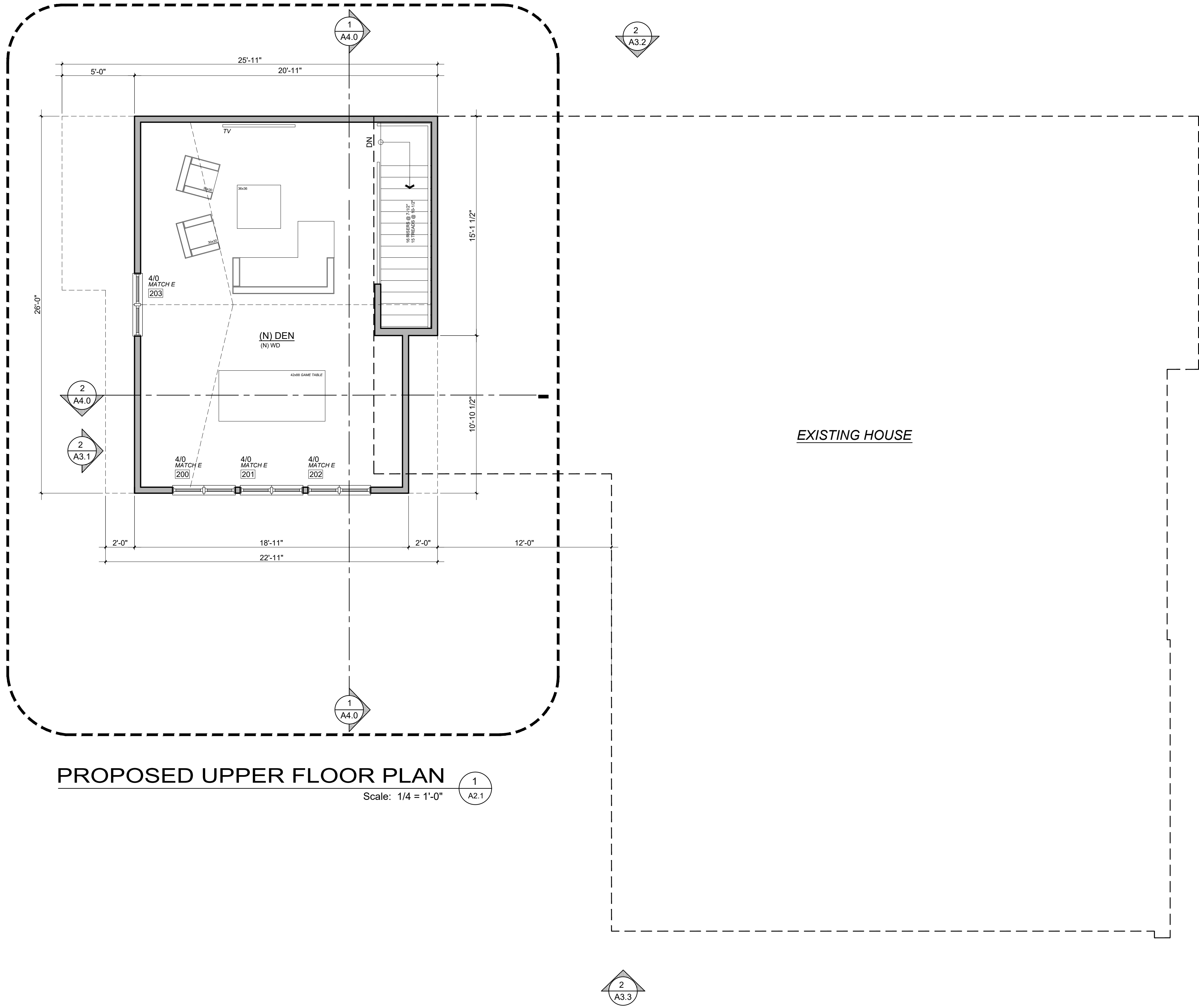
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BUILDING SET
PLANNING SET


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DESIGN ■ PLANNING

Title : Existing Floor Plan		
Project : MR. + MRS. YOUSEF SHAMTEH 1829 SEBASTIAN DRIVE BURLINGAME, CA. 94010		
Job No. : 22_01	Drawn : TIM RADIENTZ	Date : 01.19.23

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PROPOSED UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

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Rev.:	Description :	Rev.:	Description :
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Owner :		Contractor :	
MR. + MRS. YOUSEF SHAMIEH		TIM RADIENZ	
1829 SEBASTIAN DRIVE		BURLINGAME, CA. 94010	
BURLINGAME, CA. 94010		BURLINGAME, CA. 94010	
Zoning: RESIDENTIAL		Zoning: RESIDENTIAL	
APN#: 025-302-050		APN#: 025-302-050	

Title : Proposed Upper Floor Plan		Project : MR. + MRS. YOUSEF SHAMIEH	
Job No. : 22_01		1829 SEBASTIAN DRIVE	
Drawn : TIM RADIENZ		BURLINGAME, CA. 94010	
Date : 01.19.23			

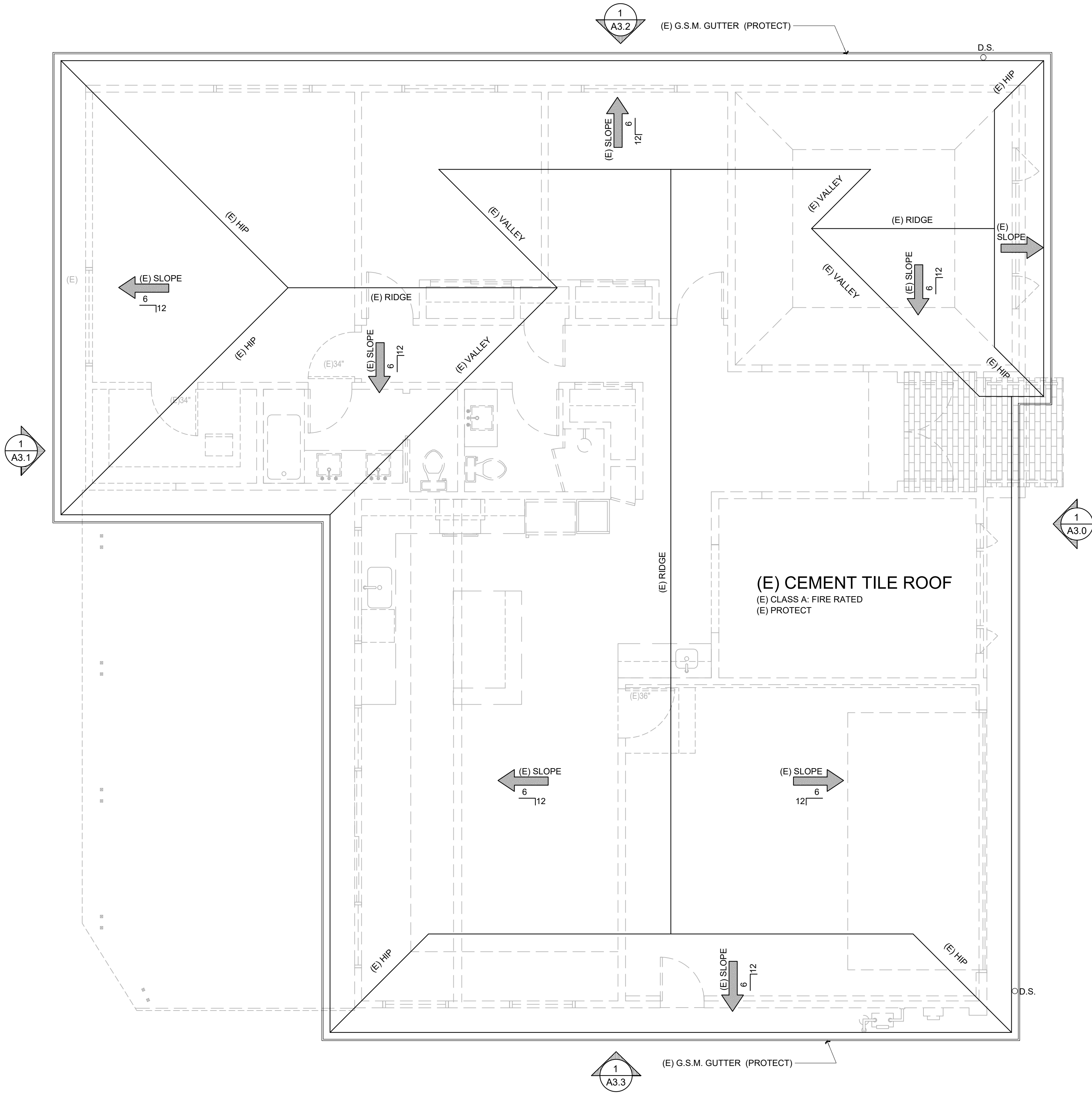
form+one		4943 SILVER SPRINGS DRIVE	
DESIGN ■ PLANNING		Park City, UT 84098	
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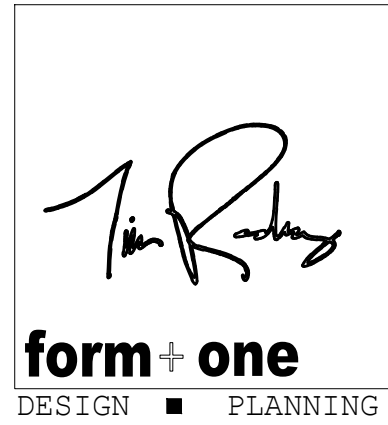


EXISTING ROOF PLAN

Scale: 1/4 = 1'-0"

Title : Existing Roof Plan
Project : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01
Drawn : TIM RAQUEWZ
Date : 01.19.23



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1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010
ZONING: RESIDENTIAL

APN#: 025-302-050

Contractor :

BUILDING SET
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RELATED CODE REQUIREMENTS: (EGRESS)

- EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
- THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:

- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1/4" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:

- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" A/ THE DRAIN INLET W/ MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER & IS NOT ALLOWED ON CLGS.
- CEMENT BOARD WITH A MOISTURE BARRIER & CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, & AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS)(CONT.):

ELECTRICAL:

- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3- FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH, (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.

MECHANICAL:

- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3- FEET FROM BUILDING OPENINGS AND PROPERTY LINES. BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

- PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
- PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
- TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
- PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
- NA
- EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
- VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
- SUB- PANEL ELECT., VERIFY LOCATION.
- NA
- ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET. WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
- NA
- NA
- WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E. DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2019 CPC 609.10.
- CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
- THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
- (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
- (N) ELECTRICAL METER LOCATION
- MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRs. PER 2019 CRC R311.3
- (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
- A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR BARRIER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION. 2019 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §506.2.3
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2019 CGC §4.505.3
- NA
- ANY GAS FIREPLACE WILL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE 2019 CGC §4.503.1
- NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION AND SKYLIGHTS §150.0B
- WALLS WITH 2X6 AND LARGER FRAMING REQUIRE R-19 INSULATION §150.0(C)2
- ANY WOOD STOVE OR PELLET STOVE WILL COMPLY WITH US EPA PHASE II EMISSION LIMITS 2019 CGC §4.503.1
- PLUMBING CONTRACTOR WILL PROVIDE THE CITY BUILDING INSPECTOR A SINGLE LINE DRAWING OF THE EXISTING AND NEW GAS LINES AND INDICATE THE DISTANCE FROM THE METER TO EACH GAS FIRED APPLIANCE PRIOR TO INSTALLATION. INCLUDE THE SIZE OF THE GAS PIPE TO EACH APPLIANCE AND BTU RATING OF EACH APPLIANCE. GAS PIP SIZING WILL BE SIZED PER TABLE 1216.2(1) IN THE 2019 CPC. NOTE: ANY INSTALLATION OF NEW GAS PIPING PRIOR TO PLAN CHECK APPROVAL IS AT THE RISK OF THE CONTRACTORS RISK.
- HOT WATER PIPING INSULATION §150.0 (J)2 A II
- LIGHTING - NEW MANDATORY REQUIREMENTS FOR INDOOR ROOMS §150.0 (K)
- RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.0 (C) 2
- REDUCE U-FACTOR (0.30) AND SHGC (0.20) FOR HIGH PERFORMANCE WINDOWS §150.1 (C) 3 A
- ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT STANDARDS. 2019 §4.504.2.1
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALL WILL BE RODENT-PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE, MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 2019 CGC § 4.406.1
- ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2019 CRC § TABLE R302.1 (1) OR 2019 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2019 CRC § R302.1 (1) OR 2019 CBC § 705.2.
- EXTERIOR BEARING WALLS LESS THAN 5' FROM THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE-RATED CONSTRUCTION. 2019 CRC TABLE R302.1 (1) § OR 2019 CBC. TABLE 602.
- REQUIRED: NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS.**
- PLUMBING - INDOOR WATER USE:**
 - THE EFFECTIVE FLUSH VOLUME OF WATER CLOSETS WILL NOT EXCEED **1.28 GAL/FLUSH (2019 CGC - 4.303.1.1) FOR DUAL FLUSH TOILETS AVERAGE TWO REDUCED FLUSHES WITH ONE FULL FLUSH**
 - THE EFFECTIVE FLUSH VOLUME OF URINALS WILL NOT EXCEED **0.125 GAL/FLUSH (2019 CGC - 4.303.1.2**
 - MAX. FLOW RATE FOR SHOWERS SHALL BE **1.8 GPM, @ 80 PSI (2019 4.303.1.3**
 - MAX. FLOW RATE FOR LAVATORY FAUCETS SHALL BE **1.2 GPM, @ 60 PSI (2019 CGC 4.303.1.4.1)**
 - MAX. FLOW RATE FOR KITCHEN FAUCETS SHALL BE **1.8 GPM, @ 60 PSI, CAN TEMPORARILY INCREASE TO 2.2 GPM, BUT MUST DEFAULT BACK TO MAX. FLOW RATE OF 1.8 GPM (2019 CGC 4.303.1.4.4).**

PLUMBING & HVAC NOTE:

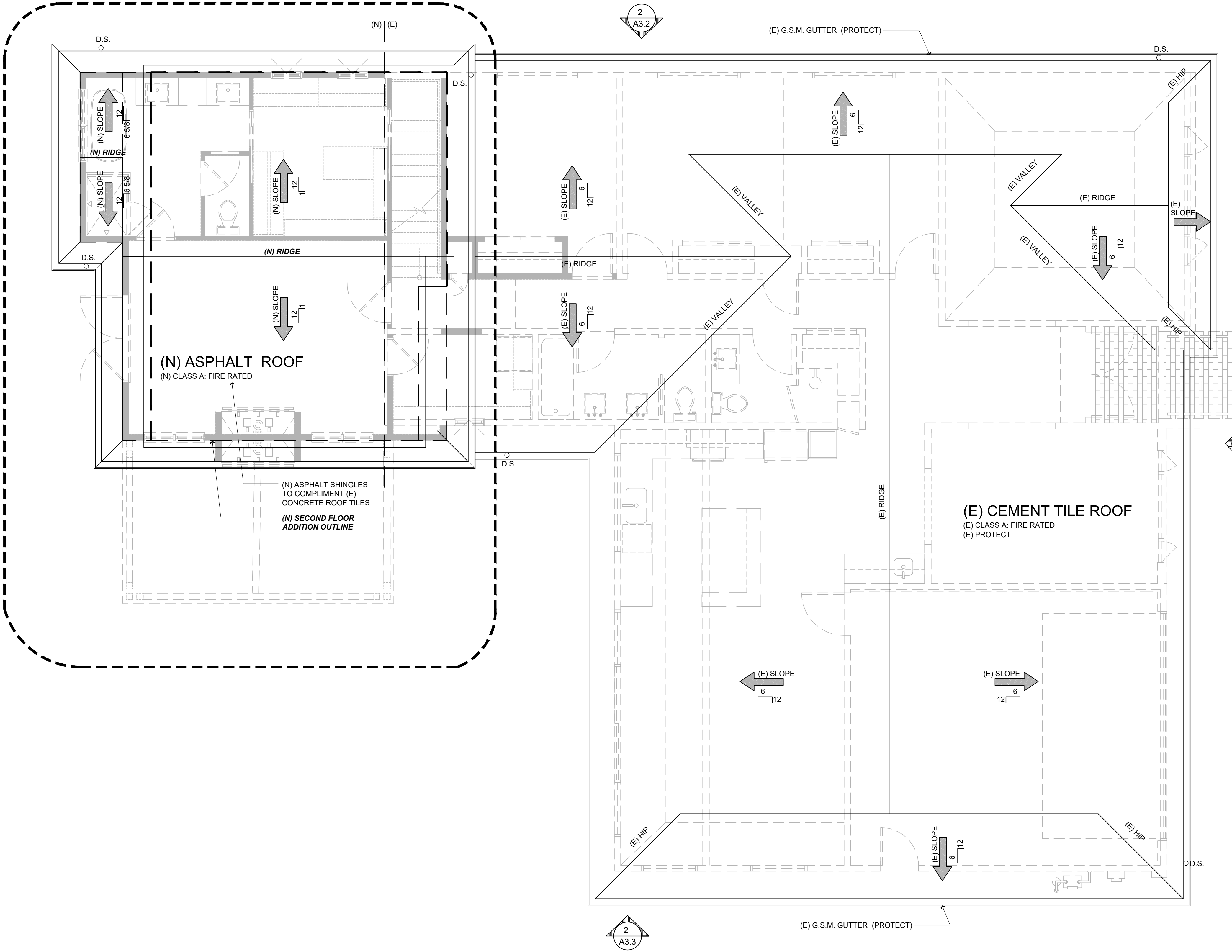
1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

VENTILATION CALC:

SQ. FT. OF (N) ROOF: 2,649.00 SQ. FT.

(N) 2,649/150 = 17.66 SQ. FT. OF VENTILATION IN EXISTING ROOF

(N) ROOF VENTS (27 ea. X .75 SQ. FT.) = 20.25 SQ. FT.
TOTAL VENTILATION INSTALLED = 20.25 SQ. FT.



PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"

Rev.:	Description :	Date :
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Contractor :

Owner : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

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OWNER'S REPRESENTATIVE
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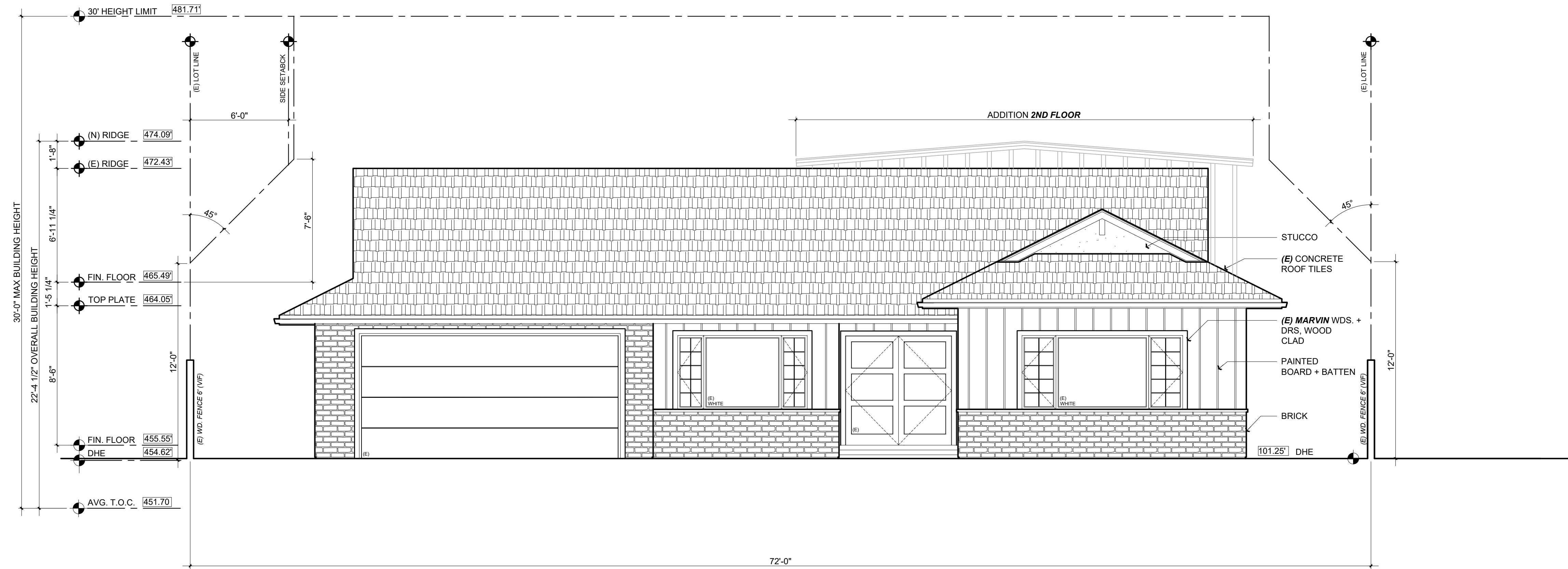
Title : Proposed Roof Plan

Project : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01
Drawn : TIM RAGUENZ
Date : 01.19.23

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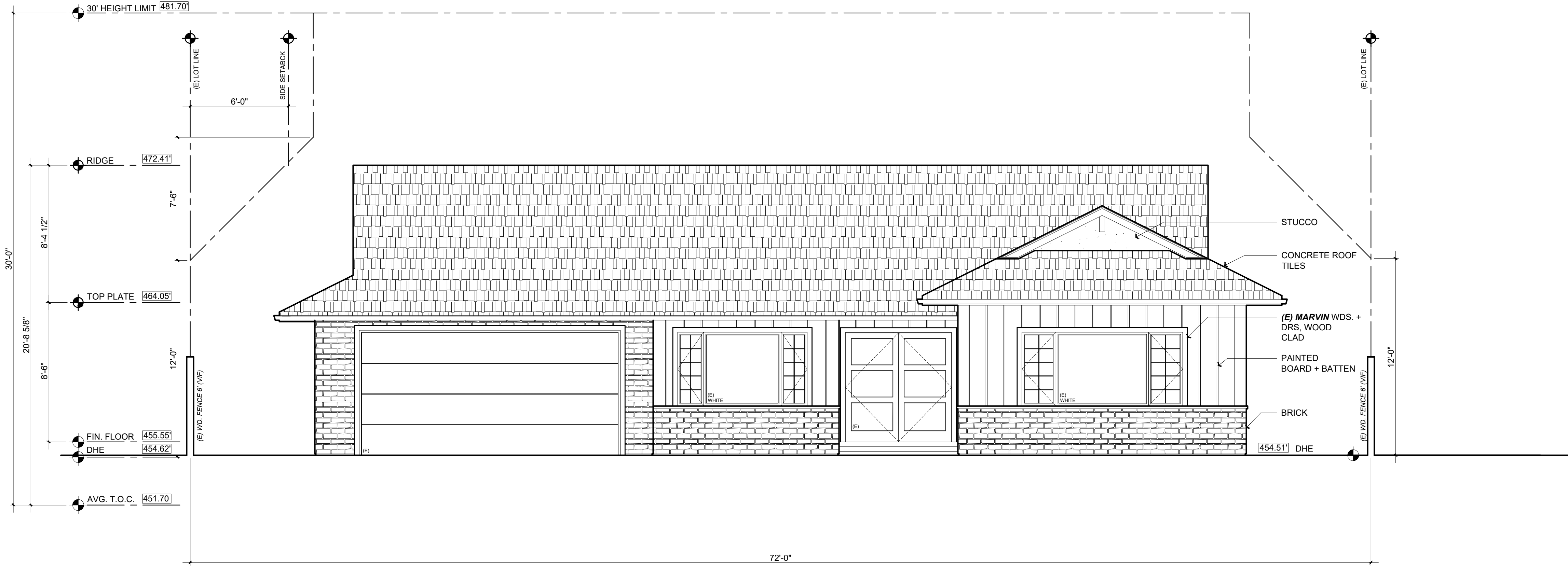
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EXISTING FRONT ELEVATION

Scale: 1/4" = 1'-0"

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A3.0



Title : Existing + Proposed Elevations

Project : MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01 Drawn : TIM RADJENZ Date : 01.19.23

Owner : MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010
Zoning: RESIDENTIAL

Contractor :
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EXISTING REAR ELEVATION

Scale: 1/4" = 1'-0"

1
A3.1



PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"

2
A3.1

Title : Existing + Proposed Elevations

Project : MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01 Drawn : TIM RADJENZ Date : 01.19.23

Contractor :

Owner :
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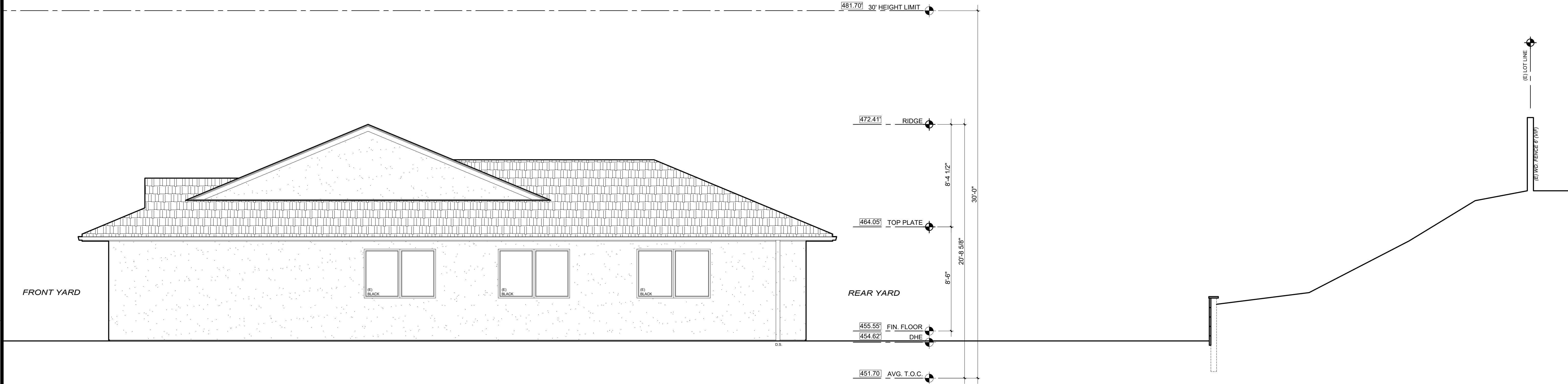
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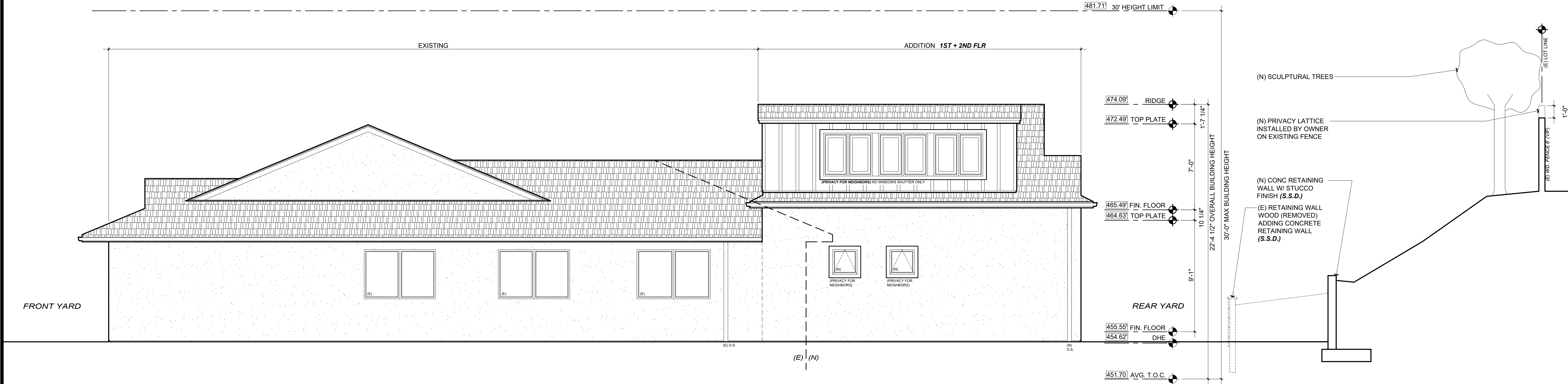
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EXISTING RIGHT ELEVATION

Scale: 1/4" = 1'-0"

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A3.2



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0"

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A3.2

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Owner :
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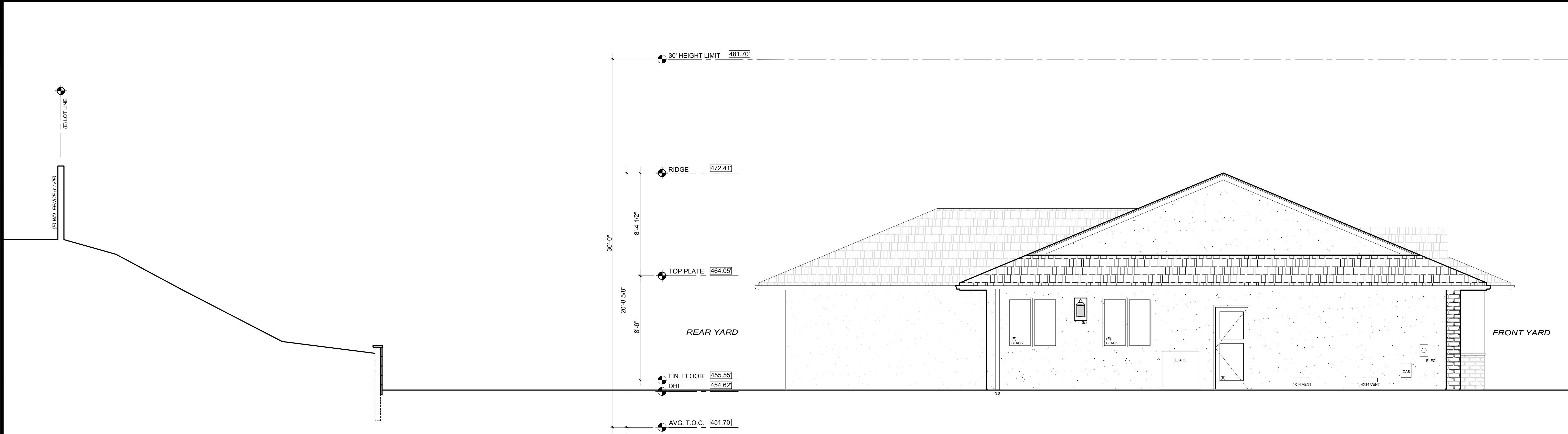
Tim Radenz

Title : Existing + Proposed Elevations

Project : MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01
Drawn : TIM RADENZ
Date : 01.19.23

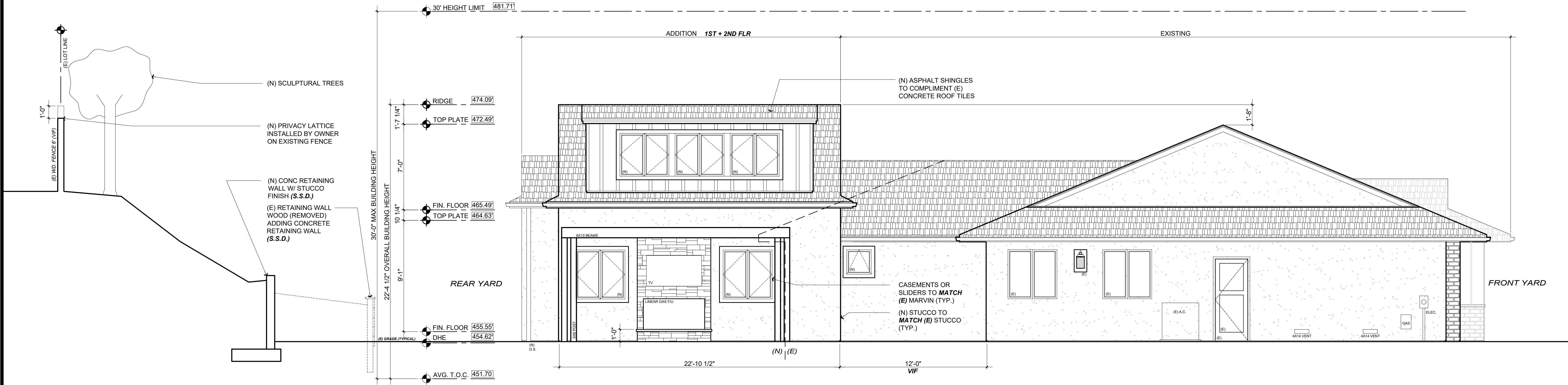
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EXISTING LEFT ELEVATION

Scale: 1/4" = 1'-0"

1
A3.3



PROPOSED LEFT ELEVATION

Scale: 1/4" = 1'-0"

2
A3.3

Revisions		
Rev.:	Description :	Date :
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Contractor :
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Zoning: RESIDENTIAL

Owner :
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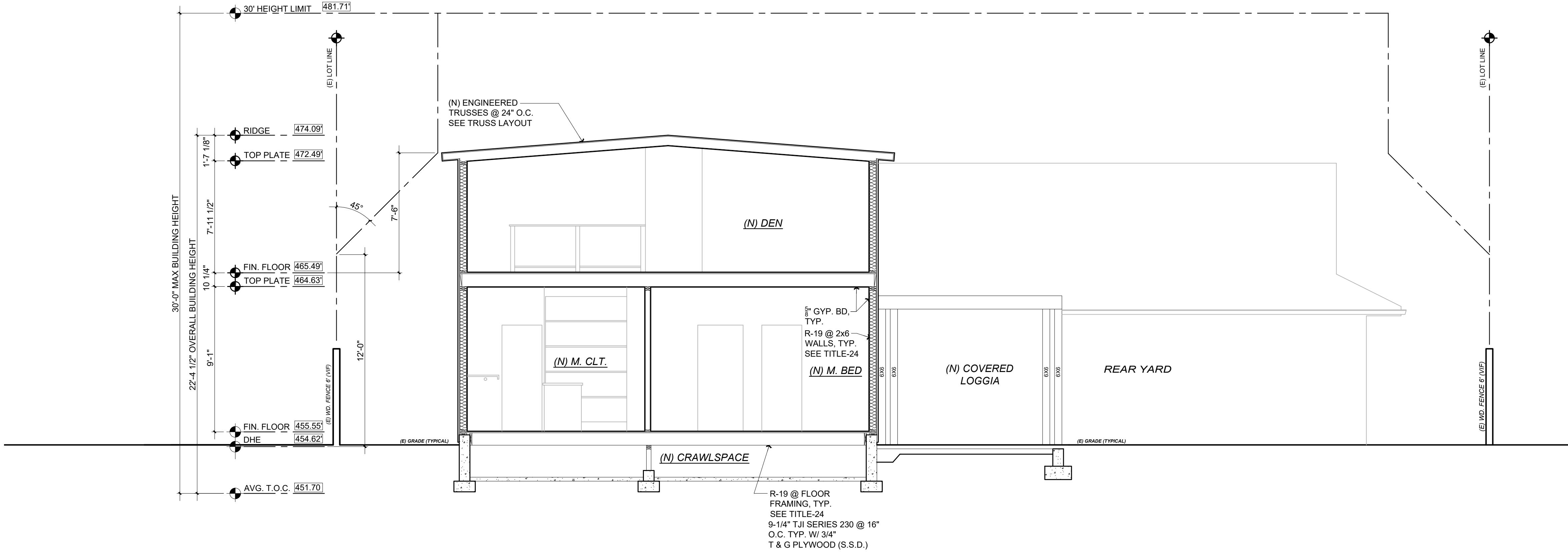


Title : Existing + Proposed Elevations
Project : MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010
Job No. : 22_01
Drawn : TIM RADENZ
Date : 01.19.23

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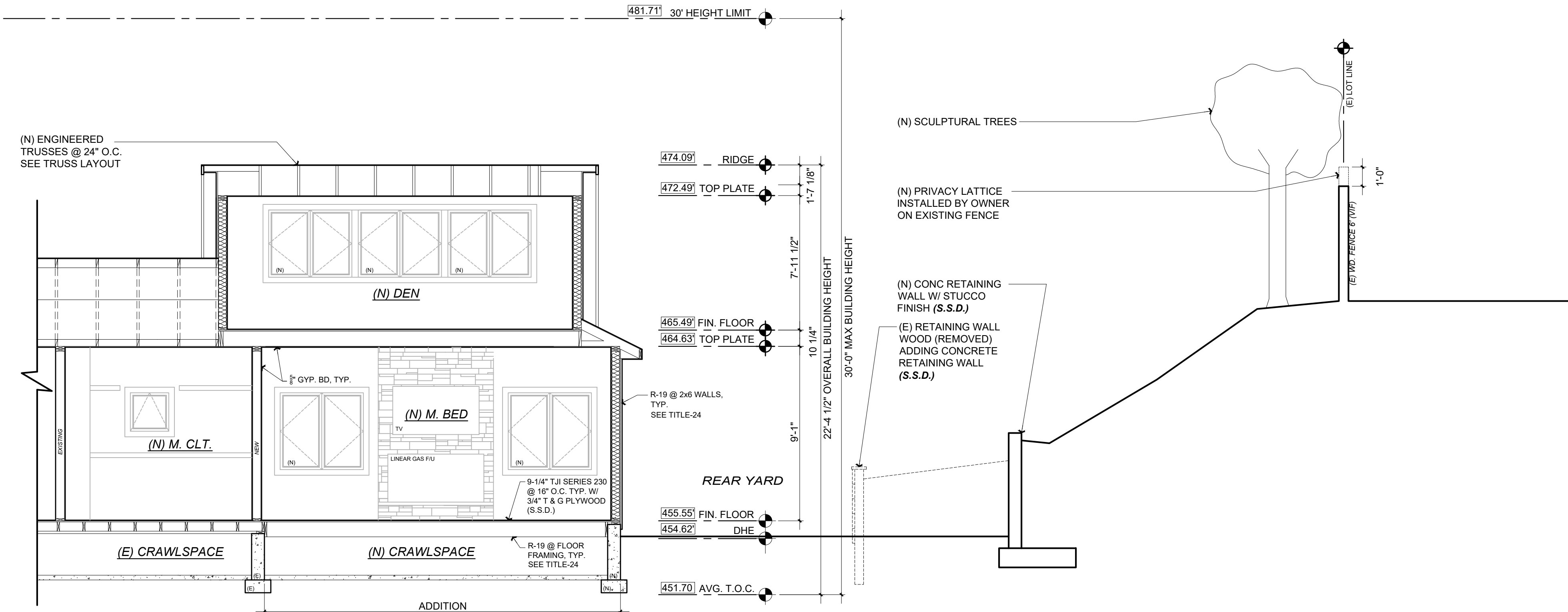
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PROPOSED BUILDING SECTION

Scale: 1/4" = 1'-0"

1
A4.0



PROPOSED BUILDING SECTION

Scale: 1/4" = 1'-0"

2
A4.0

Revisions		
Rev. #	Description	Date
001	RESPONSE TO COMMENTS FROM 05.03.2022	05.11.2022
002		
003		
004		
005		
006		

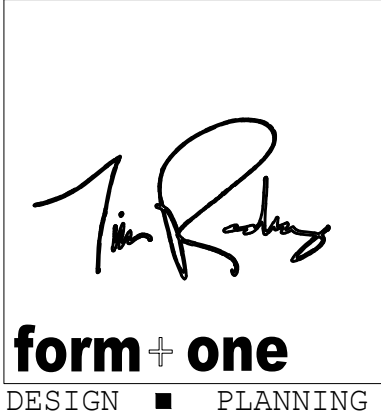
Contractor :

Owner :
MR. + MRS. YOUSEF
SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Zoning: RESIDENTIAL

APN#: 025-302-050

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

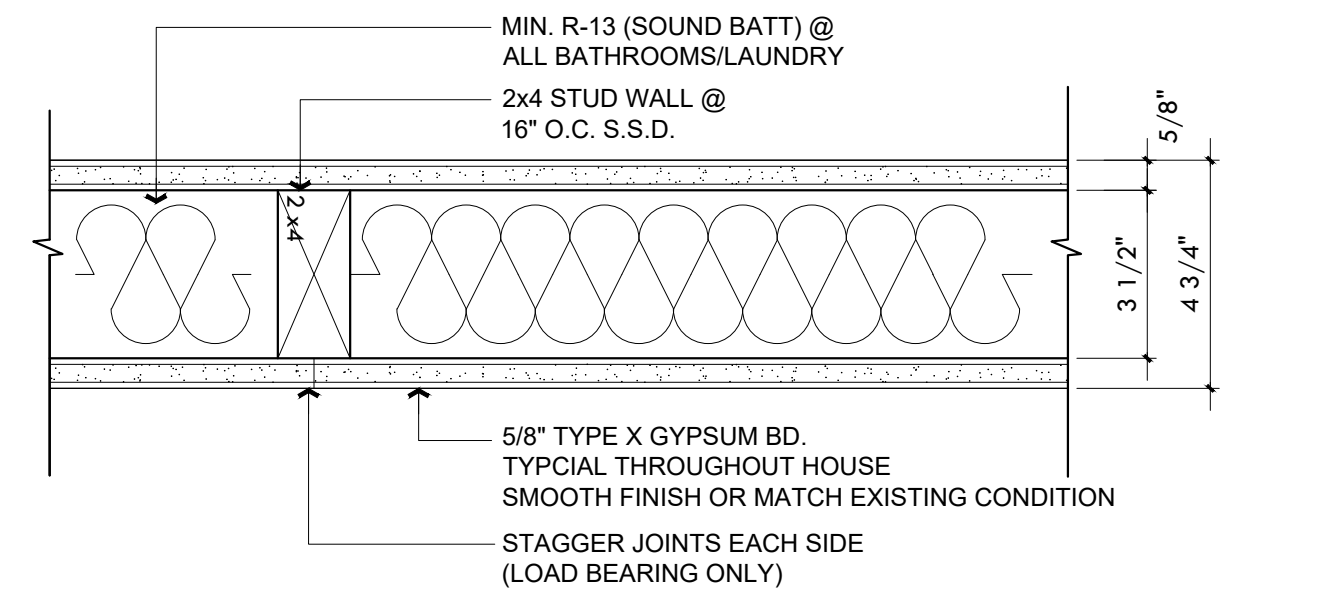


Title : Proposed Building Sections		
Project :	MR. + MRS. YOUSEF SHAMTEH 1829 SEBASTIAN DRIVE BURLINGAME, CA. 94010	Date :
Job No. :	22_01	Drawn : TIM RADIENZ
		Date : 01.19.23

A4.0

Sheet
Scale: See Details

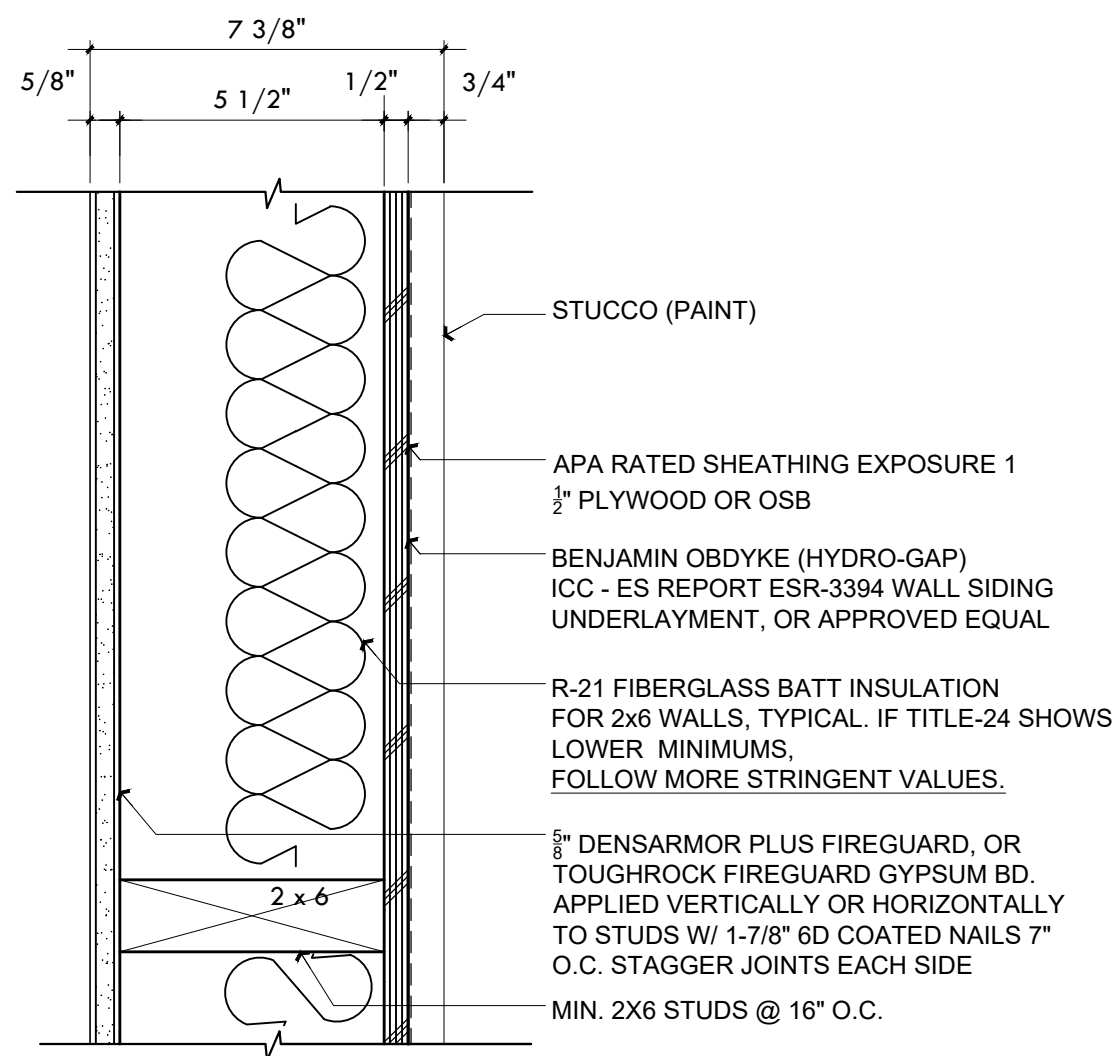
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INTERIOR WALL DTLS.

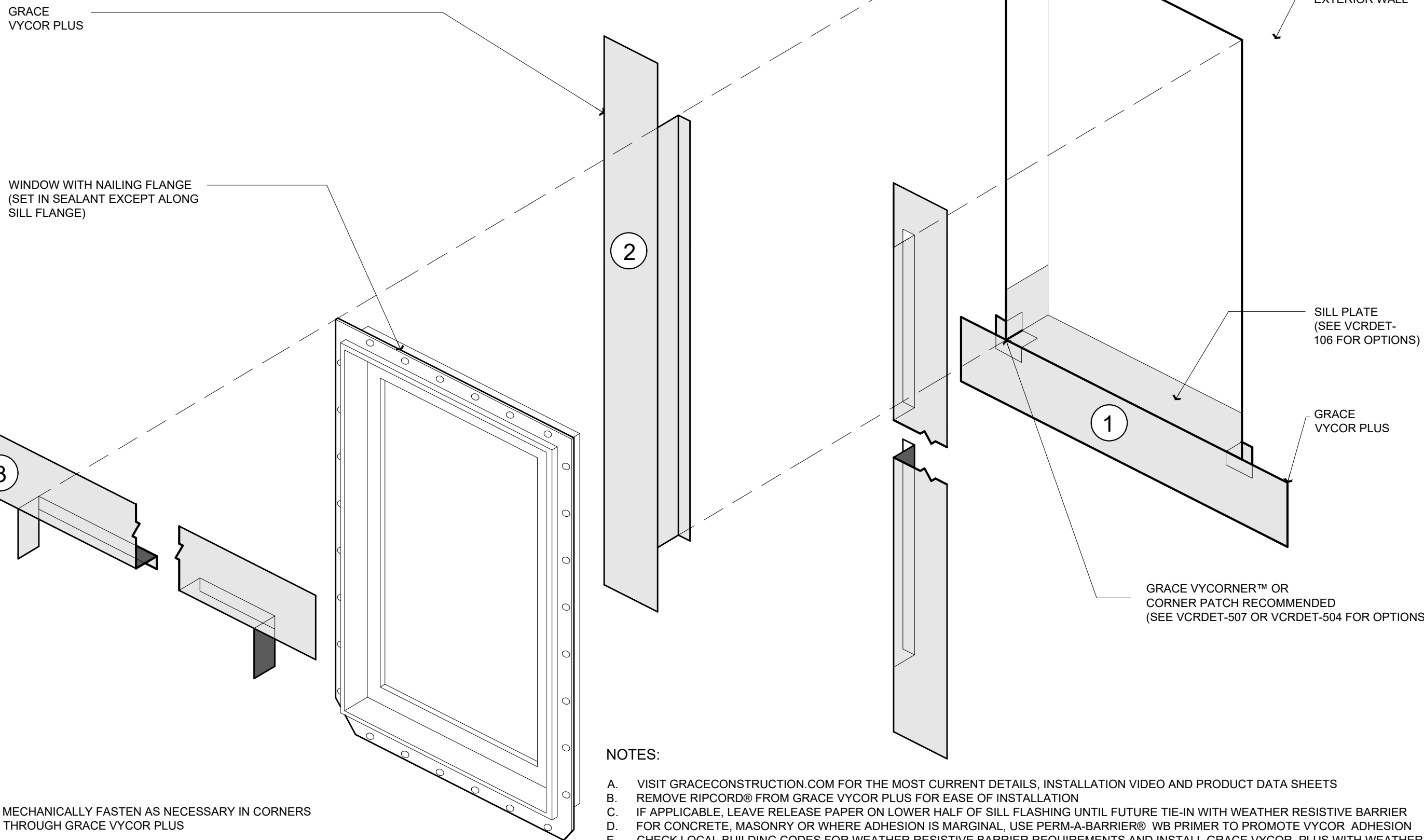
Scale: 3" = 1'-0"

1
A5.0



EXT. WALL DTLS.

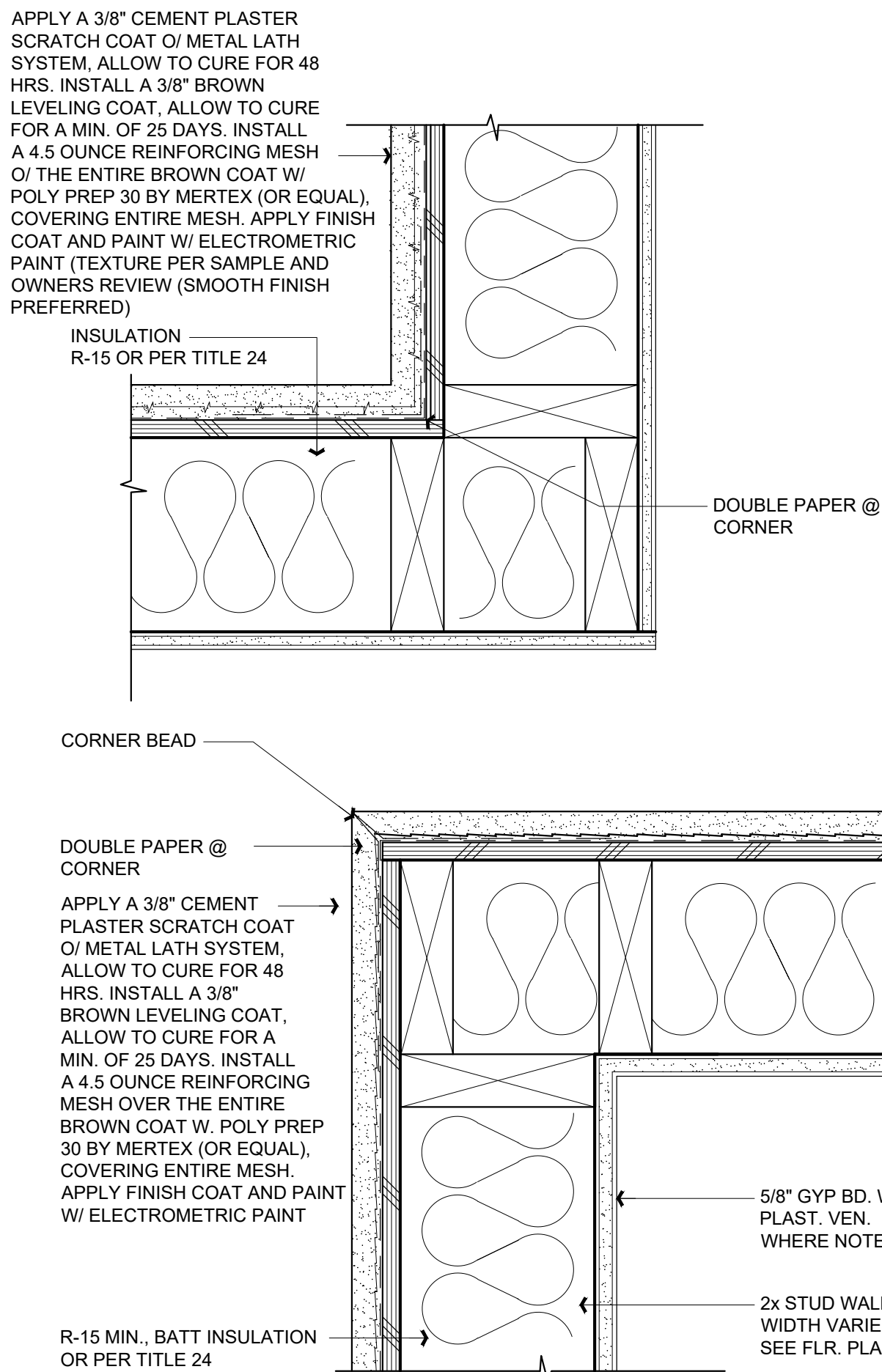
2
A5.0



WINDOW FLASHING DTLS.

NOTES:

- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- REMOVE RIFCORDER FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
- IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
- FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERMA-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
- CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
- INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
- DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

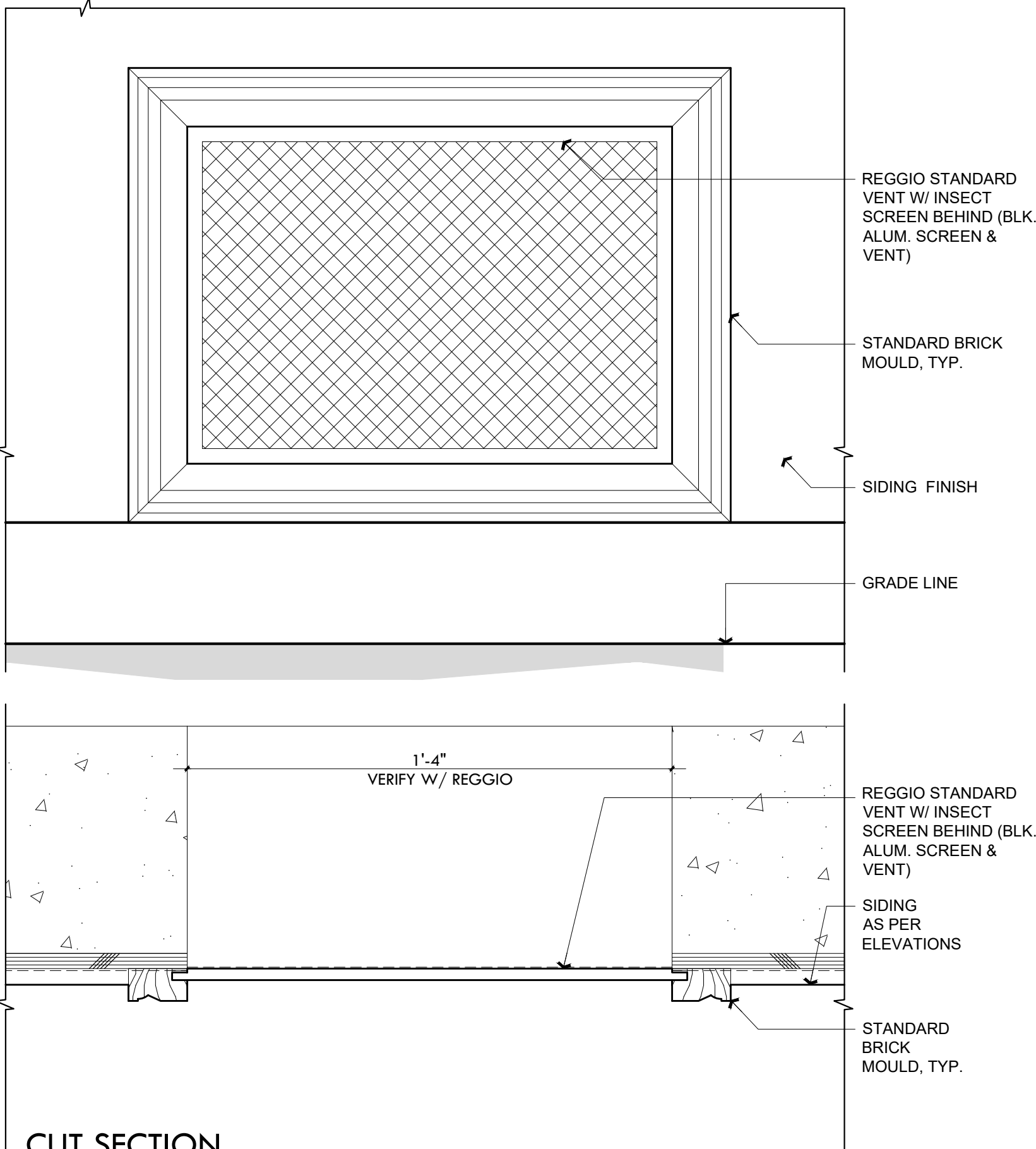


STUCCO EXT. WALL DETAILS

Scale: 3" = 1'-0"

5
A5.0

ELEVATION

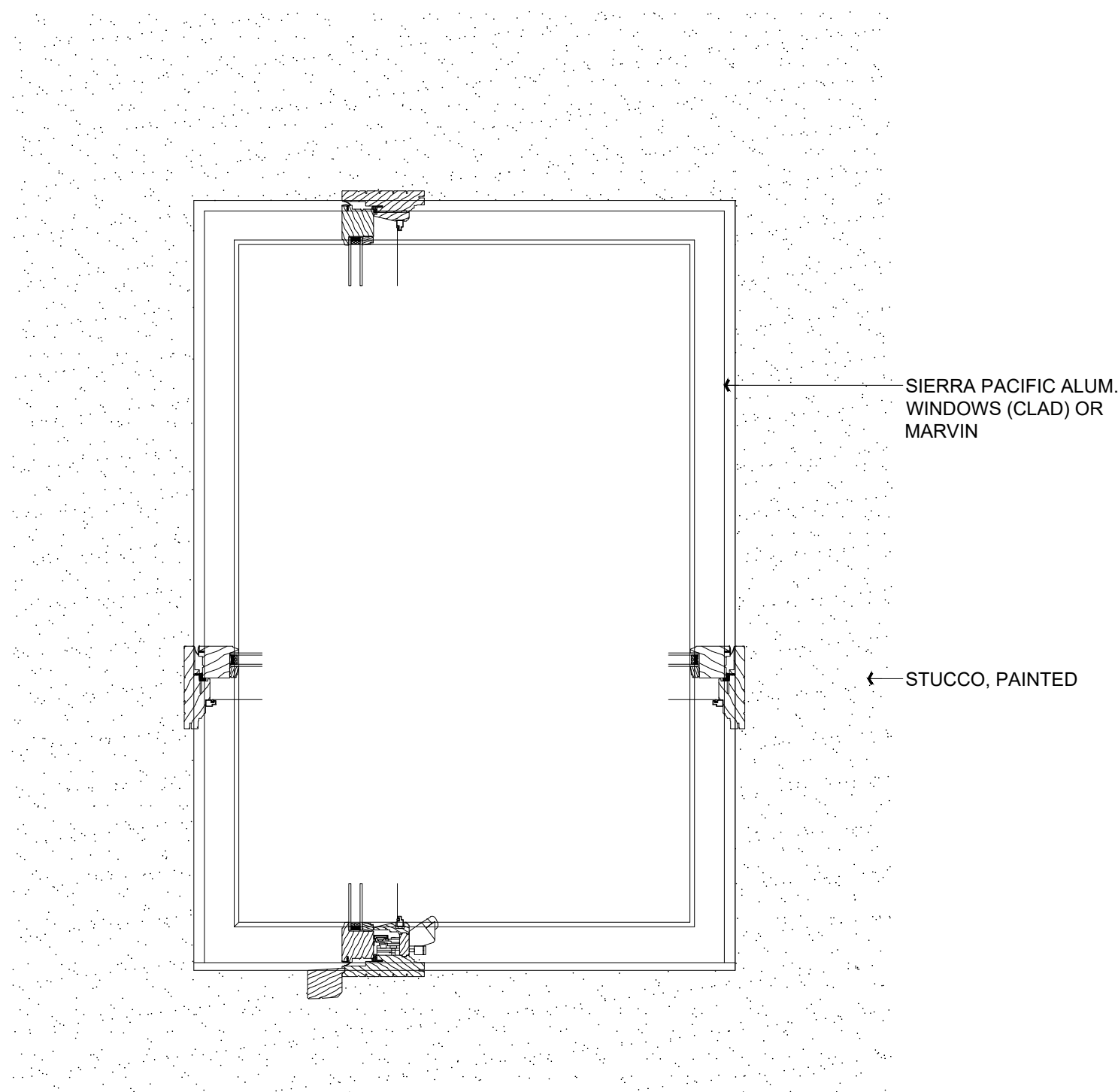


CUT SECTION

(N) EXT. WALL VENT DTLS.

Scale: 3" = 1'-0"

4
A5.0



TYPICAL WINDOW DETAIL [MATCH (E)]

Marvin

Scale: 3" = 1'-0"

6
A5.0

Title : Building Details

Project : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01 Drawn : TIM RADUENZ Date : 01.19.23

Contractor :

Owner : MR. + MRS. YOUSEF SHAMIEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Building SET
Planning SET

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
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form+one
DESIGN ■ PLANNING

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Sheet
Scale: See Details

A5.0

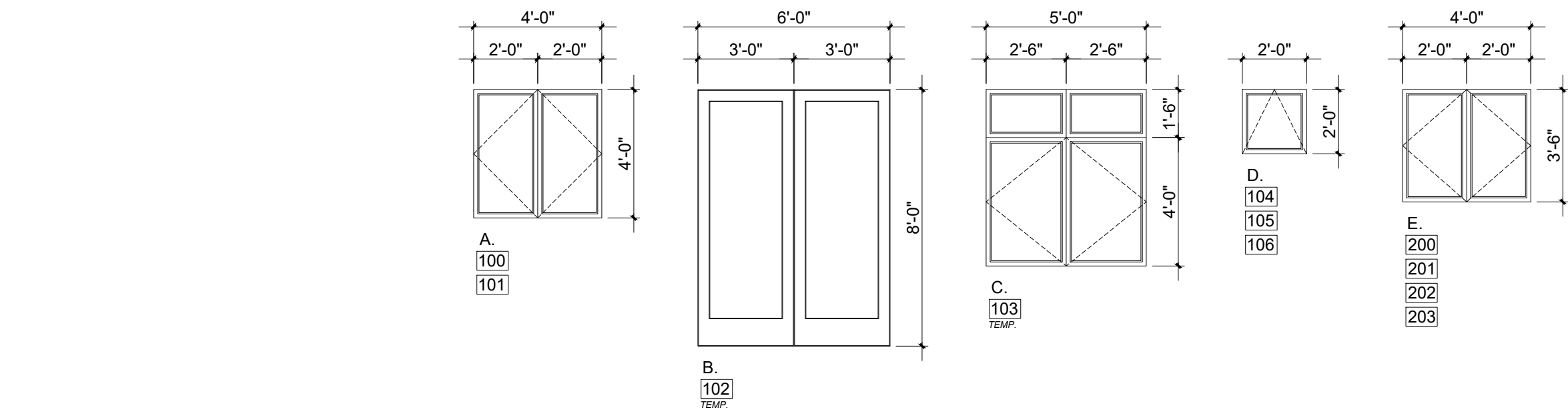
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ROOM FINISH SCHEDULE							
	PAINT						PAINT SPECS.
	ROOM	FLOORING	WALLS	CEILING	MILLWORK	CROWN	
MAIN FLOOR	BED-3	WOOD	TBS	TBS	PAINT (TBS)	TBS	INTERIORS: MAIN ROOMS: AURA, NATURA(GREEN OPTION), REGAL SELECT, OR APPROVED EQUIVALENT CEILINGS: WATERBORNE CEILING PAINT, OR APPROVED EQUIVALENT BATHROOMS: AURA BATH AND SPA, OR APPROVED EQUIVALENT EXTERIORS: HOUSE: AURA, REGAL SELECT, OR APPROVED EQUIVALENT CAL GREEN NOTES: 1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2 2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2019 CGC §4.504.2.4 3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2019 CGC §4.504.3 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4 5. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5 6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3 7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2019 CGC §4.504.2.1 8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q) 9. REDUCED U-FACTOR (0.30) FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A 10. MAX. TOTAL AREA, 20%, NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B 11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B
	M. BED	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. BATH	TILE	TBS	TBS	PAINT (TBS)	TBS	
	M. CLT	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. CLT-2	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
UPPER FLR	DEN	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
	-	-	-	-	-	-	
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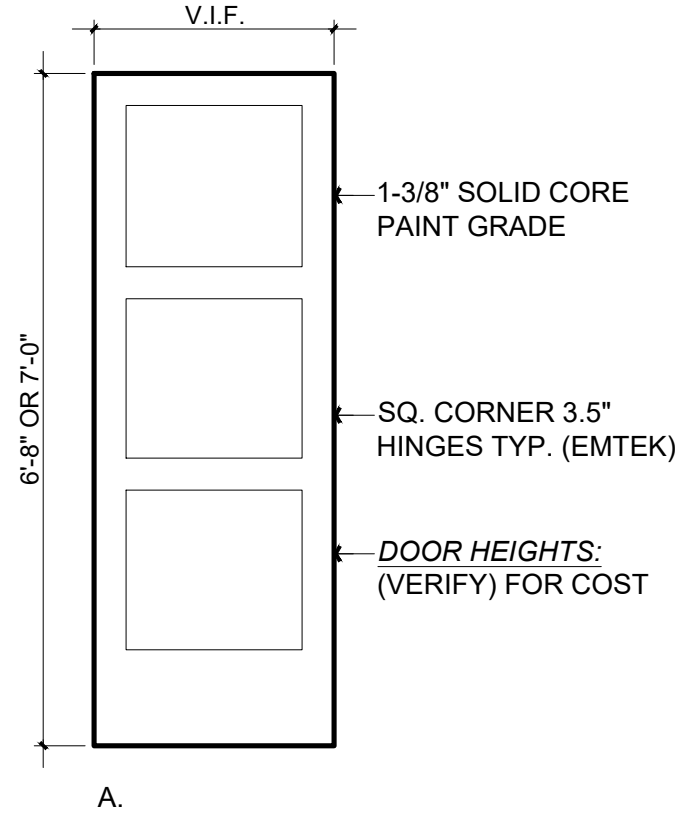
ROOM FINISH SCHEDULE							
							Scale: NA
							1 A9.0

EXTERIOR DOORS & WINDOWS																
LOCATION		DOORS				DETAILS				HOWR.		REMARKS		NOTES		
		DOOR SIZE WxH	TYPE	SYM.		MATERIALS CORE	EXT. FIN.	INT.FIN.	GLASS	HEAD	JAMB	SILL	TRIM	TYPE	FIN.	
GARAGE	100	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1. WOODCLAD SIERRA PACIFIC WINDOWS + DOORS, WITH S.D.L 3/4" MUNTIN BARS
	101	-	-	-	-	-	-	-	-	-	-	-	-	-	-	2. EGRESS PER CODE
	102	-	-	-	-	-	-	-	-	-	-	-	-	-	-	3. DOOR BY SIMPSON OR EQUAL, VERIFY DESIGN WITH OWNER & DESIGNER
	103	-	-	-	-	-	-	-	-	-	-	-	-	-	-	4. VERIFY OPENING SIZE W/ CONTRACTOR
MAIN FLOOR	104	M. BED	4'-0" X 4'-0"	CASEMENT	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	105	M. BED	4'-0" X 4'-0"	CASEMENT	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	106	M. BED	6'-0" X 8'-0"	FRENCH DR.	B	PINE	D.F. / P.T.	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	107	M. BATH	5'-0" X 5'-6"	CASE/TR	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	108	M. CLT	2'-0" X 2'-0"	AWN	D	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 5
	109	M. CLT	2'-0" X 2'-0"	AWN	D	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 5
	110	M. CLT-2	2'-0" X 2'-0"	AWN	D	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	111	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	112	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	113	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
SECOND FLOOR	200	DEN	4'-0" X 3'-6"	CASEMENT	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	201	DEN	4'-0" X 3'-6"	CASEMENT	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	202	DEN	4'-0" X 3'-6"	CASEMENT	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	203	DEN	4'-0" X 3'-6"	CASEMENT	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	204	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	205	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	206	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	207	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	208	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	209	-	-	-	-	-	-	-	-	-	-	-	-	-	-	

EXT. DOORS & WINDOWS SCHEDULE							
							Scale: NA
							2 A9.0



EXT. DOORS & WINDOWS ELEVATIONS							
							Scale: 1/4" = 1'-0"
							4 A9.0



INT. DOORS ELEVATIONS							
							Scale: 1/2" = 1'-0"
							5 A9.0

APPLIANCE SCHEDULE							
NOTE: ALLOWANCE AND INSTALLED BY ALLOWANCE, CONTRACTOR TO INCLUDE BLOCKING / ROUGH-IN AS NEEDED PER SPEC. SHEETS							

	ROOM	APPLIANCE TYPE	MANUF.	FINISH	MODEL #	REMARKS
FIRST FLOOR	-	-	-	-	-	-
	-	-	-	-	-	-
	-	-	-	-	-	-
	-	-	-	-	-	-
	-	-	-	-	-	-
SECOND FLOOR	-	-	-	-	-	-
	-	-	-	-	-	-
	-	-	-	-	-	-

APPLIANCE SCHEDULE							
							Scale: NA
							6 A9.0

Revisions		
Rev. #	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :
MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Owner :
MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Zoning: RESIDENTIAL

APN#: 025-302-050

BUILDING SET
PLANNING SET

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

form+one
DESIGN ■ PLANNING

Tim Radienz

Title : Finish Schedule

Project : MR. + MRS. YOUSEF SHAMTEH
1829 SEBASTIAN DRIVE
BURLINGAME, CA. 94010

Job No. : 22_01
Drawn : TIM RADIENTZ
Date : 01.19.23

A9.0

Sheet
Scale: See Details

RESIDENTIAL LANDSCAPE PLAN

Plan Prepared by
Muzik Design Studio
Agnes Tung
(239) 410-9251
agnesyung@gmail.com

06/15/2022

Anigozanthos
Kangaroo Paw
Size: 4'Hx3'W
Water: L
Growth: Fast

Site Plan: Boundary & topographic survey by Quiet River, dated 2/23/22
Plant photo: online images
Water Usage: WUCOLS IV, Div. of Agriculture and Natural Resources, Univ. of California

