

TEL 510.836.5400 URL lowneyarch.com
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50 BRODERICK RD,
BURLINGAME, CA 94010

NOT FOR
CONSTRUCTION

[illegible]

CITY OF BURLINGAME
CDD-PLANNING DIVISION

COVER SHEET

G000

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ZONING DATA	
PROJECT ADDRESS	50 BRODERICK RD, BURLINGAME, CA 94010
ASSESSOR'S PARCEL #	025166110
ZONING DISTRICT	RRMU - Rollins Road Mixed Use
LOT AREA	282,312 SF (6.48ACRES)
LOT COVERAGE	11.6 %

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COMMERCIAL RECREATIONAL, LARGE		
CRITERIA	REQUIRED	PROVIDED ^A
1 SPACE / 500 SF (33,200 SF/500SF = 66.4)	67 SPACES	73 SPACES

GROSS BUILDING AREA PROVIDED	
Name	AREA
LOBBY ENTRY	4,706 SF
TRAINING	28,475 SF
	33,180 SF

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BUILDING CODE: FLOOR AREA

THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING OR PORTION THEREOF, EXCLUSIVE OF VENT SHAFTS AND COURTS. THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.

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CODE BREAKDOWN		
CHAPTER 3: OCCUPANCY CLASSIFICATION AND USE		
OCCUPANCY CLASSIFICATION	A	
ACCESSORY OCCUPANCIES	B, M	
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS		
	ALLOWABLE	PROVIDED
BUILDING HEIGHT (TABLE 504.3)	75'	29' (EXISTING)
NUMBER OF STORIES (TABLE 504.4)	3	1 (EXISTING)
SPRINKLED	YES	
CHAPTER 6: TYPES OF CONSTRUCTION		
CONSTRUCTION TYPE(S)	IIIB	
FIRE RATING (CBC TABLE 601)		
PRIMARY STRUCTURAL FRAME (EXISTING)	0	
EXTERIOR BEAMING WALLS (EXISTING)	2	
INTERIOR BEAMING WALLS (EXISTING)	0	
NONBEARING WALLS, INTERIOR	0	
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY		
STRUCTURAL MEMBERS	0	
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY		
STRUCTURAL MEMBERS	0	

OCCUPANCY CLASSIFICATION	A	
ACCESSORY OCCUPANCIES	B, M	
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STRUCTURAL MEMBERS	0

100

APPLICABLE CODES

CALIFORNIA CODE OF REGULATIONS (CCR)

2022 TITLE 24, PART 1 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
2022 TITLE 24, PART 2 - CALIFORNIA BUILDING CODE
2022 TITLE 24, PART 3 - CALIFORNIA ELECTRICAL CODE
2022 TITLE 24, PART 4 - CALIFORNIA MECHANICAL CODE
2022 TITLE 24, PART 5 - CALIFORNIA PLUMBING CODE
2022 TITLE 24, PART 6 - CALIFORNIA ENERGY CODE
2022 TITLE 24, PART 9 - CALIFORNIA FIRE CODE
2022 TITLE 24, PART 10 - CALIFORNIA EXISTING BUILDING CODE
2022 TITLE 24, PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 TITLE 24, PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

ACCESSIBILITY: CBC 11B

ALL CONSTRUCTION TO COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

PROJECT WILL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, AND 2022 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889.

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PROJECT DATA

SHEET NUMBER

G003

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GENERAL NOTES

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FIRE PROTECTION NOTES

1. ALL CONSTRUCTION TO CONFORM TO THE 2022 CALIFORNIA BUILDING CODE, CONSISTING OF THE: 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), AS WELL AS 2022 CALIFORNIA ENERGY STANDARDS.
2. ALL WORK SHALL CONFORM TO THE CONTRACT WHICH INCLUDES THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL AND SUPPLEMENTARY CONDITIONS, AND THE SPECIFICATIONS), THE DRAWINGS, AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
3. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN PRIOR TO SUBMITTING COST PROPOSAL. ANY CONFLICT OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE OWNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. FAILURE TO REPORT CONFLICT OR OMISSIONS WILL NOT RESULT IN ADDITIONAL COSTS TO OWNER.
4. IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND CONSULTANTS' DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHOULD BE CONTACTED.
5. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY HAZARDOUS MATERIALS ON THE JOBSITE. IF ANY HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
6. ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE AND CONFORM TO BUILDING'S RULES AND REGULATIONS. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE ON AN OVERTIME, NON-REGULAR BUSINESS HOUR BASIS TO BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL UTILITIES DETERMINED, IN THE COURSE OF CONSTRUCTION, AS BEING NECESSARY TO BE REMOVED, WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT AND OWNER'S REPRESENTATIVE. WHETHER PREDETERMINED IN THE CONSTRUCTION DOCUMENTS OR DETERMINED LATER IN FIELD, DISCONNECT, CUT BACK TO SOURCE, AND CAP ALL UTILITY SERVICES REMOVED. SEAL ALL PENETRATIONS CREATED BY REMOVAL OF UTILITIES TO MATCH ADJACENT CONSTRUCTION AND FINISHES.
8. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLACE.
9. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
10. "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATIONS ON PLANS AND ELEVATIONS.
11. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
12. WORK AREAS ARE TO REMAIN CLEAR, SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE TO ENSURE SECURITY.
13. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS OR CONSTRUCTION. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED. CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE IN AT THE END OF THE PROJECT. THIS SHALL INCLUDE CLEANING OF ALL INTERIOR AND EXTERIOR GLASS AND FRAMES, BOTH NEW AND EXISTING.
14. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, LOCAL) GOVERNING THE WORK. THE MOST STRINGENT ORDINANCES, RULES AND REGULATIONS SHALL APPLY.
15. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, WHAT IS SHOWN OR REFERRED TO ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
16. SUBSTITUTIONS, REVISION OR CHANGES MUST BE SUBMITTED TO OWNER FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION OR OWNER WILL NOT BE LIABLE FOR PAYMENT.
17. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
18. ALL WORK SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES DURING ALL PHASES OF WORK. MINIMUM DISTURBANCE OF EXISTING BUILDING FUNCTIONS AND OCCUPANTS IS ESSENTIAL.
19. THE SCOPE OF WORK AND ADJACENT AREAS SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
20. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PROCEEDING.
21. ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
22. CONTRACTOR SHALL CONFIRM DURING THE PRICING PERIODS ON-SITE DELIVERY DATES OF ALL MATERIALS SPECIFIED IN THE CONTRACT DOCUMENTS AND IMMEDIATELY NOTIFY THE OWNER IN WRITING OF POTENTIAL DELAYS TO THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION, THE OWNER WILL NOT ENTERTAIN ANY REQUESTS FOR MATERIAL SUBSTITUTION.
23. PRESERVE AND MAINTAIN EXISTING EXITS DURING DEMOLITION AND CONSTRUCTION PHASES.
24. PROVIDE EXIT ILLUMINATION & SIGNS PER CBC SEC. 1006 & 1011.
25. ALL WORK SHALL MEET FEDERAL, STATE, AND LOCAL BUILDING CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION IN ADDITION TO ADA REQUIREMENTS.
27. THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF WORK AND MECHANICAL OR ELECTRICAL DISRUPTIONS TO BUILDING SERVICES.
28. REVIEW MECHANICAL SYSTEM TO DETERMINE IF RETURN AIR PLENUMS EXIST. WHERE APPLICABLE, MATERIALS EXPOSED IN RETURN AIR PLENUMS MUST MEET THE SPECIFIC REQUIREMENT FOR SUCH AN APPLICATION IN THE NATIONAL ELECTRICAL CODE AND UNIFORM MECHANICAL CODE. THIS INCLUDES THE TELEPHONE AND COMPUTER CABLES.
29. THE MAXIMUM FLAMESPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE LIMITS SET FORTH IN CBC SEC. 803.1 & TABLE 803.9. IN ADDITION, CARPETING OR SIMILAR MATERIAL HAVING A NAPPED, TUFTED, LOOPED OR SIMILAR SURFACE AS WALL OR CEILING FINISH MUST HAVE A CLASS A FLAMESPREAD CLASSIFICATION.
30. PROVIDE LOCK BOX AS REQUIRED BY FIRE INSPECTOR.
31. ALL SEAMS, GAPS, CRACKS, AND CREVICES IN MILLWORK, TRIM, KITCHEN EQUIPMENT ATTACHED TO WALLS, BASE TILE, ETC. ARE TO BE COMPLETELY FILLED WITH CLEAR SILICONE TO OWNER'S APPROVAL.
32. ALL DIMENSIONS ARE TO FACE OF FINISH UON
33. DO NOT SCALE DRAWINGS, NOTIFY ARCHITECT BEFORE PROCEEDING. FLOOR PLAN BY ARCHITECT SUPERCEDES OTHER PLANS. VERIFY EXACT LOCATIONS IN FIELD.
34. ALL DOOR OPENINGS OFFSET FROM PERPENDICULAR WALL 3" OR CENTERED IN SPACE, UON
35. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION.
36. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE-PROTECTION, AND DESIGN/BUILD CONTRACTORS AND SUBMIT ALL DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
37. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL SHOP DRAWINGS, FOR FABRICATED ITEMS, CATALOG CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR TO THE ARCHITECT FOR APPROVAL TWO (2) WEEKS PRIOR RELEASE FOR FABRICATION / PURCHASING.
38. WHERE INDICATED, REFER TO ENLARGED PLANS FOR WALL TYPES, DIMENSION, SPOT ELEVATIONS AND DETAIL REFERENCES
39. PROVIDE REQUIRED PROTECTION FOR THROUGH PENETRATION AND MEMBRANE PENETRATIONS OF FIRE-RESISTANCE-RATED WALL ASSEMBLIES (CBC 714.3) AND RESISTANCE RATED FLOOR/CEILING HORIZONTAL ASSEMBLIES (CBC 714.4)

Calculations - CBC 1004 Occupant Load (USING OCCUPANCY DENSITY PER EQUIPMENT)										Calculations - CPC Table 4-1 Plumbing Occupancy Load				
Area Name	Occupancy per Chapter 3	CBC TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT				occupancy load	Required Egress Width for Stairs CBC 1005.3.1	Required Egress Width CBC 1005.3.2	Provided Egress Width	Name	CPC_OCC_LOAD_TYPE	CPC_Area per occupant	Area	CPC_CC_Count
		Function of Space	Area per Occupant	Area	Occupant Load									
RESTROOMS		(none)		341 SF	0	0.0	0"	0"	6'	BREAK AREA	without fixed seats: Conference, dining/drinking, lounge (portable seating/table space)	30 SF	288.5 SF	9.62
SHOWERS		(none)		523 SF	0	0.0	0"	0"	6'	LOBBY	without fixed seats: Conference, dining/drinking, lounge (portable seating/table space)	30 SF	746.93 SF	24.90
BREAK AREA	A-2 ASSEMBLY	Assembly without Fixed Seats: Unconcentrated	15 SF	289 SF	19	19.2	6"	4"	3'	SEATING	without fixed seats: Conference, dining/drinking, lounge (portable seating/table space)	30 SF	530.18 SF	17.67
CIRCULATION	A-2 ASSEMBLY	Training & Adjacent	225.8 SF	3,446 SF	15	15.3	5"	3"	3'				1,565.61 SF	52.19
LOBBY	A-2 ASSEMBLY	Assembly without Fixed Seats: Unconcentrated	15 SF	747 SF	50	49.8	15"	10"	6'	Business				
LOCKER	A-2 ASSEMBLY	Locker Rooms	50 SF	1,025 SF	20	20.5	6"	4"	3'	CHECK IN	office, sales/soliciting, administration, food processing, courtroom, ambulatory clinic	150 SF	219.37 SF	1.46
SEATING	A-2 ASSEMBLY	Assembly without Fixed Seats: Unconcentrated	15 SF	530 SF	36	35.3	11"	7"	6'	EMPLOYEE	office, sales/soliciting, administration, food processing, courtroom, ambulatory clinic	150 SF	426.02 SF	2.81
RENTAL	A-4 ASSEMBLY	Training & Adjacent	225.8 SF	494 SF	2	2.2	1"	0"	3'	OFFICE	office, sales/soliciting, administration, food processing, courtroom, ambulatory clinic	150 SF	301.04 SF	2.04
CHECK IN	B BUSINESS	Business Areas	150 SF	219 SF	1	1.5	0"	0"	6'	RETAIL	office, sales/soliciting, administration, food processing, courtroom, ambulatory clinic	150 SF	460.55 SF	3.07
EMPLOYEE	B BUSINESS	Business Areas	150 SF	426 SF	3	2.8	1"	1"	3'	TRAINING	office, sales/soliciting, administration, food processing, courtroom, ambulatory clinic	150 SF	897.37 SF	5.98
OFFICE	B BUSINESS	Business Areas	150 SF	301 SF	2	2.0	1"	0"	6'				2,304.36 SF	15.36
TRAINING	B BUSINESS	Exercise Rooms	50 SF	897 SF	18	17.9	5"	4"	6'	Mercantile				
EQU. RACK	M MERCANTILE	Mercantile: Storage, Stock, and Shipping Areas	300 SF	840 SF	3	2.8	1"	1"	3'	EQU. RACK	wholesale, retail	100 SF	840.26 SF	8.40
RETAIL	M MERCANTILE	Kitchens: Commercial	200 SF	461 SF	2	2.3	1"	0"	6'				840.26 SF	8.40
ELECTRICAL	U UTILITY	Accessory storage areas, mechanical equipment room	300 SF	36 SF	0	0.1	0"	0"	6'	Training				
UTILITIES	U UTILITY	Accessory storage areas, mechanical equipment room	300 SF	41 SF	0	0.1	0"	0"	6'	CIRCULATION	Ski Equipment - Adjacent	225.8 SF	3,446.02 SF	15.26
				10,616 SF	171	171.9	51"	34"		EXTRA BEGINNER	Ski Equipments	225.8 SF	706.96 SF	24
										LOCKER	Ski Equipment - Adjacent	225.8 SF	1,024.71 SF	4.54
										RENTAL	Ski Equipment - Adjacent	225.8 SF	494.13 SF	2.19
										SIMULATOR/ BALANCED EQUIP	Ski Equipments	225.8 SF	1,111.62 SF	62
EXTRA BEGINNER	TRAINING	Training & Adjacent	225.8 SF	707 SF	24	3.1	1"	1"	3'	SKI TREADMILL -1	Ski Equipments	225.8 SF	5,371.82 SF	16
SIMULATOR/ BALANCED EQUIP	TRAINING	Training & Adjacent	225.8 SF	1,112 SF	6	4.9	2"	1"	3'	SKI TREADMILL -2	Ski Equipments	225.8 SF	2,636.88 SF	8
SKI TREADMILL -1	TRAINING	Training & Adjacent	225.8 SF	5,372 SF	16	23.8	7"	5"	3'	SMD-1	Ski Equipments	225.8 SF	9,550.84 SF	32
SKI TREADMILL -2	TRAINING	Training & Adjacent	225.8 SF	2,637 SF	8	11.7	4"	2"	3'	TRAMPOLINE	Ski Equipments	225.8 SF	1,857.21 SF	83
SMD-1	TRAINING	Training & Adjacent	225.8 SF	9,551 SF	32	42.3	13"	8"	3'				26,200.2 SF	116.03
TRAMPOLINE	TRAINING	Training & Adjacent	225.8 SF	1,857 SF	8	8.2	2"	2"	3'				30,910.43 SF	191.98
				21,235 SF	94	94.0	28"	19"			PLUMBING CODE, TABLE 422.1			
				31,852 SF	265	266.0	80"	53"						

Occupancy - Density per Equipment (Area/ppl)		
EQUIPMENT	AREA	ALLOWABLE PEOPLE
EXTRA BEGINNER	707 SF	24
SIMULATOR/ BALANCED EQUIP	1,112 SF	6
SKI TREADMILL -1	5,372 SF	16
SKI TREADMILL -2	2,637 SF	8
SMD-1	9,551 SF	32
TRAMPOLINE	1,857 SF	8
Grand total: 7	21,235 SF	94

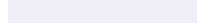
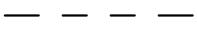
****Circulation Calculation using Density of Equipment (Area per occupant):**

21,228 SF/ 94 ppl = 225.8 SF per occ.

STAIR WIDTH	(2) EXITS REQUIRED
112" PROVIDED	27" PER EXIT (ROUNDED UP)

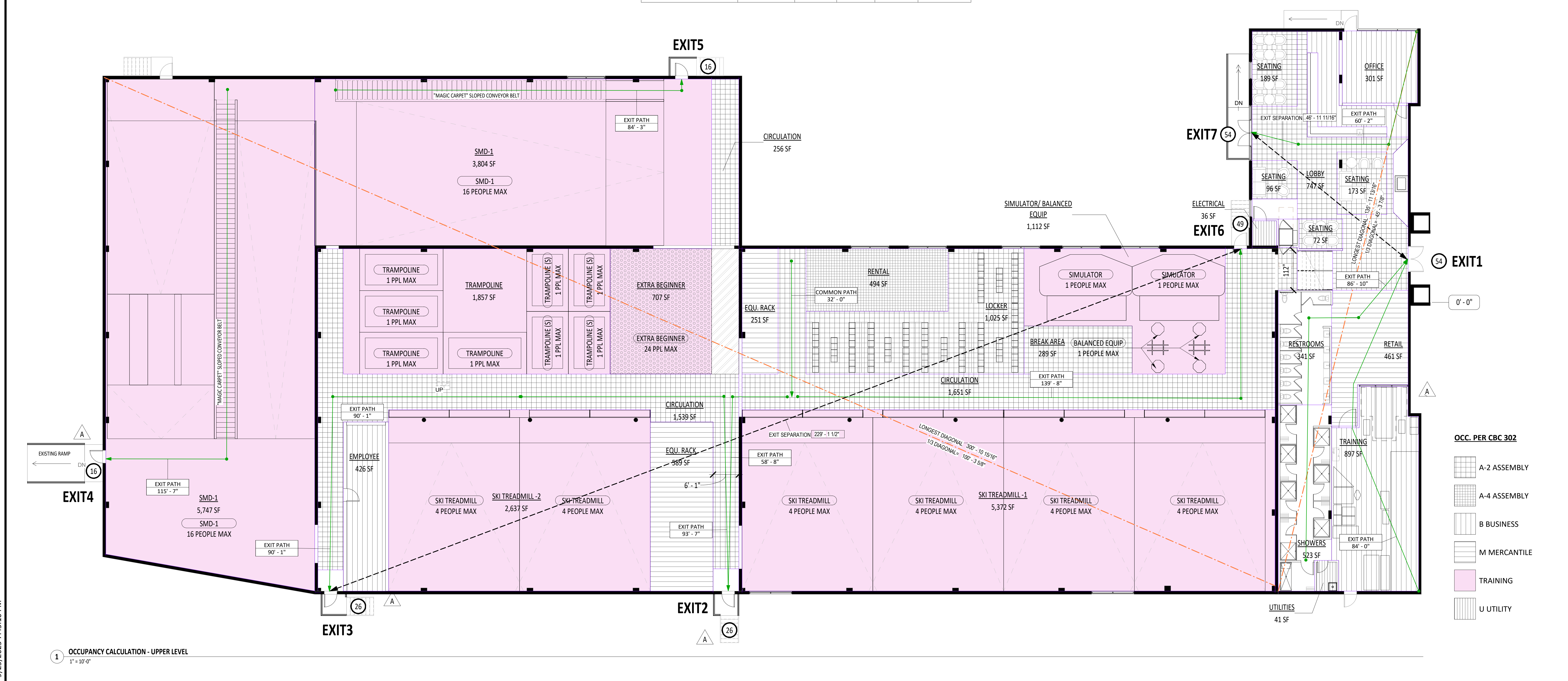
PLUMBING CODE, TABLE 422.1						
TYPE OF OCCUPANCY		WATER CLOSETS		URINALS	LAVATORIES	
		MALE	FEMALE	MALE	MALE	FEMALE
A-3	FACTOR	1: 1-100	3: 51-100	2: 101-200	1: 1-200	1: 1-100
	OCCUPANTS	96	96	96	96	96
	FIXTURE REQUIRED	1	3	2	1	1
FIXTURES PROVIDED		2	4	2	2	3

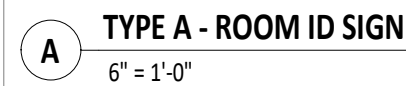
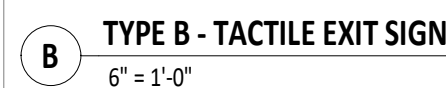
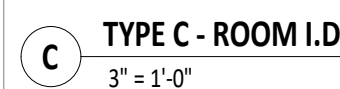
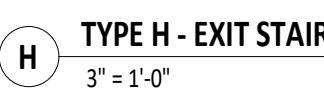
LEGEND

	NEW UNRATED PARTITION
	EXISTING WALL TO REMAIN
	AREA ON DIFFERENT LEVELS
	COMMON PATH OF TRAVEL
	EGRESS PATH OF TRAVEL
	EXIT POINT
	EXIT ACCESS AND OCCUPANT LOAD
	EXIT SIGN, CEILING MOUNTED
	EXIT SIGN, WALL MOUNTED
	FIRE EXTINGUISHER CABINET
	SIGNAGE TAG, SEE SHEET G310 FOR DETAILS

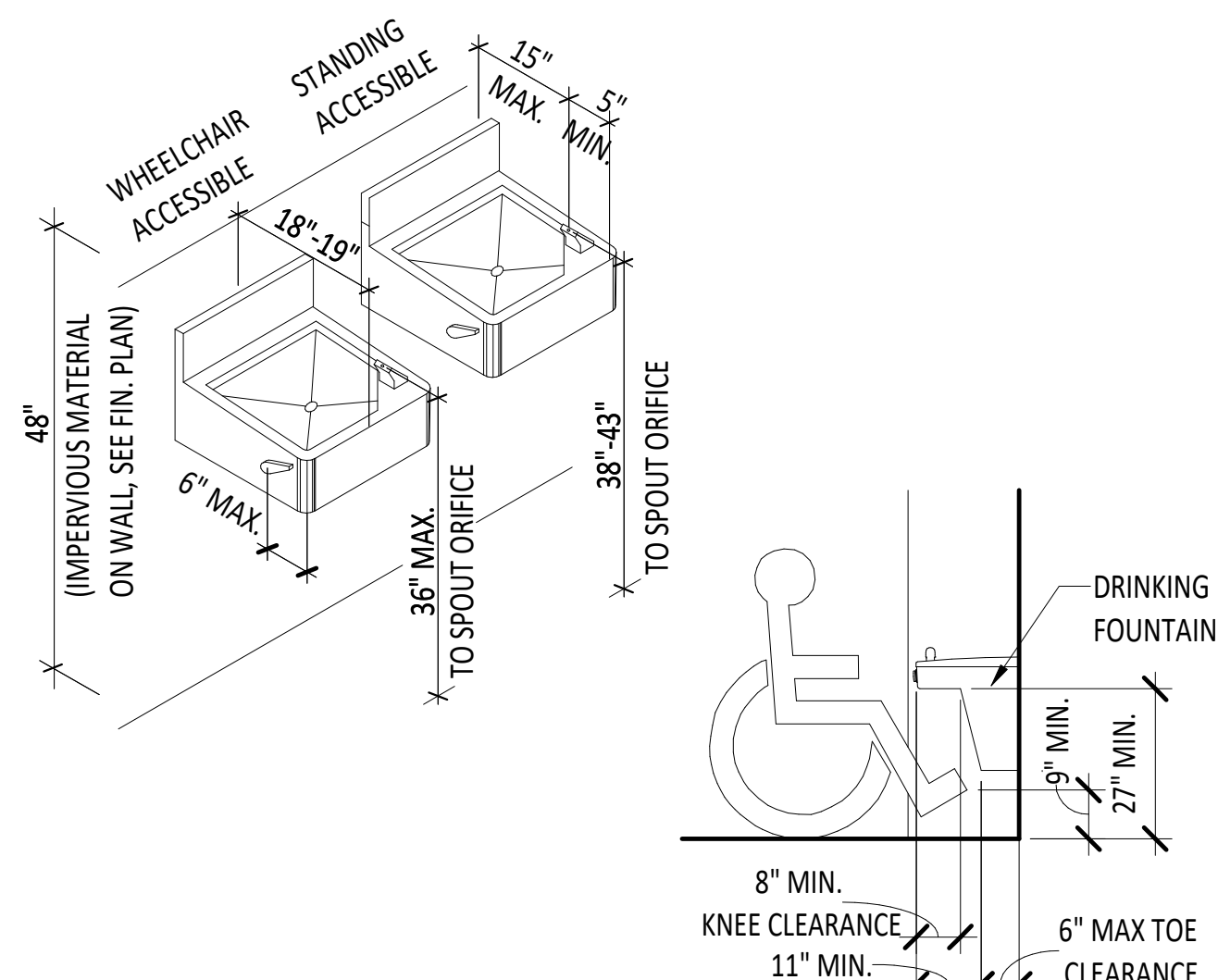


SHEET NOTES									
1.	(CBC 508.2.3) ACCESSORY OCCUPANCIES SHALL NOT OCCUPY MORE THAN 10% THE FLOOR AREA OF THE STORY IN WHICH THEY ARE LOCATED.								
2.	(CBC 508.2.4): NO SEPARATION IS REQUIRED BETWEEN AN ACCESSORY OCCUPANCY AND THE PRIMARY OCCUPANCY								
3.	(CBC 1009.1 & 1009.3.2, EXCEPTION 1): THE MINIMUM EXIT STAIR WIDTH IS 44"								
4.	(CBC 1010.1.1): EXIT DOORS SHALL PROVIDE CLEAR WIDTH OF NOT LESS THAN 32".								
5.	(CBC 1007.1.1, EXCEPTION 2): WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE BETWEEN EXIT DOORS SHALL NOT BE LESS THAN ONE-THIRD THE LENGTH OF THE OVERALL DIAGONAL DISTANCE OF THE AREA SERVED.								
6.	INCIDENTAL USES ARE SEPARATED FROM THE MAIN OCCUPANCY ACCORDING TO TABLE 509.1 INCIDENTAL USE AREAS SHALL BE SEPARATED WITH SMOKE PARTITIONS AND HAVE SELF OR AUTOMATIC CLOSING DOORS.								
<u>DISTANCE BETWEEN EXITS</u> <table border="0"> <tr> <td>MAXIMUM OVERALL DIAGONAL DIMENSION:</td> <td>300' - 10 15/16"</td> </tr> <tr> <td colspan="2">REQUIRED MINIMUM DISTANCE BETWEEN EXITS (1/3 OF MAXIMUM OVERALL DIAGONAL DIMENSION, PER 2015.2.1):</td> </tr> <tr> <td></td> <td>100' - 3 5/8"</td> </tr> </table>		MAXIMUM OVERALL DIAGONAL DIMENSION:	300' - 10 15/16"	REQUIRED MINIMUM DISTANCE BETWEEN EXITS (1/3 OF MAXIMUM OVERALL DIAGONAL DIMENSION, PER 2015.2.1):			100' - 3 5/8"		
MAXIMUM OVERALL DIAGONAL DIMENSION:	300' - 10 15/16"								
REQUIRED MINIMUM DISTANCE BETWEEN EXITS (1/3 OF MAXIMUM OVERALL DIAGONAL DIMENSION, PER 2015.2.1):									
	100' - 3 5/8"								
<u>TRAVEL DISTANCE:</u> <table border="0"> <tr> <td>MAXIMUM COMMON TRAVEL PATH:</td> <td>75'</td> </tr> <tr> <td>COMMON PATH OF TRAVEL TO TWO EXITS:</td> <td>32'</td> </tr> </table> (CBC 410.5.3.3) (FOR BUILDINGS WITH AUTOMATIC SPRINKLER SYSTEM PER 903.3.1.1) <table border="0"> <tr> <td>MAXIMUM EXIT ACCESS TRAVEL DISTANCE: (PER TABLE 1017.2 FOR A OCCUPANCY WITH SPRINKLERS)</td> <td>250'</td> </tr> <tr> <td>LONGEST EXIT ACCESS TRAVEL DISTANCE</td> <td>139' - 8"</td> </tr> </table>		MAXIMUM COMMON TRAVEL PATH:	75'	COMMON PATH OF TRAVEL TO TWO EXITS:	32'	MAXIMUM EXIT ACCESS TRAVEL DISTANCE: (PER TABLE 1017.2 FOR A OCCUPANCY WITH SPRINKLERS)	250'	LONGEST EXIT ACCESS TRAVEL DISTANCE	139' - 8"
MAXIMUM COMMON TRAVEL PATH:	75'								
COMMON PATH OF TRAVEL TO TWO EXITS:	32'								
MAXIMUM EXIT ACCESS TRAVEL DISTANCE: (PER TABLE 1017.2 FOR A OCCUPANCY WITH SPRINKLERS)	250'								
LONGEST EXIT ACCESS TRAVEL DISTANCE	139' - 8"								

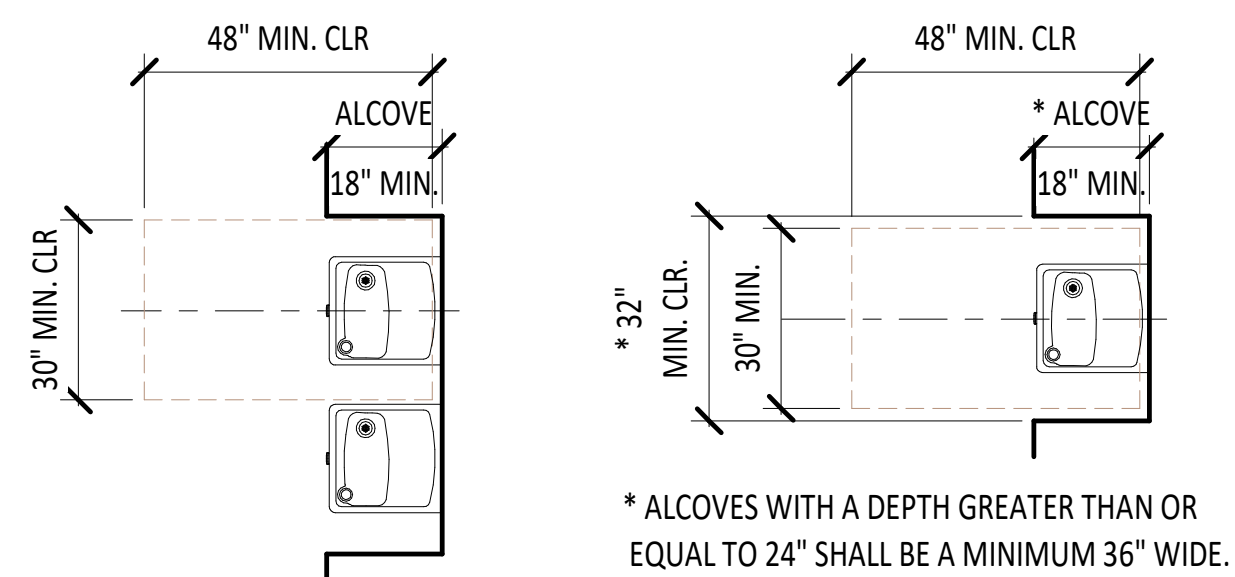
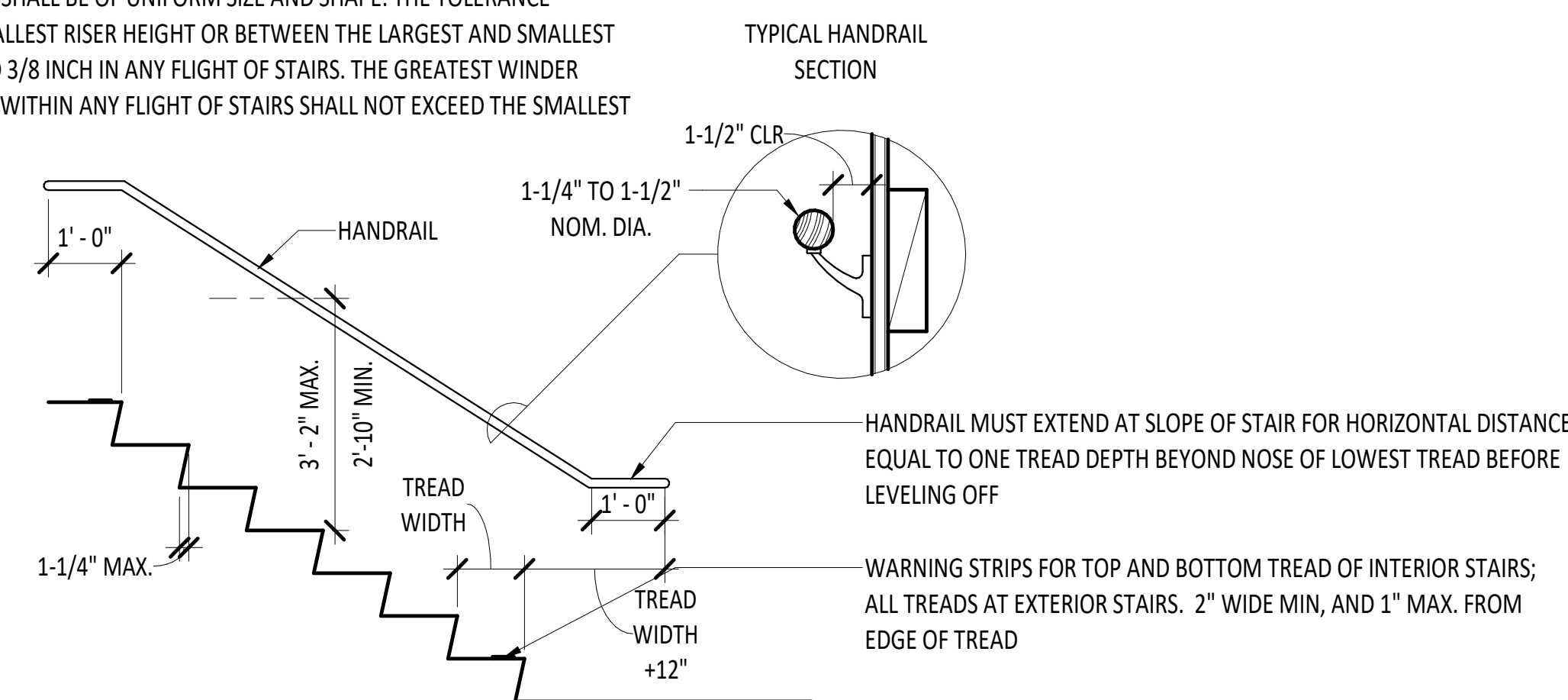




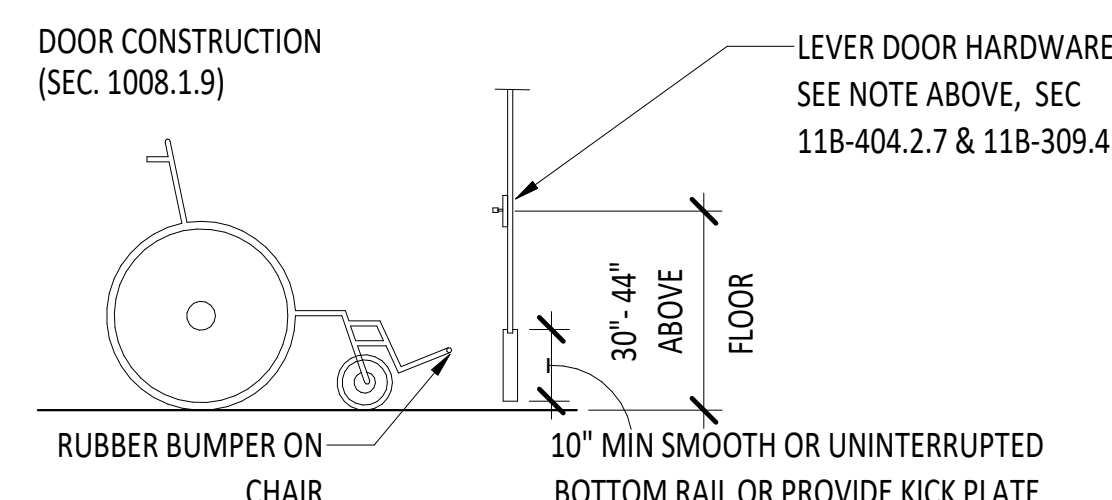
NOTE



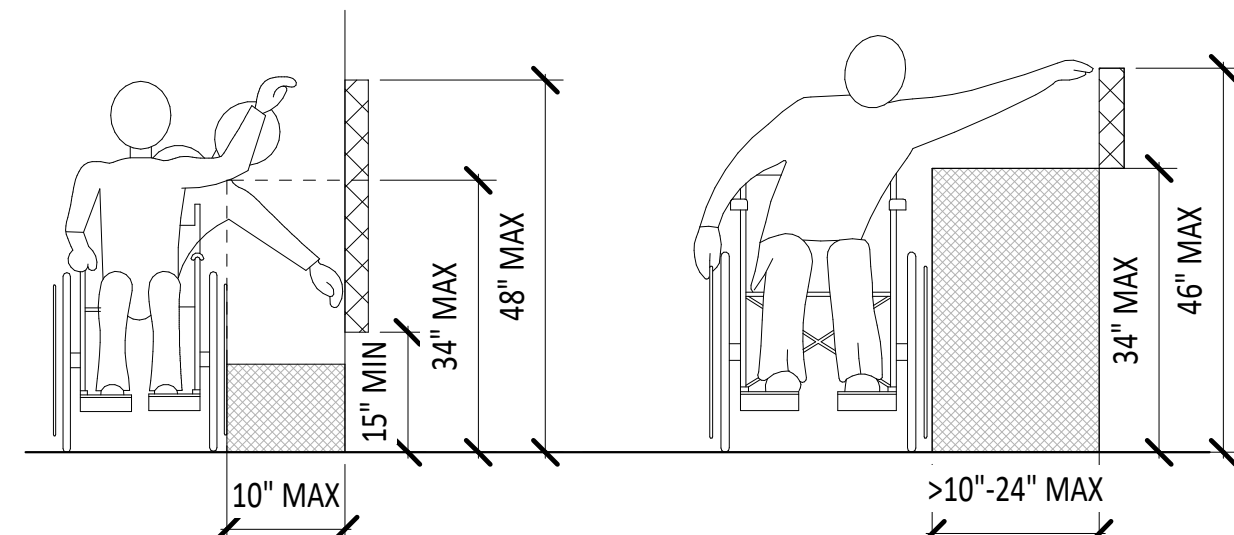
10 ACCESSIBLE STAIR
 $1/2" = 1'-0"$



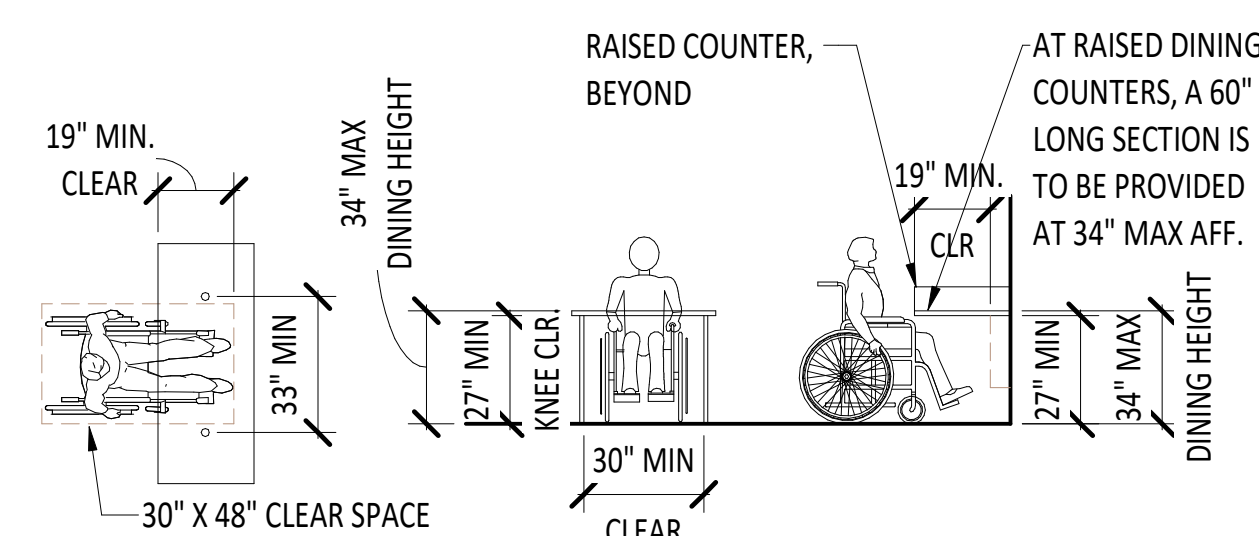
14 ACCESSIBLE DRINKING FOUNTAIN
3/8" = 1'-0"



9 TYPICAL DETAIL FOR DOOR CONSTRUCTION
1/4" = 1'-0"



4 SIDE REACH
1/2" = 1'-0"



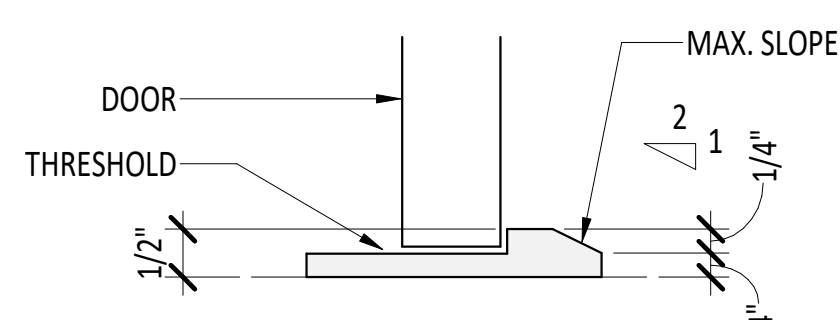
DINING TABLE REQUIREMENTS

1. WHERE DINING SURFACES ARE PROVIDED FOR THE CONSUMPTION OF FOOD OR DRINK, AT LEAST 5 PERCENT OF THE SEATING SPACES AND STANDING SPACES AT THE DINING SURFACES SHALL BE ACCESSIBLE.
2. DINING SURFACES REQUIRED TO BE PROVIDED AS ACCESSIBLE SHALL BE DISPERSED THROUGHOUT THE SPACE OR FACILITY CONTAINING DINING SURFACES FOR EACH TYPE OF SEATING IN A FUNCTIONAL AREA.

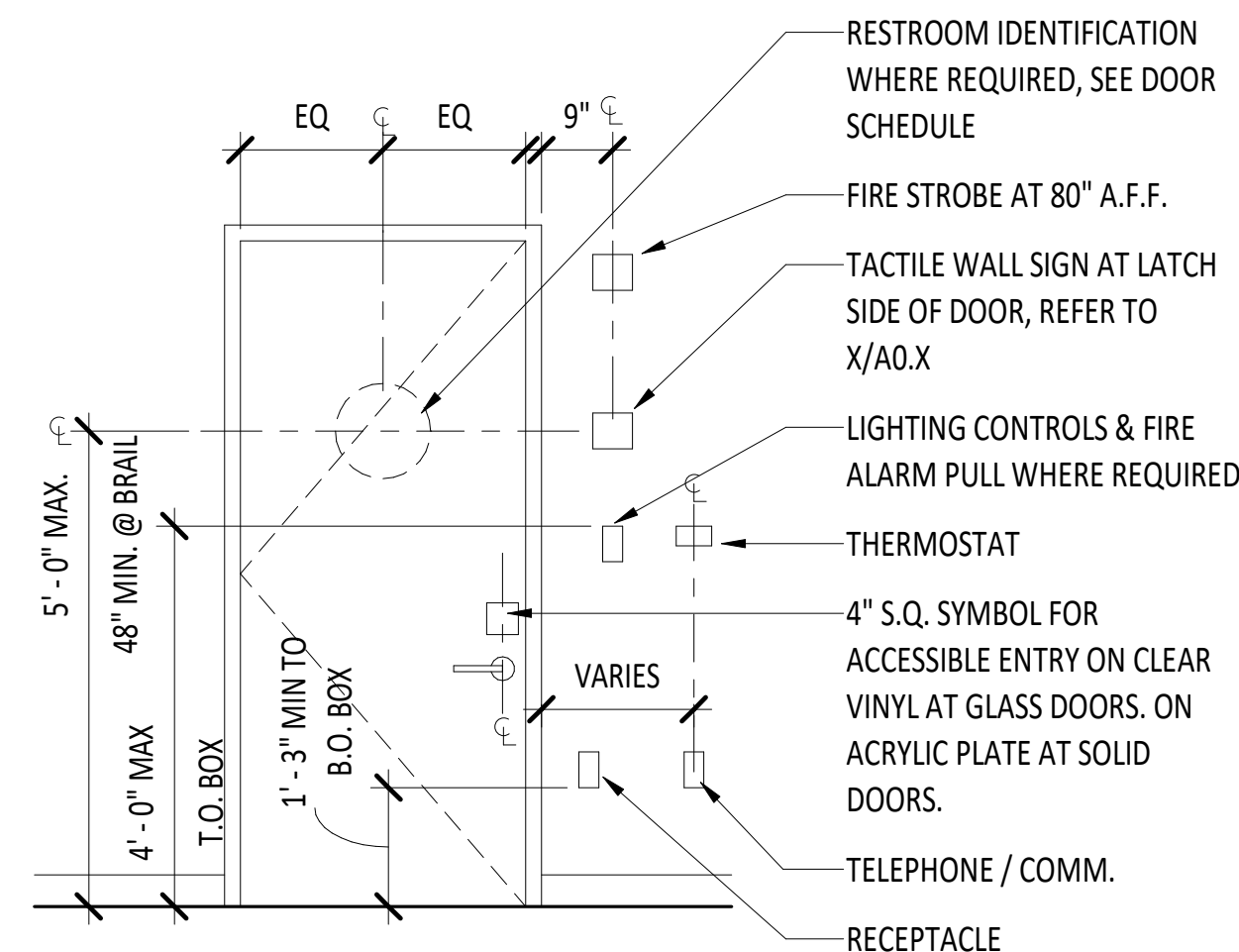
DINING TABLES:

1. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 118-305 POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED.
2. AT DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE, KNEE CLEARANCE SHALL EXTEND 19 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND.
3. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
4. WHERE FOOD OR DRINK IS SERVED FOR CONSUMPTION AT A COUNTER EXCEEDING 34 INCHES IN HEIGHT, A PORTION OF THE MAIN COUNTER 60 INCHES MINIMUM IN LENGTH SHALL BE PROVIDED AS ACCESSIBLE.

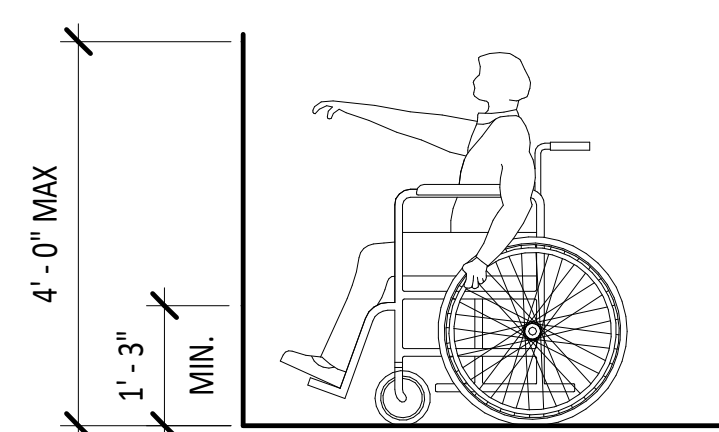
2 DINING TABLE GUIDELINES



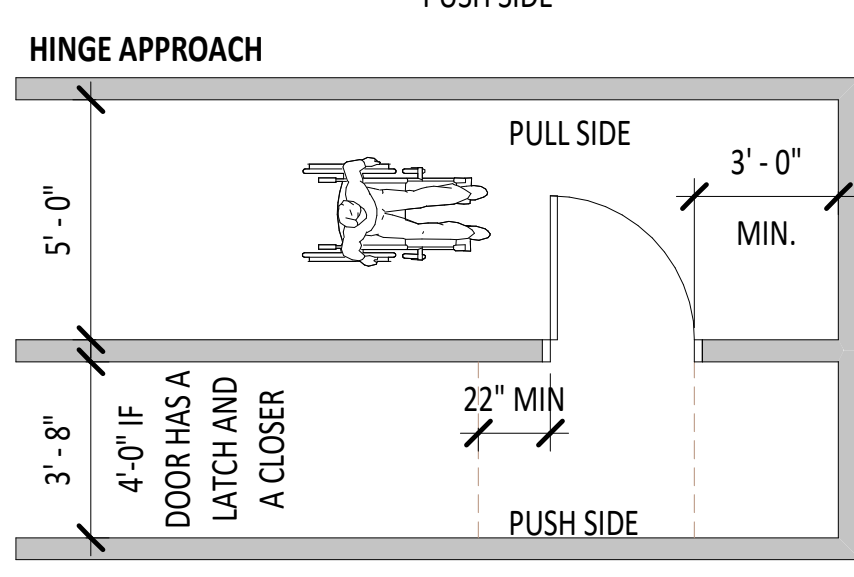
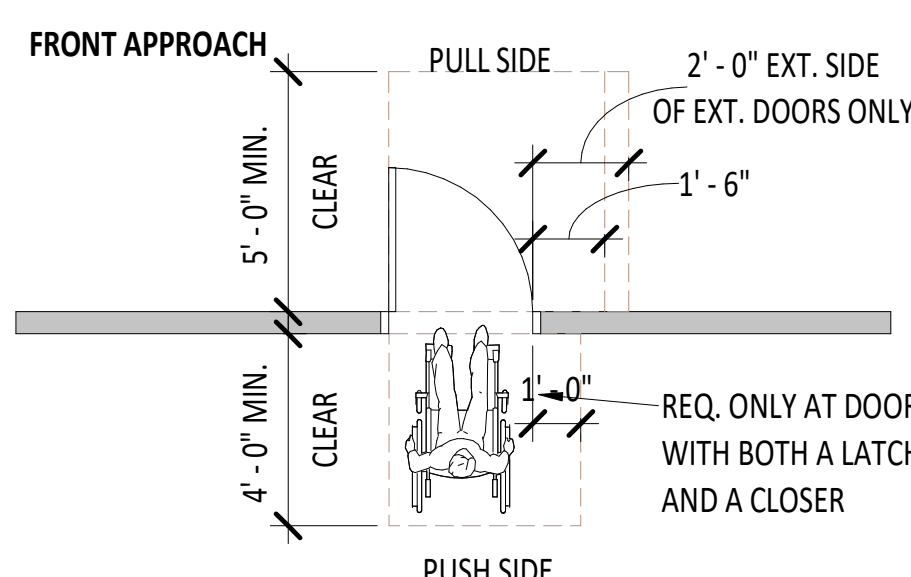
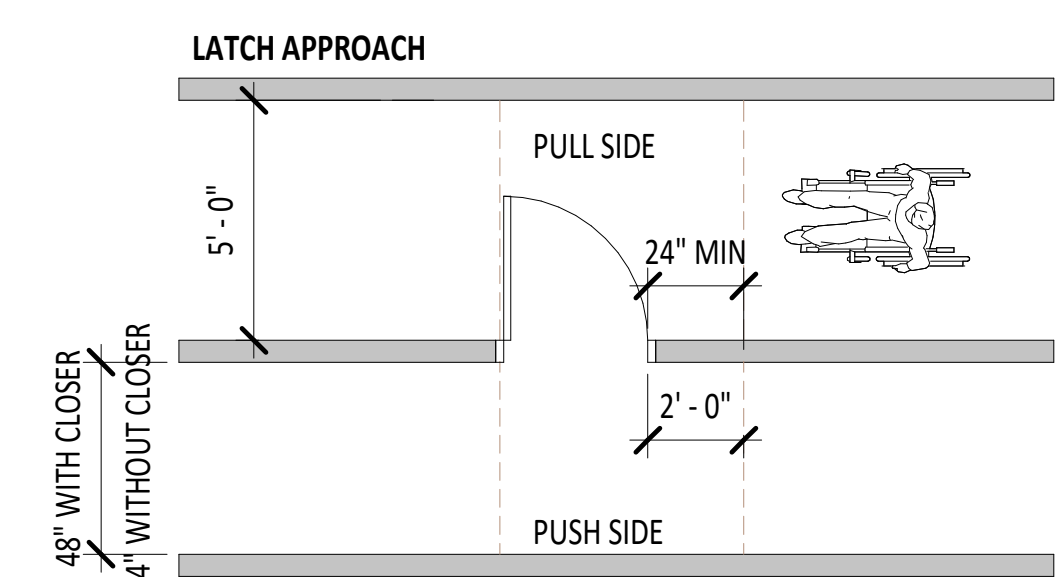
13 ACCESSIBLE THRESHOLD / CHANGE IN LEVEL
6" = 1'-0"



8 TYPICAL MOUNTING HEIGHTS
1/2" = 1'-0"

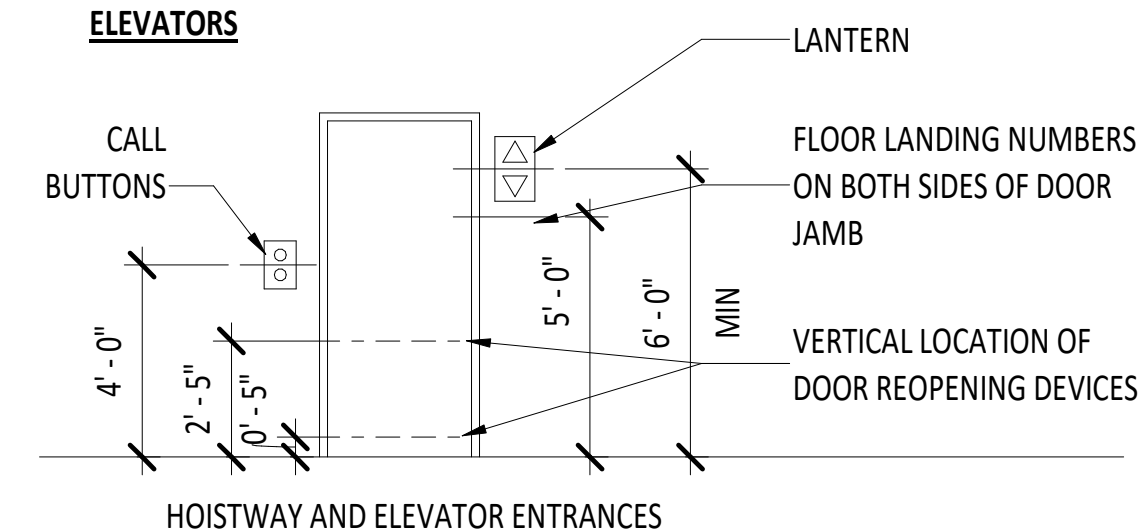


3 FORWARD REACH
1/2" = 1'-0"

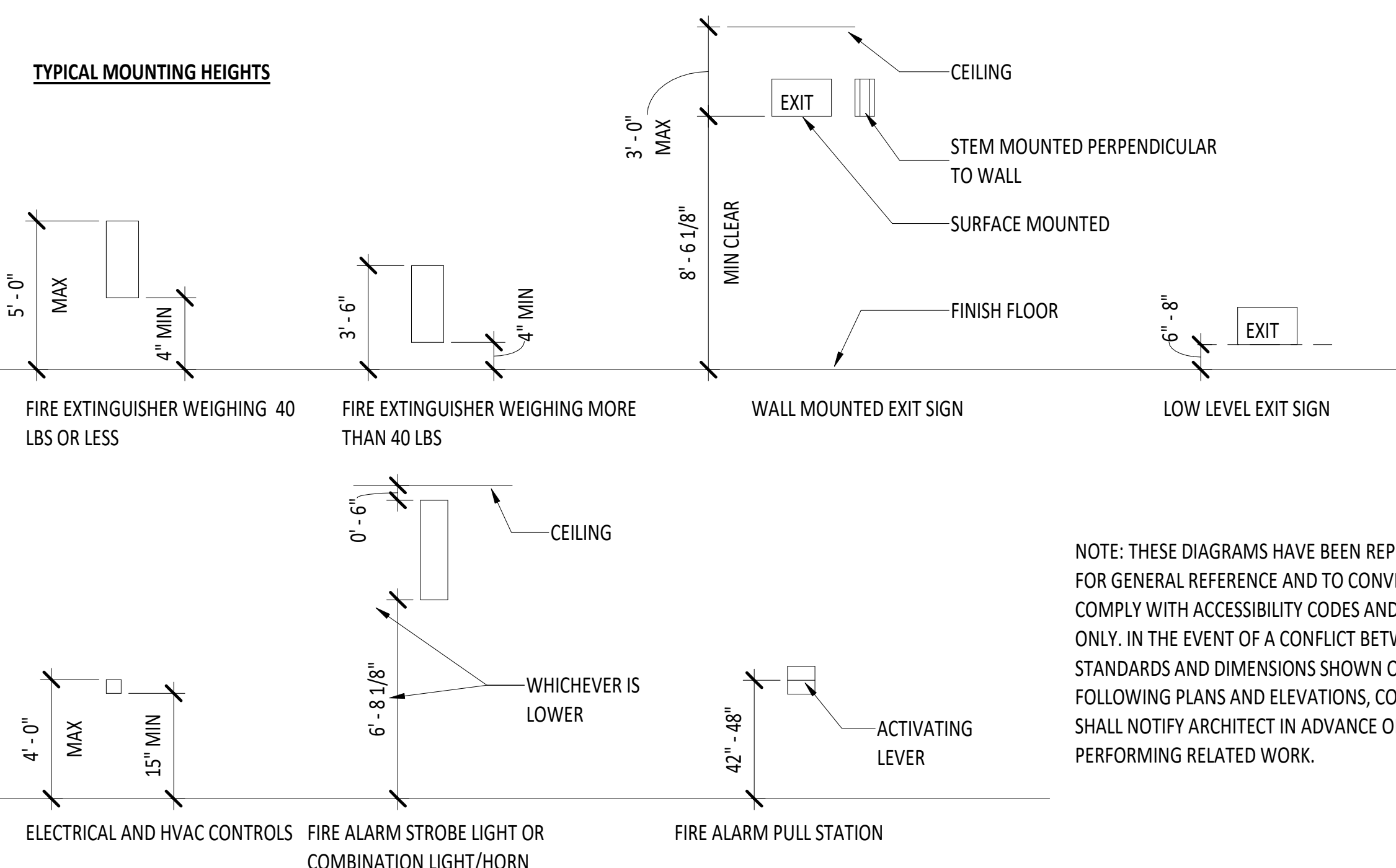


11 CLEARANCE GUIDELINES

ELEVATORS



TYPICAL MOUNTING HEIGHTS



1 TYPICAL MOUNTING HEIGHTS & DIMENSIONS

NOTE: THESE DIAGRAMS HAVE BEEN REPRODUCED FOR GENERAL REFERENCE AND TO CONVEY INTENT TO COMPLY WITH ACCESSIBILITY CODES AND GUIDELINES ONLY. IN THE EVENT OF A CONFLICT BETWEEN THESE STANDARDS AND DIMENSIONS SHOWN ON THE FOLLOWING PLANS AND ELEVATIONS, CONTRACTOR SHALL NOTIFY ARCHITECT IN ADVANCE OF PERFORMING RELATED WORK.

[illegible]

CHECKED BY: _____ Checker
PROJECT NUMBER: OAK24-CO-052
CONSULTANT PROJECT NO: _____
SHEET TITLE: _____

COMMON AREA ACCESSIBILITY DETAILS

SHEET NUMBER

G500

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STAMP

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CONSTRUCTION

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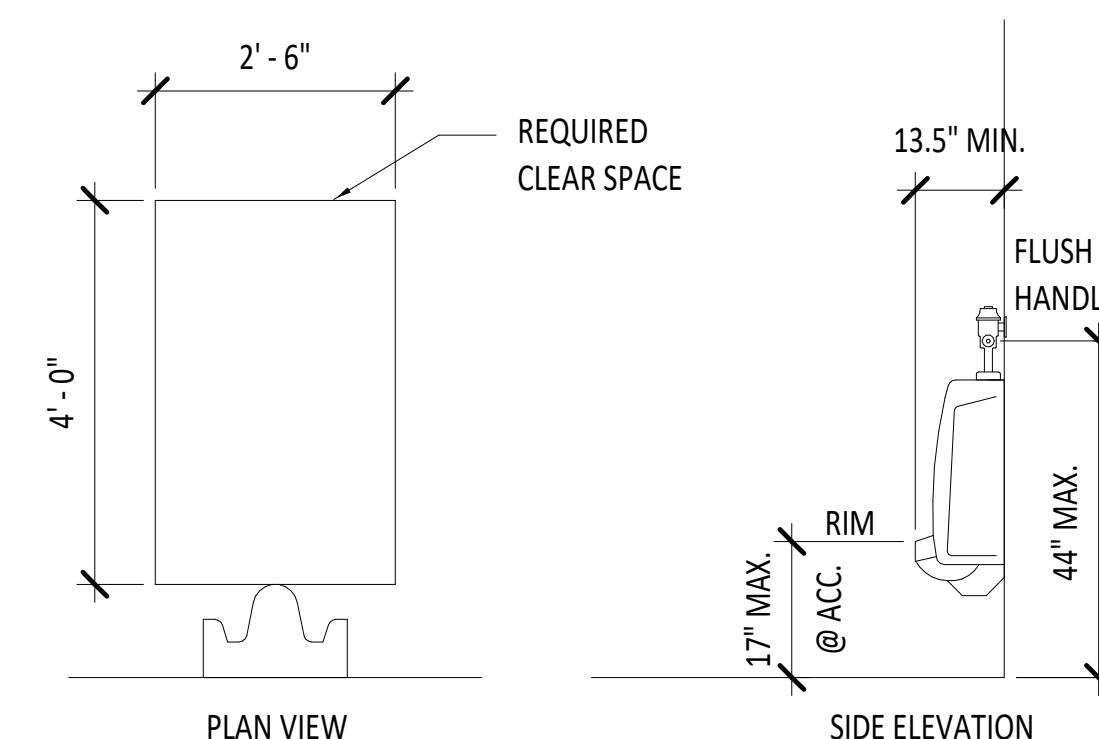
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PROJECT NUMBER: OAK24-CO-052
CONSULTANT PROJECT NO: _____
SHEET TITLE: _____

COMMERCIAL RESTROOM ACCESSIBILITY DETAILS

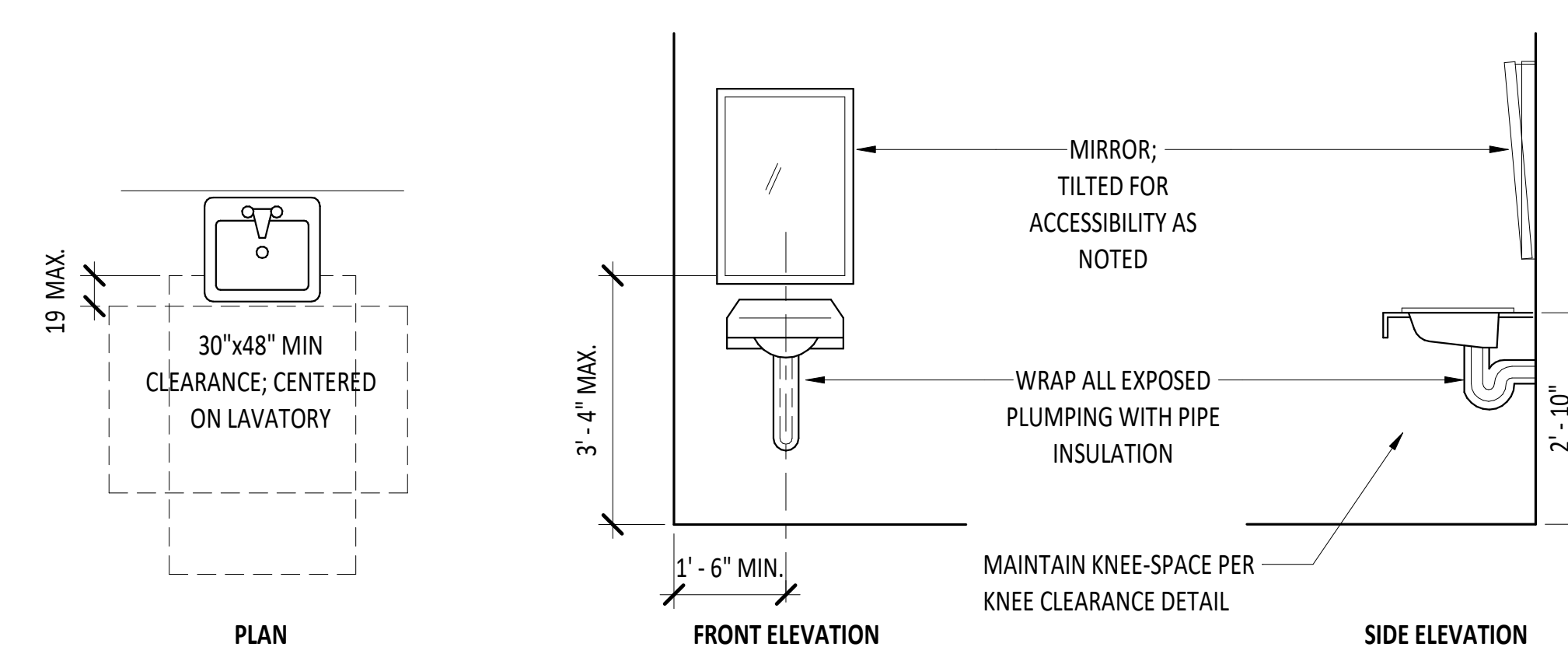
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G510

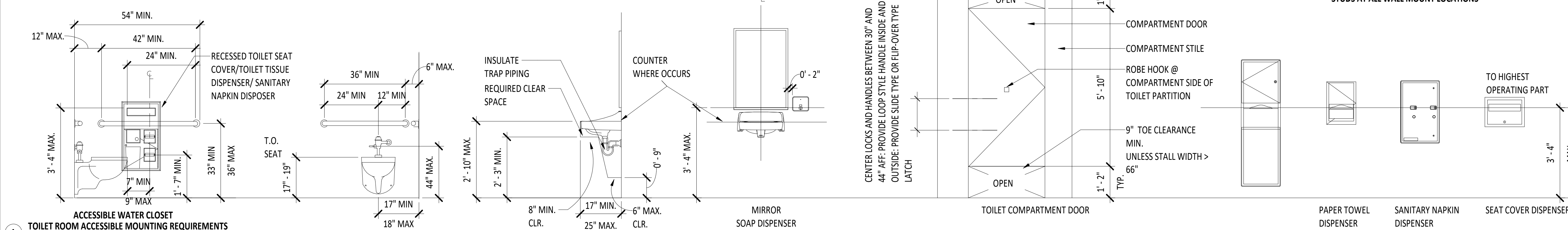
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3 URINAL MOUNTING PARAMETER
 $1/2^* = 1' \cdot 0''$



2 ACCESSIBLE LAVATORY



1 TOILET ROOM ACCESSIBLE MOUNTING REQUIREMENTS
 $1/2'' = 1'-0''$



	AIA California	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)					
Y N/A RESPON PARTY	SECTION 5.303 INDOOR WATER USE 5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2. 5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows: 1. For each individual leased, rented or other separate space within the building provided to consume more than 100 gallons (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop. 2. Where separate submeters for individual tenants are unfeasible, for water supplied to the following subsystems: a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s). b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW). 5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gpd/day. 5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following: 5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 5.303.3.2 Urinals. 5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted urinals. The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads. [BSC-CG] 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.	Y N/A RESPON PARTY	SECTION 5.402 DEFINITIONS 5.402.1 DEFINITIONS. The following terms are defined in Chapter 2. (<i>and are included here for reference</i>) ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper. BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, according to design quantities. BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements. ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste. TEST. A procedure to determine quantitative performance of a system or equipment SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local ordinance, whichever is more stringent. 5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods. 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures. 5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows: 5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonsaborfent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following: 1. An installed awning at least 4 feet in depth. 2. The door is protected by a roof overhang at least 4 feet in depth. 3. The door is recessed at least 4 feet. 4. Other methods which provide equivalent protection. 5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane.	Y N/A RESPON PARTY	5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building conducted in the design and construction phases, the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For occupancies that are not regulated by OSHA or for L-occupancies and L-Occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply. Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements Commissioning requirements shall include: 1. Owner's or Owner representative's project requirements. 2. Basis of design. 3. Commissioning measures shown in the construction documents. 4. Commissioning plan. 5. Functional performance testing. 6. Documentation and training. 7. Commissioning report. Exceptions: 1. Unconditioned warehouses of any size. 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses. 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and/or air conditioning. Informational Notes: 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 does not certify individuals to conduct functional performance tests or to adjust and balance systems. 2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code. 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following: 1. Environmental and sustainability goals. 2. Building sustainable goals. 3. Indoor environmental quality requirements. 4. Project program, including facility functions and hours of operation, and need for after hours operation. 5. Equipment and systems expectations. 6. Building occupant and operation and maintenance (O&M) personnel expectations. 5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems: 1. Renewable energy systems. 2. Landscape irrigation systems. 3. Water reuse system. 5.410.2.3 Commissioning plan. [N] Prior to permitting issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following: 1. General project information. 2. Commissioning goals. 3. Systems to be commissioned. Plans to test systems and components shall include: a. An explanation of the original design intent. b. Equipment and systems to be tested, including the extent of tests. c. Functions to be tested. d. Conditions under which the test shall be performed. e. Measurable criteria for acceptable performance. 4. Commissioning team information. 5. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included. 5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments made. 5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations. 5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following: 1. Site information, including facility description, history and current requirements. 2. Site contact information. 3. Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log. 4. Major systems. 5. Site equipment inventory and maintenance notes. 6. A copy of verifications required by the enforcing agency or this code. 7. Other resources and documentation, if applicable. 5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following: 1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces). 2. Review and demonstration of servicing/preventive maintenance. 3. Review of the information in the Systems Manual. 4. Review of the record drawings on the system/equipment. 5.410.2.6 Commissioning protocol. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.	Y N/A RESPON PARTY	5.410.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of warranties/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations. 5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency. DIVISION 5.5 ENVIRONMENTAL QUALITY SECTION 5.501 GENERAL 5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's occupants, residents and neighbors. SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in Chapter 2. (<i>and are included here for reference</i>) ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route. A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made. 1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit. COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7 pm to 10 pm) in addition to the 10 dB nighttime adjustment used in the Ldn. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, lumber, prefabricated wood I-joints or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 53120.1 (e). Note: See CCR, Title 17, Section 93120.1. DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10 p.m. to 7 a.m.). DECIBEL (dB). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity. ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, and motorcycles, and the motorcycles, and/or an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (January 2023)

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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BURLINGAME, CA 94010

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BURLINGAME, CA 94010

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CONSTRUCTION

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CHECKED BY: _____ Checker
PROJECT NUMBER: OAK24-CO-052
CONSULTANT PROJECT NO: _____
SHEET TITLE: _____

SPECIFICATIONS

SHEET NUMBER

G901

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SECTION 06200 - FINISH CARPENTRY & MILLWORK

3. PROVIDE CABINETRY AND FINISH HARDWARE AS INDICATED ON THE DRAWINGS AND AS REQUIRED FOR A COMPLETE INSTALLATION.
2. COORDINATE THE WORK OF THIS SECTION WITH OTHERS' FIXTURE CONTRACTOR AND RELATED TRADES.
3. VERIFY APPLICABLE DIMENSIONS AT THE JOBSITE.
4. SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 01300. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL MATERIALS, DIMENSIONS, PROFILES AND OTHER PERTINENT DATA.
5. FABRICATE ALL WORK FROM MATERIALS OF THE SPECIES AND GRADES SPECIFIED HEREAFER IN ACCORDANCE WITH THE WOODWORK INSTITUTE OF CALIFORNIA (W.I.C.) MANUAL OF MILLWORK, "PREMIUM GRADE" REQUIREMENTS (UNLESS HEREIN NOTED OTHERWISE).
6. SOLID WOOD: PLAIN SAWN YELLOW POPLAR, PREMIUM GRADE COMPLYING WITH WIC SECTION 4.
7. PLYWOOD: PAINT GRADE BIRCH COMPLYING WITH WIC SECTION 6, CUSTOM GRADE, HARDWOOD.
8. PLASTIC LAMINATE SURFACING MATERIAL: COLOR AND TEXTURE AS NOTED ON DRAWINGS.
9. WOOD SCREWS AND NAILS: SELECT THE MATERIAL, TYPE, SIZE AND FINISH REQUIRED FOR EACH USE.
10. ANCHORS: SELECT THE MATERIAL, TYPE, SIZE AND FINISH REQUIRED BY EACH SUBSTRATE FOR SECURE ANCHORAGE. PROVIDE NONFERROUS METAL OR HOT DIP GALVANIZED ANCHORS AS REQUIRED FOR CORROSION RESISTANCE.
11. FABRICATE WOODWORK AND PLASTIC LAMINATE TO DIMENSIONS, PROFILES AND DETAILS SHOWN. ROUT OR GROOVE BACK OF FLAT WOOD TRIM MEMBERS, KEF BACKS OF OTHER WIDE FLAT WOOD TRIM MEMBERS, EXPERT PLYWOOD.
12. SHOP ASSEMBLE IN AS LARGE UNITS AS PRACTICABLE TO MINIMIZE FIELD CUTTING AND JOINTING. WHERE NECESSARY TO FIT AT SITE, PROVIDE AMPLE ALLOWANCE FOR CUTTING AND FITTING.
13. INSTALL THIS WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS.
14. CUT TO FIT WHEN NOT SHOP-FABRICATED OR SHOP-CUT TO EXACT SIZE. WHEREWORK ABOUTS OTHER FINISHED WORK, SCRIBE AND CUT FOR ACCURATE FIT. BEFORE MAKING CUTS, DRILL PILOT HOLES AT CORNERS.
15. ANCHORING: SECURE WORK TO ANCHORS OR BLOCKING BUILT-IN OR DIRECTLY ATTRIBUTABLE TO SUBSTRATES.
16. REPAIR DAMAGED OR DEFECTIVE WOOD WORK AS DIRECTED. ADJUST AND LUBRICATE HARDWARE FOR PROPER OPERATION.
17. CLEAN EXPOSED INTERIOR AND EXTERIOR SURFACES. CLEAN SHOP FINISHED WOODWORK, TOUCH UP FINISH AS REQUIRED, AND REMOVE AND REFINISH DAMAGED OR SOILED AREAS OF FINISH.

SECTION 07840 - FIRESTOPPING

1. FIRESTOPPING OF ALL PENETRATIONS THROUGH FIRE BARRIERS, INCLUDING:
 - 1.1. VOIDS AROUND PIPES, CONDUITS, CABLES AND WIRES NOT IN CONDUIT.
 - 1.2. OTHER OPENINGS, AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - 1.3. JOINTS BETWEEN SMOKE BARRIERS AND OTHER CONSTRUCTION.
2. PRODUCTS OF THE MANUFACTURERS LISTED BELOW WILL BE ACCEPTED:
 - 2.1. GE SILCONES, WATERFORD, NY (800/275-8888) ISOLATER INTERNATIONAL, LOCAL REPRESENTATIVE MISSION VIEJO, CA (714/837-4024) 3M/CONSTRUCTION MARKETS DEPARTMENT, ST. PAUL, MN NELSON FIRESTOP PRODUCTS, TULSA, OK (800/331-7323) THE RECTORSFAC CORP., HOUSTON, TX SEMCO DIVISION/PRODUCTS RESEARCH AND CHEMICAL CORPORATION (PRC) SPECIFIED TECHNOLOGIES INC., SOMERVILLE, NJ
3. FIRESTOPPING MATERIALS: PROVIDE PENETRATION SEAL ASSEMBLIES WHOSRE FIRE-RESISTANCE RATINGS HAVE BEEN DETERMINED BY TESTING IN THE CONFIGURATIONS REQUIRED AND WHICH HAVE FIRE-RESISTANCE RATINGS AT LEAST AS HIGH AS THAT OF THE FIRE-RATED ASSEMBLY IN WHICH THEY ARE TO BE INSTALLED.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TYPES OF PENETRATIONS TO BE SEALED AND TO SELECT APPROPRIATE FIRESTOPPING ASSEMBLIES.
5. IF A TESTED ASSEMBLY IS NOT AVAILABLE FOR A PARTICULAR PENETRATION CONFIGURATION, MODIFY THE PENETRATION CONFIGURATION TO SUIT AVAILABLE ASSEMBLIES, DO NOT MODIFY ASSEMBLY CONFIGURATION EXCEPT AS SPECIFICALLY STATED IN THE TEST REPORT OR AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
6. PROVIDE PRODUCTS WHICH:
 - 6.1. ALLOW NORMAL EXPANSION AND CONTRACTION OF THE PENETRATING ITEM WITHOUT FAILURE OF THE PENETRATION SEAL.
 - 6.2. EMIT NO HAZARDOUS, COMBUSTIBLE, OR IRRITATING BY-PRODUCTS DURING INSTALLATION OR CURING PERIOD.
 - 6.3. DO NOT REQUIRE SPECIAL TOOLS FOR INSTALLATION.

SECTION 07900 - SEALANTS

1. THIS SECTION CONTAINS REQUIREMENTS PERTAINING TO ALL SEALANTS USED ON THE PROJECT AND BECOMES A PART OF ALL SECTIONS CONTAINING REFERENCES TO THIS SECTION, OR WHEN SEALANTS ARE INDICATED ON THE DRAWINGS OR REQUIRED TO MAKE THE BUILDING WEATHERPROOF.
2. DO NOT INSTALL SEALANTS UNDER ADVERSE WEATHER CONDITIONS, OR WHEN TEMPERATURES ARE BEYOND MANUFACTURER'S RECOMMENDED LIMITS.
3. WARRANTY SEALANTS AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR 5 YEARS AFTER SUBSTANTIAL COMPLETION. WARRANTY SHALL FURTHER STATE THAT INSTALLED SEALANTS ARE WARRANTED AGAINST THE FOLLOWING:
 - 3.1. WATER LEAKAGE THRU SEALED JOINTS.
 - 3.2. ADHESIVE OR COHESIVE FAILURE OF SEALANT.
 - 3.3. STAINING OF ADJACENT SURFACES CAUSED BY MIGRATION OF SEALANTS OR PRIMER.
 - 3.4. CHALKING OR VISIBLE COLOR CHANGE OF THE CURED SEALANTS.
4. COLORS: CUSTOM COLORS SELECTED BY THE ARCHITECT TO MATCH FINISH MATERIALS.
5. COMPATIBILITY: VERIFY THAT SELECTED SEALANTS WILL NOT CAUSE STAINING, DEGRADATION AND PREMATURE AGING OF THE ADJACENT SURFACES AND THE SEALANT ITSELF WHEN IN CONTACT WITH THESE SURFACES.
6. FOR ALL EXTERIOR APPLICATIONS:
 - 6.1. GENERAL ELECTRIC CORP.: GESIL OR SILPRUF.
 - 6.2. DOW CORNING CORP.: 790 OR 795.
 - 6.3. BOSTICK CONSTRUCTION PRODUCTS DIV.: CHEM-CAK 1000 OR 2000.
 - 6.4. TREMCO CORP.: SPECTRUM I OR 2.
 - 6.5. RHONE-POULENC: RHODORSIL 68.
7. FOR INTERIOR LOCATIONS, OTHER THAN FLOORS, SUCH AS CERAMIC WALL TILE, PLUMBING FIXTURES AND OTHERS WHERE A MILDREW-RESISTANT SEALANT IS REQUIRED:
 - 7.1. GENERAL ELECTRIC CORP.: 1700.
 - 7.2. DOW CORNING CORP.: 786.
 - 7.3. RHONE-POULENC: RHODORSIL 68.
8. SEALANT BACKER ROD: COMPRESSIBLE ROD STOCK FORMED OF CLOSED-CELL POLYETHYLENE FOAM, POLYETHYLENE JACKETED POLYURETHANE FOAM, BUTYL, RUBBER FOAM, NEOPRENE FOAM OR OTHER FLEXIBLE, PERMANENT, DURABLE NON-ABSORPTIVE MATERIAL RECOMMENDED BY THE SEALANT MANUFACTURER.
 - 8.1. PROVIDE SIZE AND SHAPE OF ROD WHICH WILL CONTROL THE JOINT DEPTH FOR SEALANT PLACEMENT, BREAK BAND OF SEALANT AT BOTTOM OF JOINT, FORM OPTIMUM SHAPE OF SEALANT BEAD ON BACK, AND PROVIDE A HIGHLY COMPRESSIBLE ROD TO MINIMIZE THE POSSIBILITY OF SEALANT EXTRUSION WHEN JOINT IS COMPRESSED.
9. CLEAN AND PREPARE JOINTS JUST BEFORE INSTALLING SEALANT, IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S PRINTED INSTRUCTIONS. FOLLOW RECOMMENDATIONS RECOMMENDED BY THE SEALANT MANUFACTURER. REMOVE DIRT, LOOSE COATINGS, MOISTURE AND OTHER SUBSTANCES THAT WOULD INTERFERE WITH SEALANT BOND.

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| 10. | INSTALL BACKER ROD FOR ALL SEALANTS WITH BLUNT OR ROUNDED TOOLS TO AVOID PUNCTURING THE MATERIAL. DO NOT TWIST, STRETCH OR BRIDG THE BACKER ROD. |
| 11. | EMPLOY ONLY PROVEN INSTALLATION TECHNIQUES WHICH WILL ENSURE THAT SEALANTS ARE INSTALLED IN UNIFORM, CONTINUOUS RIBBONS WITHOUT GAPS OR AIR POCKETS AND WITH COMPLETE "WETTING" OF THE RUBBER SURFACES EQUALLY ON OPPOSITE SIDES. |
| 12. | TIP RUBBERS TO A SLIGHTLY CONCAVE SURFACE JUST BELOW ADJACENT SURFACES. FOR NORMAL JOINTS NOT SUBJECT TO TRAFFIC, FILF JOINTS TO A DEPTH EQUAL TO 50% OF JOINT WIDTH, BUT NOT LESS THAN 1/4" DEEP OR MORE THAN 1/2" DEEP, MEASURED AT THE CENTER (THIN SECTION) OF THE JOINT. |
| 13. | REMOVE EXCESS SEALANT SPILLAGE PROMPTLY AS THIS WORK PROGRESSES. CLEAN ADJACENT SURFACES BY RECOMMENDED MEANS TO REMOVE SEALANT, BUT NOT DAMAGE THE SURFACES. |

SECTION 08700 - FINISH HARDWARE

- FURNISH FINISH HARDWARE REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. FINISH HARDWARE SHALL BE A COMBINATION OF NEW DOORS AND NEW HARDWARE AS WELL AS EXISTING DOORS WITH NEW HARDWARE.
2. FURNISH TRIM ATTACHMENTS AND FASTENINGS, SPECIFIED OR OTHERWISE REQUIRED, FOR PROPER AND COMPLETE INSTALLATION.
3. COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF THE UNIFORM BUILDING CODE (UBC), ALL LOCAL AND STATE CODES AND AMERICANS WITH DISABILITIES ACT (ADA).
4. EXCEPT FOR ITEMS SPECIFICALLY INCLUDED OR SPECIFIED UNDER OTHER SECTIONS, PROVIDE ALL FINISH HARDWARE AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK SHOWN.
5. WHERE THE SIZE OR SHAPE OF MEMBERS TO BE EQUIPPED WITH HARDWARE PREVENTS OR MAKES UNSUITABLE THE USE OF HARDWARE SPECIFIED, EQUIP TYPES HAVING AS NEARLY AS PRACTICABLE THE SAME OPERATION, FUNCTION AND QUALITY SHALL BE FURNISHED.
6. SIZES OF ALL ARTICLES OF HARDWARE IN ALL INSTANCES SHALL BE ADEQUATE FOR THE SERVICE TO WHICH THE INDIVIDUAL ITEMS OF HARDWARE WILL BE SUBJECTED IN THE COURSE OF NORMAL USAGE.
7. FURNISH SLICKERS FOR DOOR FRAMES AT THE RATE OF THREE FOR EACH SINGLE DOOR AND TWO FOR EACH DOOR FOR PAIR OF DOORS; COORDINATE WITH WEATHERSTRIPPED DOORS AND DOORS WITH LIGHT SEALS OR SMOKE SEALS.
8. THE KEYING ARRANGEMENTS ARE TO BE PREPARED, COORDINATED AND APPROVED WITH OWNER.
9. PROVIDE MINIMUM TWO KEYS PER LOCK (OR AS REQUIRED BY OWNER, AT NO ADDITIONAL COST). EACH KEY SHALL BE TAGGED FOR THE RESPECTIVE LOCK.
10. FURNISH TO THE GENERAL CONTRACTOR TWO (2) CONSTRUCTION MASTER KEYS. CONSTRUCTION KEYS SHALL FURNISHED BY THE HARDWARE SUPPLIER TO OPERATE LOCKS DURING CONSTRUCTION. UPON INSERTION OF OWNER'S CHANGE KEY, THE CONSTRUCTION KEYS SHALL BE REMOVED, AND PERMANENT KEYS SHALL BE INSTALLED BY CONTRACTOR, IN PRESENCE OF OWNER'S REPRESENTATIVE.
11. PROVIDE KNOCK-OUT KEY(S) THAT WILL CANCEL/REMOVE THE CONSTRUCTION CORE UPON COMPLETION OF CONTRACTOR'S WORK.
12. WITH THE DELIVERY OF PERMANENT KEYS, DELIVER TO THE OWNER ONE COMPLETE SET OF ADJUSTMENT TOOLS AND ONE SET OF MAINTENANCE MANUALS FOR LOCKSETS, LATCHSETS, CLOSERS, PANIC DEVICES, AND AS REQUIRED BY OWNER.
13. SINGLE SOURCE FOR ITEMS: TO THE MAXIMUM EXTENT PRACTICABLE, FURNISH SIMILAR ITEMS (SUCH AS "DOOR BUTTS") ONLY AS THE PRODUCT OF A SINGLE MANUFACTURER.
14. REFER TO THE HARDWARE SCHEDULE ON THE DRAWINGS FOR SPECIFIC HARDWARE ITEMS AND FINISHES. IN ADDITION TO THE SPECIFIED ITEMS, EQUIVALENT HARDWARE ITEMS FROM THE FOLLOWING MANUFACTURERS WILL BE ACCEPTED PROVIDING THAT FUNCTION, QUALITY AND FINISH ARE MAINTAINED.
- 14.1. ADAMS RITE MANUFACTURING CO. - LOCKSETS (WITHOUT CYLINDERS), AUTOMATIC BOLTS
- 14.2. BALDWIN HARDWARE MFG. CORP. - PUSH AND PULL PLATES
- 14.3. BEST LOCK CORP. (BK SERIES) - LOCKSETS, LATCHSETS, CYLINDERS, DEADBOLTS
- 14.4. BROOKLINE INDUSTRIES, INC. - KICKPLATES, PUSH AND PULL PLATES, THRESHOLDS
- 14.5. DORMA - CLOSERS
- 14.6. GLYNN-JOHNSON CORPORATION - DOOR STOPS, BUMPERS AND SILENCERS
- 14.7. HAGER AND SONS - HINGES
- 14.8. IVES BUILDERS HARDWARE - DOOR STOPS, BUMPERS, FLUSH BOLTS
- 14.9. LCN CLOSER - DOOR CLOSERS
- 14.10. NORTON - DOOR CLOSERS
- 14.11. STANLEY - HINGES
- 14.12. YALE SECURITY, INC. - DOOR CLOSERS
- 14.13. VON DUPRIN - ALARM/EXIT DEVICES
15. PROVIDE OTHER MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, MATCH FINISHES OF SPECIFIED ITEMS.
16. HARDWARE AND OPERATING MECHANISMS SHALL BE ADJUSTED AND LUBRICATED AS REQUIRED AFTER INSTALLATION IS COMPLETED TO INSURE PRO

SECTION 09250 - GYPSUM BOARD

1. FIRE RESISTANCE: COMPLY WITH FIRE RESISTANCE RATINGS INDICATED AND REQUIRED BY CODE. PROVIDE MATERIALS, ACCESSORIES AND APPLICATION PROCEDURES WHICH HAVE BEEN LISTED BY UL OR TESTED IN ACCORDANCE WITH ASTM E119 FOR THE TYPE OF CONSTRUCTION SHOWN.
2. REFERENCE STANDARD: THE APPLICABLE PROVISIONS OF ASTM C840, APPLICATION AND FINISHING OF GYPSUM BOARD, GOVERN THE WORK OF THE SECTION UNLESS OTHERWISE NOTED.
3. GYPSUM BOARD: 5/8" THICK THICKNESS, UNLESS NOTED OTHERWISE. PROVIDE TYPE X BOARDS AT FIRE RATED ASSEMBLIES. USE PRODUCTS BY GENSTAR BUILDING MATERIALS CO., GOLDBOND BUILDING PRODUCTS, U.S. GYPSUM CO., GEORGIA PACIFIC CORP., DOMSTAR GYPSUM AMERICA OR EQUAL.
4. TOILET ROOMS AND KITCHEN AREAS: MOISTURE RESISTANT GYPSUM BOARD COMPLYING WITH ASTM C630.
5. EXTERIOR SOFFITS: 5/8" INCH THICKNESS, UNLESS NOTED OTHERWISE. EXTERIOR GYPSUM CEILING BOARD BY UNITED STATES GYPSUM COMPANY OR APPROVED EQUAL. FINISH JOINTS WITH SETTING-TYPE COMPOUND.
6. ACCESS PANELS: REFER TO REFLECT CEILING PLAN LEGEND FOR SPECIFICATION.
7. JOINT TAPE, COMPOUND AND LAMINATING ADHESIVE: ASTM C475, TYPE RECOMMENDED BY THE GYPSUM BOARD MANUFACTURER.
8. ACOUSTICAL INSULATION: 3" THICK THERMAFIBER SOUND ATTENUATION BLANKETS BY U.S. GYPSUM CO., OR EQUAL UNFACED MINERAL WOOL OR GLASS FIBER INSULATION OF THE SAME DENSITY.
9. ALLOWABLE TOLERANCES:
 - 9.1. DO NOT EXCEED 3/16" INCH IN 8 FT., AND 1/8" INCH IN 4 FT., FROM PLUMB, LEVEL AND FLAT (ALL DIRECTIONS) IN GYPSUM BOARD SURFACES
 - 9.2. DO NOT EXCEED 1/16" INCH OFFSET AT JOINTS BETWEEN GYPSUM BOARD PANELS.
10. CEILINGS: APPLY GYPSUM BOARD WITH LONG DIMENSION AT RIGHT ANGLES TO SUPPORTS, WITH END JOINTS LOCATED OVER SUPPORTS. USE MAXIMUM PRACTICAL LENGTH PANELS TO MINIMIZE END JOINTS. STAGGER END JOINTS IN ALTERNATE PANELS.
11. PARTITION/WALLS: APPLY GYPSUM BOARD USING FLOOR-TO-CEILING LENGTH PANELS (WHERE POSSIBLE) WITH VERTICAL JOINTS LOCATED OVER SUPPORTS/OFFSET AT LEAST ONE JOINT ON OPPOSITE SIDES OF PARTITION/WALLS.
12. FASTEN GYPSUM BOARD TO METAL FRAMING WITH SCREWS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND CODE REQUIREMENTS, BUT DO NOT EXCEED 12 INCH ON CENTER SPACING.
13. ACCESS PANELS: PROVIDE AT LOCATIONS SHOWN ON DRAWINGS OR REQUIRED BY LOCAL CODE. TO THE GREATEST EXTENT POSSIBLE, COORDINATE OTHER TRADES SO AS TO ELIMINATE THE NEED FOR ACCESS PANELS IN SUSPENDED GYPSUM BOARD CEILINGS. COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS FOR CONCEALED FRAME FLUSH-MOUNTED INSTALLATION.
14. INSULATION: INSTALL INSULATION AT INDICATED LOCATIONS. CUT TO FIT IRREGULAR SPACES, BUTT EDGES INTO FIRM CONTACT WITH EACH OTHER AND ADJOINING SURFACES. HAND PACK AROUND PIPES, DUCTS, CONDUITS, ELECTRICAL BOXES, ETC., AS REQUIRED TO THOROUGHLY FILL ALL VOID SPACES.
15. INSTALL TRIM IN SINGLE UNINTERRUPTED LENGTH, UNLESS LENGTH EXCEEDS MANUFACTURER'S STANDARD. ATTACH TO GYPSUM BOARD IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

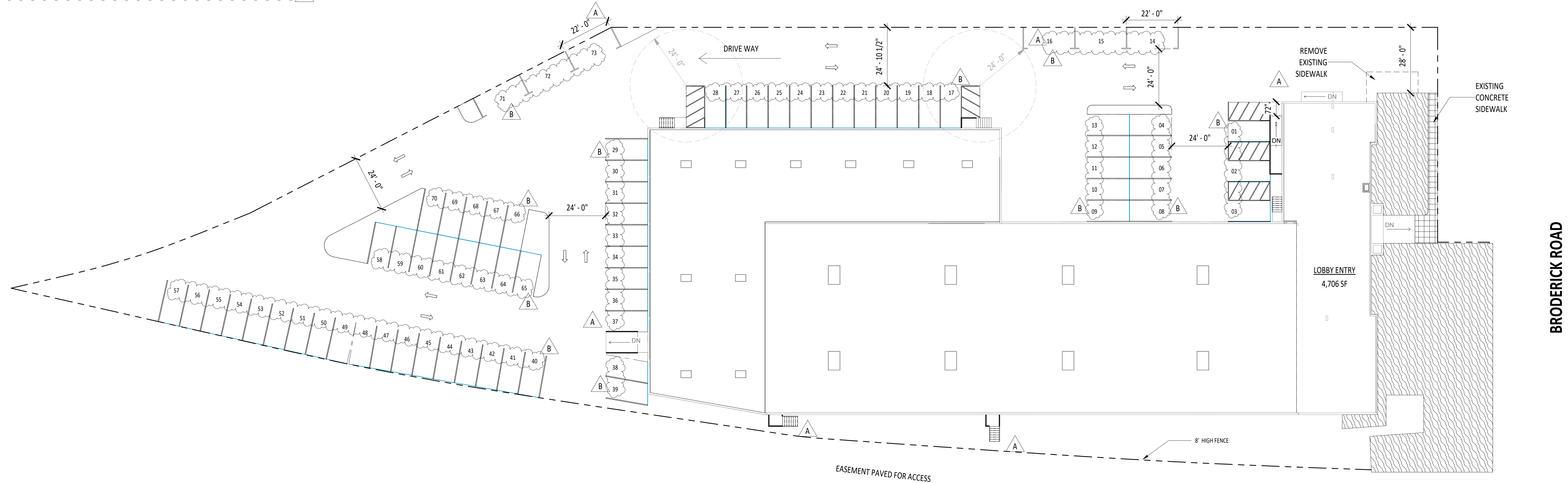
- 15.1. INSTALL TYPE CTB TRIM AT ALL EXTERNAL CORNERS.
- 15.2. INSTALL TYPE CTB TRIM WHERE GYPSUM BOARD EDGES ARE EXPOSED IN THE FINISH WORK.
16. REINFORCE JOINTS BETWEEN GYPSUM BOARD PANELS, AND INTERIOR CORNERS AND ANGLES WITH TAPE SET IN JOINT COMPOUND. APPLY SKIM COAT OVER TAPE IN ONE APPLICATION, WHERE SPACES GREATER THAN 1/16 INCH BETWEEN TAPPING GYPSUM BOARD PANELS, PREFILL JOINTS WITH JOINT COMPOUND AND ALLOW TO DRY BEFORE APPLYING JOINT TAPE.
17. JOINT COMPOUND: APPLY 3 COATS OF JOINT COMPOUND OVER JOINTS AND TRIM, AND 2 COATS OVER SCREW HEADS.
18. LAP EACH COAT NOT LESS THAN 4 INCHES OVER THE PRECEDING COAT (2 INCHES ON EACH EDGE). WIDTH OF JOINT COMPOUND ON TAPERED GYPSUM BOARD EDGES SHALL BE NOT LESS THAN 12 INCHES, WIDTH OF JOINT COMPOUND ON SQUARE GYPSUM BOARD EDGES NOT LESS THAN 18 INCHES.
19. ALLOW AT LEAST 24 HOURS DRYING TIME BETWEEN APPLICATIONS OF JOINT COMPOUND.
20. EXCEPTION: GYPSUM BOARD SURFACES ABOVE FINISHED CEILINGS, INSIDE DUCT SHAFTS, AND OTHER AREAS WHICH WILL BE CONCEALED IN THE FINISH WORK, AND IN STOCK ROOMS AND ELECTRICAL ROOMS, NEED ONLY RECEIVE ONE COAT OF JOINT COMPOUND ON TAPED JOINTS AND SCREW HEADS.

SECTION 09510 - ACOUSTICAL CEILINGS

1. DO NOT INSTALL ACoustICAL CEILING UNTIL THE SPACE TO RECEIVE THEM HAS BEEN ENCLOSED, AND IS WEATHER TIGHT, UNTIL WORK ABOVE CEILING HAS BEEN COMPLETED, AND UNTIL AMBIENT CONDITIONS OF TEMPERATURE AND HUMIDITY WILL BE CONTINUOUSLY MAINTAINED AT VALUES NEAR THOSE INDICATED FOR FINAL OCCUPANCY.
2. ACoustICAL UNITS THOSE WHEN INDICATED: AS SPECIFIED IN DRAWINGS.
3. SUSPENSION SYSTEM FOR LOCATIONS WITH ACoustICAL PANELS: AS SPECIFIED IN DRAWINGS. SYSTEM SHALL HAVE A "MEDIUM DUTY" CLASSIFICATION COMPLYING WITH ASTM C635.
4. HANGER WIRE: PER MANUFACTURER'S SPECIFICATIONS.
5. ACCESSORIES: DEVICES FOR ATTACHMENT TO OVERHEAD CONSTRUCTION, SECONDARY MEMBERS, SPUNES, SPICERS, CONNECTION SLIPS, WALL CONNECTORS, COMPRESSION STRIPS AND ALL OTHER DEVICES REQUIRED FOR A COMPLETE INSTALLATION.
6. TRIM: SPECIAL TRIM AS SHOWN OR REQUIRED BY CONSTRUCTION, AND COMPATIBLE WITH DESIGN, APPEARANCE AND DURABILITY RATING OF CEILING. TRIM AT PERIMETER AND PENETRATIONS SHALL PERMIT LATERAL ADJUSTMENT OF AT LEAST 1/2" TO ACCOMMODATE IRREGULARITIES IN VERTICAL SURFACES INTERRUPTING CEILING.
7. FINISH: EXPOSED SURFACES OF METAL GRID AND ACCESSORIES: PRIME AND PAINT WITH A BAKED-ON ENAMEL FINISH. COLOR: WHITE.
8. CODES AND STANDARDS: INSTALL MATERIALS IN ACCORDANCE WITH THEIR MANUFACTURER'S PRINTED INSTRUCTIONS, ASTM C636, AND TO COMPLY WITH GOVERNING REGULATIONS AND INDUSTRY STANDARDS APPLICABLE TO THIS WORK.
9. LAYOUT: PLAN LAYOUT TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH CEILING AREA. AVOID USE OF LESS THAN HALF-WIDTH UNITS WHEREVER POSSIBLE. COMPLY WITH ARCHITECT'S REFLECTED CEILING PLANS.
10. ALLOWABLE TOLERANCES: MAXIMUM DEVIATION FROM LEVEL AND FLAT OF THE COMPLETED CEILINGS SHALL NOT EXCEED 1/8" IN 10 FT. WHEN MEASURED WITH A STRAIGHTEDGE PLACED AT ANY LOCATION ON THE CEILING; 1/4" TOTAL DEVIATION WITHIN ANY SINGLE AREA.
11. ACoustICAL UNITS: MATCH TILE FOR COLOR AND PATTERN BY USING TILE FROM CARTONS IN THE SAME SEQUENCE AS MANUFACTURED.
12. SCREIE AND CUT UNITS FOR ACCURATE FIT AT BORDERS AND AROUND WORK WHICH PENETRATES CEILINGS.
13. WHERE UNITS ABUT WALL SURFACES AND REST ON FLANGE OF EDGE MOLDING, INSERT JIFFY CLIP BEHIND EACH ACoustICAL UNIT.
14. INSTALL HOLD-DOWN CLIPS AT EXTERIOR DOORS TO PREVENT PANEL UPLIFT OR FLUTTER FROM AIR MOVEMENT.

ALL REQUIRED LANDSCAPE TREES, EXISTING OR NEW, BECOME PROTECTED TREES REGARDLESS OF SIZE AND MUST BE DISCLOSED UPON SALE OR TRANSFER OF REAL PROPERTY.

B



2 SITE PLAN
1" = 20'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ID

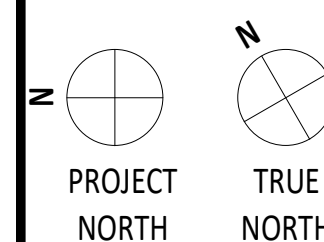
KEY NOTES		SHEET NOTES		LEGEND	
#	NOTE	1. ACCESSIBLE PATHS OF TRAVEL SHALL MEET REQUIREMENTS OF CBC 11B-302, SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/8 INCH AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT. WHEN THE SLOPE IN DIRECTION OF TRAVEL OF ANY WALK EXCEEDS ONE UNIT VERTICAL TO 20 UNITS HORIZONTAL, IT SHALL COMPLY WITH PROVISIONS OF CBC 11B-405 FOR RAMPS.	 NOT IN SCOPE  ACCESSIBLE PATH OF TRAVEL AND DIRECTION		
0202	EXISTING STRUCTURE TO BE PROTECTED				
0207	EXISTING SKYLIGHT TO REMAIN				
0208	EXISTING RAMP TO REMAIN				
		PARKING			
		PARKING REQUIRED PER TABLE 25.40-1 LAND USE: COMMERCIAL RECREATIONAL (LARGE) - 1 SPACE PER 500 SQFT. GROSS SQFT: 28,475 SF + 4,735 SF= 33,200 SF 33,200 SF/ 500 SF= 66.4 REQUIRED PARKING: 67 PROPOSED PARKING: 73			

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BURLINGAME, CA 94010

STAMP

NOT FOR
CONSTRUCTION

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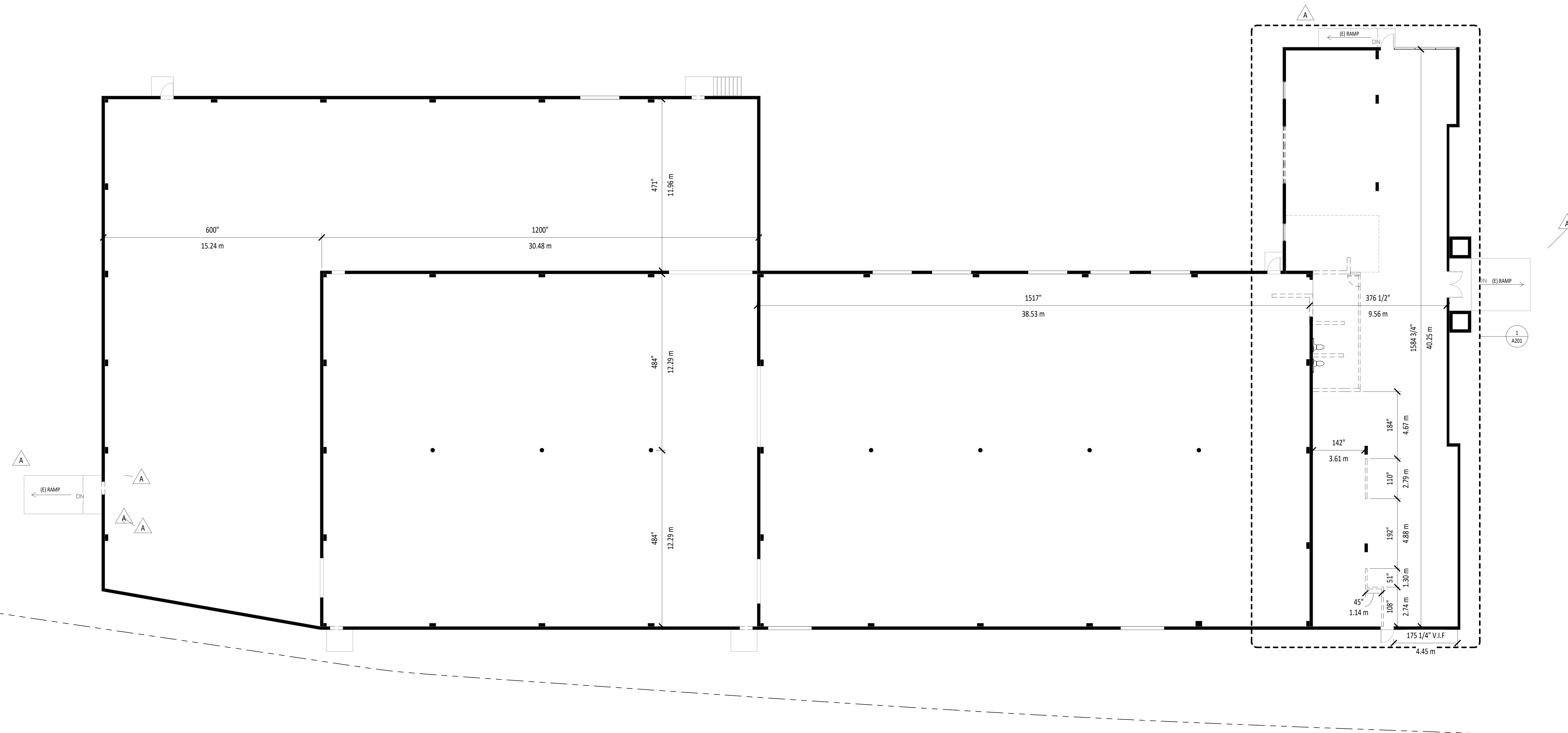
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CONSULTANT PROJECT NO: _____
SHEET TITLE: _____

DEMO PLAN

SHEET NUMBER

A100

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1 OVERALL FLOOR PLAN
1" = 10'-0"

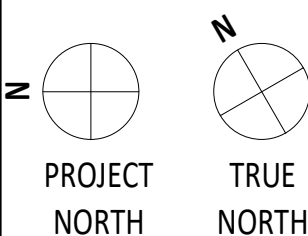
SHEET NOTES

- | | | | |
|----|---|-----|--|
| 1. | ALL ITEMS NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE PROTECTED IN PLACE. | 10. | REMOVE ALL EXISTING LIGHTING AND RELATED ELECTRICAL EQUIPMENT AND WIRING IN EXISTING ACOUSTIC TILE CEILING. |
| 2. | CONTRACTOR TO VERIFY (E) CONDITIONS. IN CASE OF CONFLICT BETWEEN DRAWINGS AND (E) CONDITIONS, NOTIFY THE ARCHITECT. | 11. | REMOVE ALL EXISTING NON-STRUCTURAL FRAMED PARTITIONS AND EXISTING DOORS AND DOOR FRAMES, AS INDICATED |
| 3. | SAFELY REMOVE ALL HAZARDOUS MATERIALS. | 12. | REMOVE EXISTING SUSPENDED ACOUSTIC CEILING TILES, GRID, AND RELATED STRUCTURE. |
| 4. | SPRINKLER MAIN BRANCH LINES TO REMAIN, TO BE MODIFIED IN COORDINATION WITH THE ARCHITECTURAL DRAWINGS AND SPRINKLER SUBCONTRACTOR. | 13. | DEMOLISH EXISTING GYP BD CEILINGS AND SOFFITS |
| 5. | REMOVE MECHANICAL DUCT WORK AND GRILLES. CUT DUCTWORK BACK TO MAIN POINT OF ENTRY. | 14. | REMOVE ALL EXISTING FLOORING AND ADHESIVE DOWN TO CONCRETE SLAB. PATCH AND REPAIR DAMAGED SLAB AS NECESSARY AND PREPARE FOR NEW FLOORING. |
| 6. | VERIFY WORKING CONDITION OF ALL (E) MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT. | 15. | EXISTING STOREFRONT TO REMAIN UON |
| 7. | VERIFY FUNCTION OF ALL (E) MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, PIPING, CONDUIT AND DUCTWORK FOUND WITHIN THE AREA OF WORK. ALL EQUIPMENT SERVING THE MAIN BUILDING OR OTHER TENANT SPACES SHALL BE PROTECTED IN PLACE. | 16. | REMOVE ALL EXISTING MILLWORK INCLUDING EXISTING COUNTERTOPS, CABINETS, AND BANQUETTE SEATING. PATCH AND REPAIR DAMAGED FLOOR AND WALLS AS NECESSARY. |
| 8. | REMOVE ALL PLUMBING FIXTURES AND PIPING. CUT PIPING BACK TO MAIN POINT OF ENTRY AND CAP ALL UTILITIES WITH LIKE MATERIAL(S). | 17. | REMOVE ALL EXISTING FURNITURE |
| 9. | REMOVE ALL EXISTING LIGHTING AND RELATED ELECTRICAL EQUIPMENT AND WIRING IN EXISTING ACOUSTIC TILE CEILING. | | |

LEGEND

- | | |
|---|--|
|  | EXISTING WALL TO BE DEMOLISHED |
|  | EXISTING ITEM TO BE DEMOLISHED, REFER TO KEY NOTES ABOVE |
|  | EXISTING WALL TO REMAIN |
|  | PROPERTY LINE |

NOT FOR
CONSTRUCTION

[illegible]

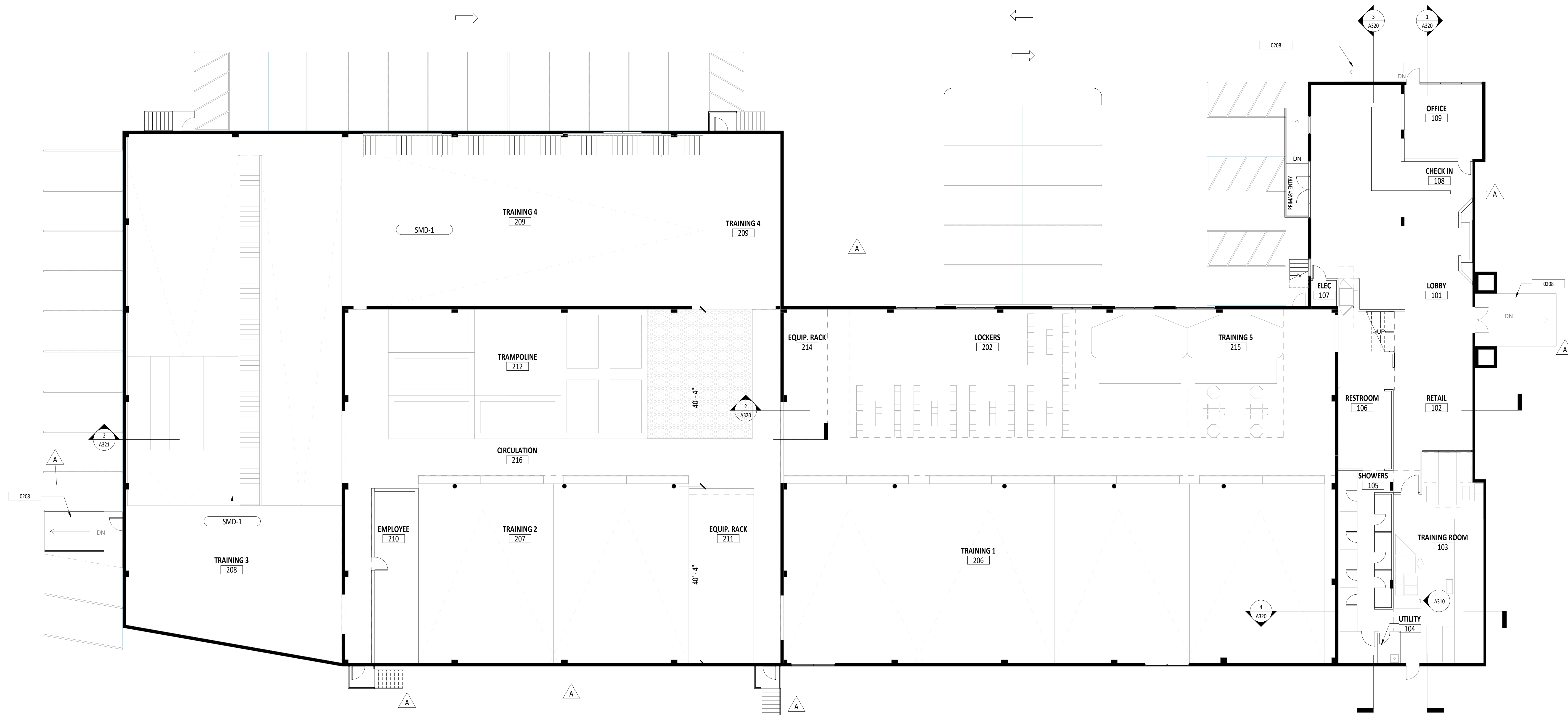
CHECKED BY: _____ Checker
PROJECT NUMBER: OAK24-CO-052
CONSULTANT PROJECT NO: _____
SHEET TITLE: _____

OVERALL FLOOR
PLAN

SHEET NUMBER

A200

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1 **OVERALL FLOOR PLAN**
1" = 10'-0"

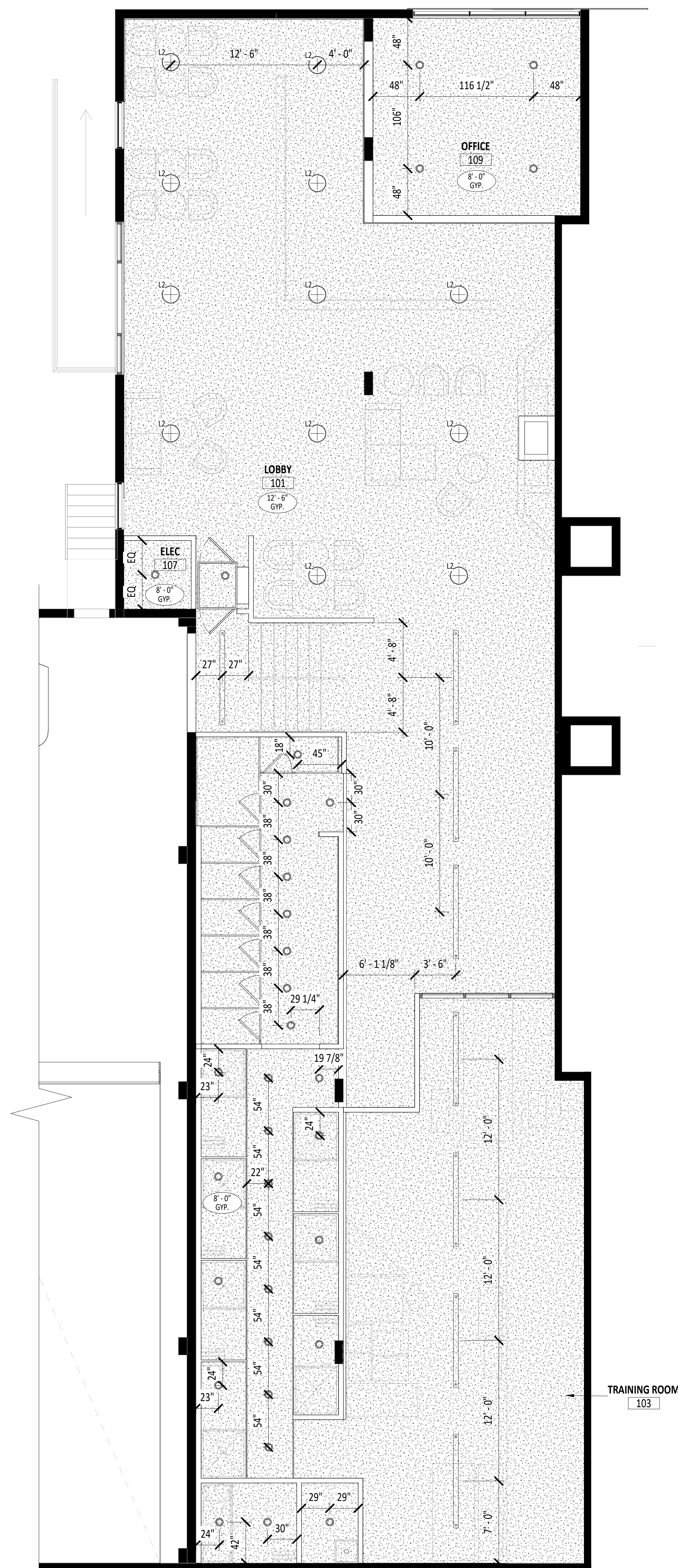
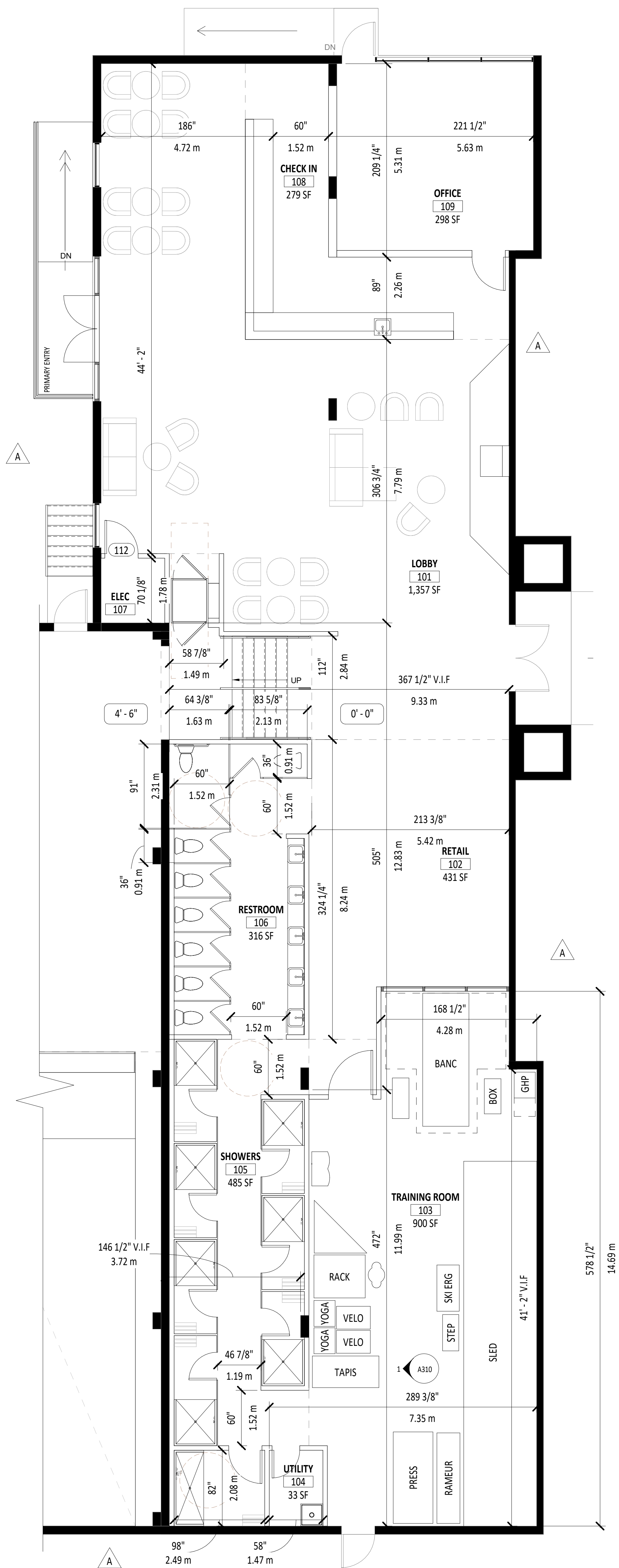
KEY NOTES	
#	NOTE
0202	EXISTING STRUCTURE TO BE PROTECTED
0207	EXISTING SKYLIGHT TO REMAIN
0208	EXISTING RAMP TO REMAIN

SHEET NOTES

1. DIMENSIONS ARE TO FACE OF FINISH AND CENTER OF COLUMN, UON.
2. REFER TO G500 SERIES FOR ACCESSIBILITY DETAILS.
3. CONTRACTOR AND OWNER VENDORS SHALL ENSURE ALL CUSTOM FABRICATED EQUIPMENT IS SIZED AND FABRICATED TO FIT THE SITE CONDITIONS INCLUDING BUT NOT LIMITED TO CLEARANCES, ACCESSIBILITY, AND MAINTENANCE REQUIREMENTS.

LEGEND

	NEW UNRATED PARTITION
	EXISTING WALL TO REMAIN
	ROOM SEPARATION
	DOOR TAG, SEE A800 SERIES
	FLOOR ELEVATION



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50 BRODERICK RD,
BURLINGAME, CA 94010

10. *Journal of the American Medical Association*, 2000; 284: 1039-1044.

1. REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. PROVIDE BLOCKING FOR ALL WALL AND ROOF MOUNTED ELEMENTS.

#	NOTE
0202	EXISTING STRUCTURE TO BE PROTECTED
0207	EXISTING SKYLIGHT TO REMAIN
0208	EXISTING RAMP TO REMAIN

STAMP

#	DATE	ISSUES & REVISIONS
A	8/13/2025	PERMIT RESUBMITTAL

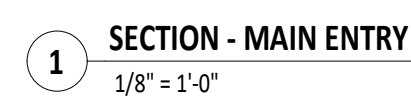
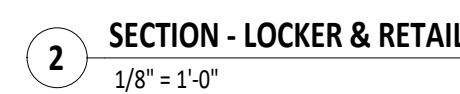
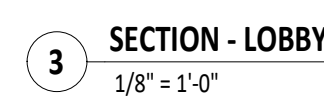
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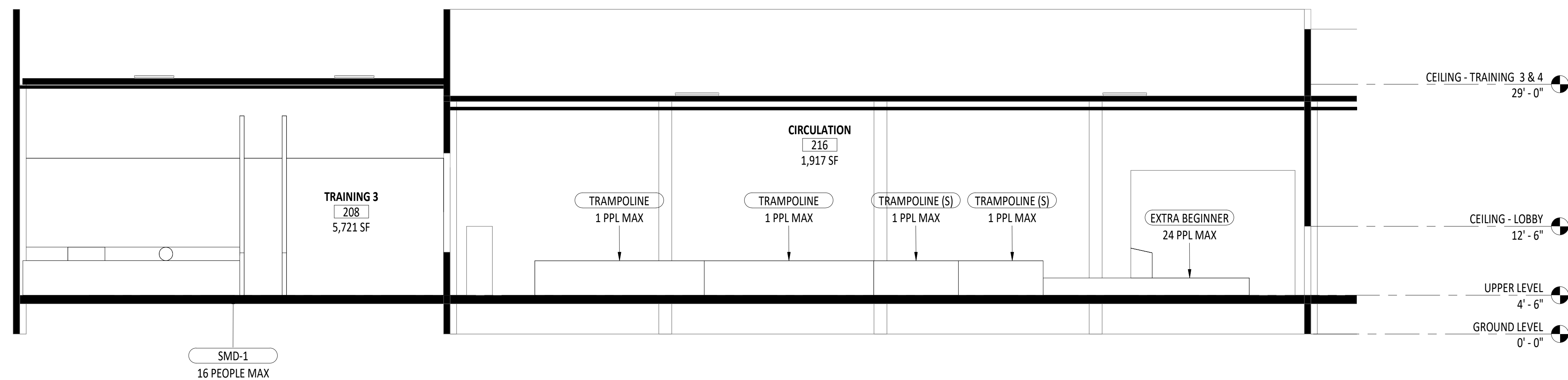
ENLARGED BUILDING
SECTIONS - LOBBY
AREA

SHEET NUMBER

A320

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SHEET NOTES

1. REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. PROVIDE BLOCKING FOR ALL WALL AND ROOF MOUNTED ELEMENTS.

KEY NOTES

#	NOTE
0202	EXISTING STRUCTURE TO BE PROTECTED
0207	EXISTING SKYLIGHT TO REMAIN
0208	EXISTING RAMP TO REMAIN

LEGEND

lowney
arch

TEL 510.836.5400 URL lowneyarch.com
360 seventeenth street | suite 200 | oakland, california 94612

METRO SLOPES

50 BRODERICK RD,
BURLINGAME, CA 94010

STAMP

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CONSTRUCTION

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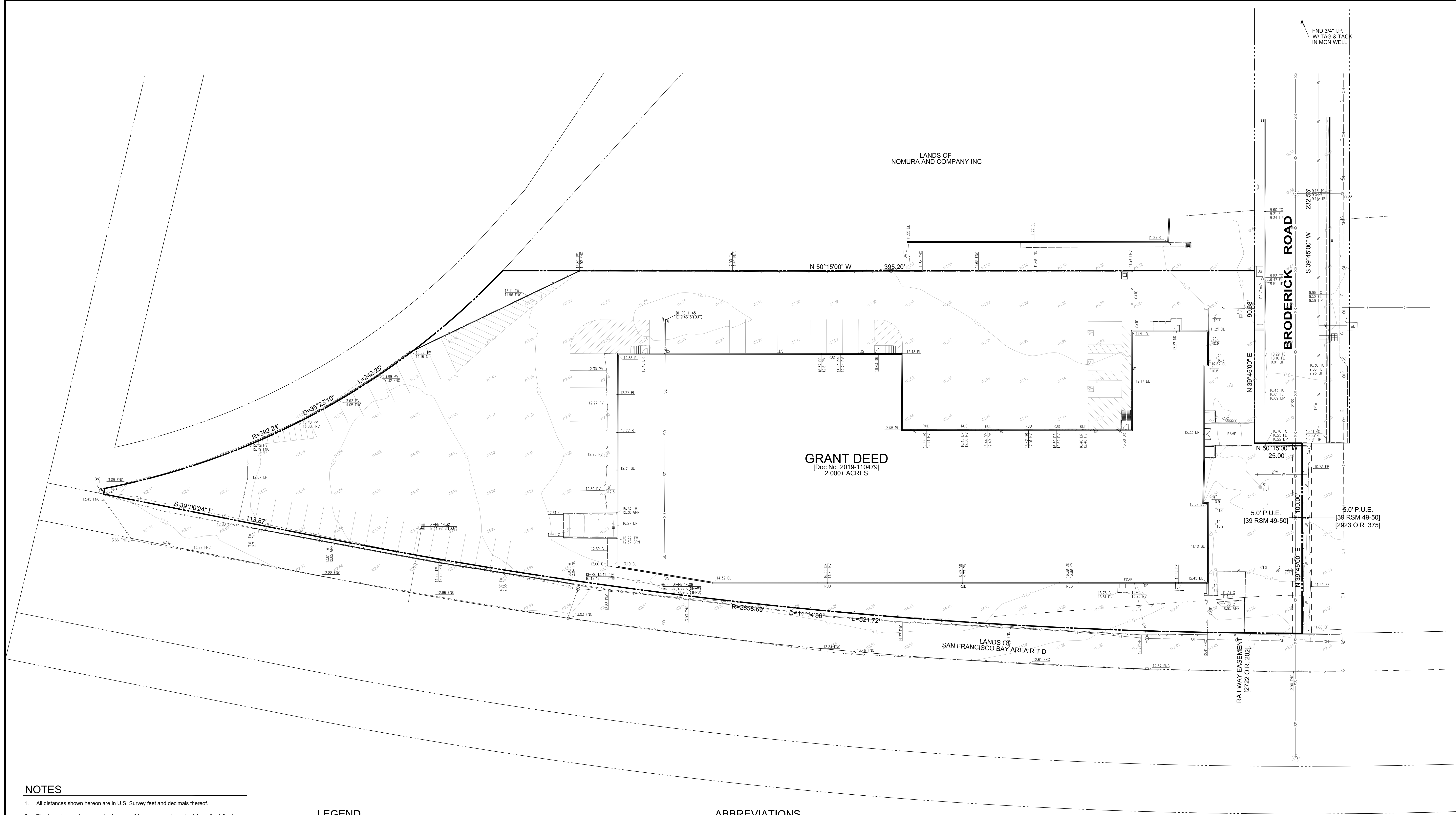
CHECKED BY: _____ Checker
PROJECT NUMBER: OAK24-CO-052
CONSULTANT PROJECT NO: _____
SHEET TITLE: _____

ENLARGED BUILDING SECTIONS - TRAINING AREA

SHEET NUMBER 4

R  **A321**

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NOTES

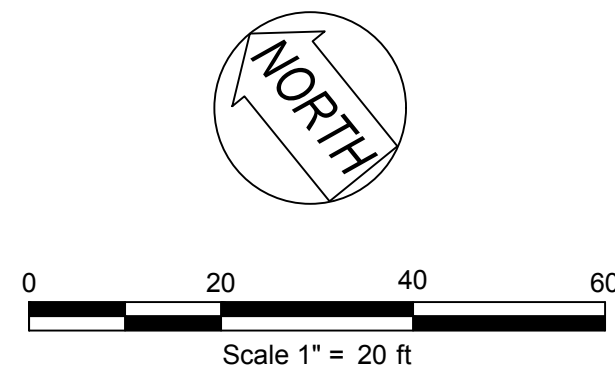
- All distances shown hereon are in U.S. Survey feet and decimals thereof.
- This boundary and easements shown on this survey was based solely on the following recorded documents:
Grant Deed filed for record on December 26, 2019 as Document No. 2019-110479, Official Records of San Mateo County.
No liability is assumed for matters of record not shown on said document that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- A.P.N.: 025-166-110
- Basis of Bearings:
The bearing of South 39°45' West taken on the centerline of Broderick Road as shown on that certain Map entitled "Unit No. 1 Millsdale Industrial Park" filed for record on August 16, 1954 in Volume 35 of Maps at Pages 49 and 50, San Mateo County Records was taken as the Basis of all Bearings shown hereon.
- Benchmark:
NGS CORS Station: "CAPO":
Elevation: 39.979 feet (GPS Observed) (Datum) NAVD 1988
- Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 065019 0132 F, dated April 05, 2019, as being located in Flood Zone "X";
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas of protected levees from 1% annual chance flood.
Information was obtained from the FEMA website (www.fema.gov) on June 27, 2025.

LEGEND

PROPERTY LINE	---	UTILITY BOX (SIZE VARIES)	□
ADJACENT PROPERTY LINE	---	SIGN	+
CENTERLINE	---	FLAG POLE	δ
EASEMENT	---	RECORD INFORMATION W/ REFERENCE	(100.00)①
APPROX. FLOOD ZONE BOUNDARY	---	TREE W/ SIZE AND ELEVATION	10' 100.0 x 32.1
BUILDING LINE W/ DOOR	---	SPOT ELEVATION	15
FOUND MONUMENT AS NOTED	●	CONTOUR	15
FOUND IRON PIPE OR AS NOTED	●	INDEX CONTOUR	15
LIGHT	○	CURB	---
STREET LIGHT	□	CURB & GUTTER	---
TRANSFORMER	⊠	CONCRETE	---
FIRE HYDRANT	⊙	FENCE	---
STORM DRAIN MANHOLE	⊙	RETAINING WALL	---
SANITARY SEWER MANHOLE	⊙	EDGE OF PAVEMENT	---
CLEAN OUT	○	SANITARY SEWER	SS
GAS METER	○	STORM DRAIN	SD
UTILITY POLE W/ GUY WIRE	⊙	WATER	W
VALVE	⊙	GAS	G
CATCH BASIN / DROP INLET	⊙	OVERHEAD	OH
WATER METER	⊙		
FIRE DEPARTMENT CONNECTION	⊙		
BACK FLOW PREVENTER	⊙		
POST INDICATOR VALVE	⊙		

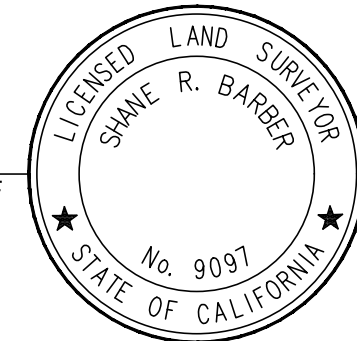
ABBREVIATIONS

BL	BUILDING
DI	DROP INLET
DR	DOOR
DS	DOWNSPOUT
EB	ELECTRIC BOX
ECAB	ELECTRIC CABINET
EP	EDGE OF PAVEMENT
EV	ELECTRIC VAULT
FNC	FENCE
GRN	GROUND
L/S	LANDSCAPE
LIP	LIP OF GUTTER
PV	PAVEMENT
RE	RIM ELEVATION
RUD	ROLL UP DOOR
WB	WATER BOX



DATE

PREPARED BY OR UNDER THE SUPERVISION OF
SHANE R. BARBER, L.S. 9097
sharbar@sharbarsurveying.com



TOPOGRAPHIC SURVEY 50 BRODERICK ROAD

SHEET
1
OF 1
PROJECT
25-037

SAN MATEO COUNTY

CALIFORNIA

ams
associates, inc. PLANNING ENGINEERING SURVEYING
801 YONACIO VALLEY ROAD
SUITE 100
WALNUT CREEK, CA 94596
925-943-2777 FAX 925-943-2778

DATE	JUNE 2025	REV #	BY	DATE	DESCRIPTION
SCALE:	1" = 20'	△			
DESIGNED:	AS	△			
DRAWN:	SB	△			
CHECKED:		△			
PROJ. MGR:		△			
FILE PATH:					