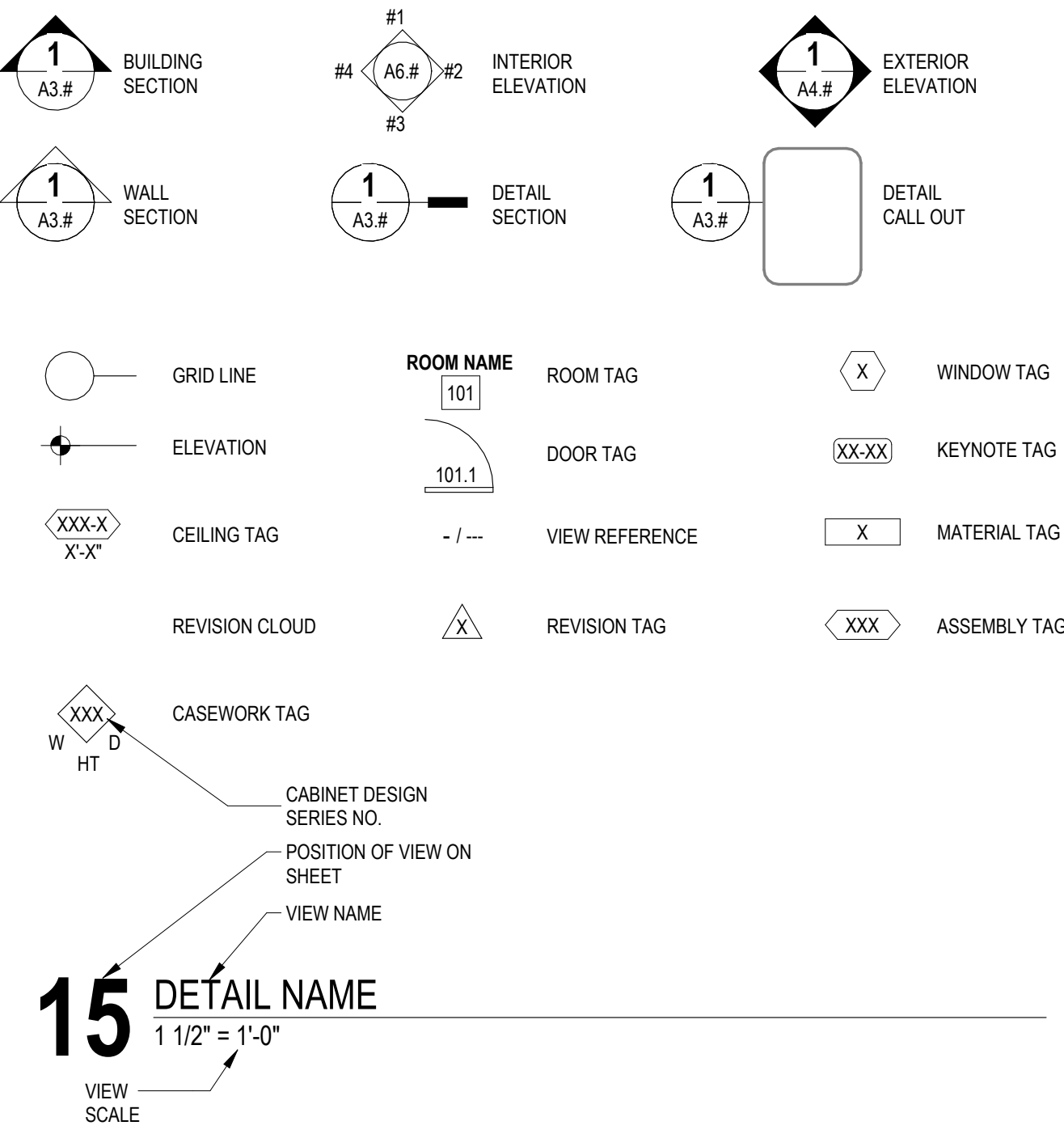


ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE	R	RADIUS
ABV	ABOVE	GALV	GALVANIZED	RA	RETURN AIR
AC	AIR CONDITIONING	GB	GYPSON BOARD	RB	RUBBER BASE
ACT	ACOUSTICAL CEILING TILE	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN
ADDL	ADDITIONAL	GL	GLASS, GLAZING	REC	RECYCLE(D)
ADJ	ADJUSTABLE	GWB	GYPSON WALL BOARD	REF	REFERENCE
AFF	ABOVE FINISH FLOOR	GYP	GYPSON	REFRIG	REFRIGERATOR OR REFRIGERATION
ALT	ALTERNATE	HC	HANDICAP	REINF	REINFORCE
ALUM	ALUMINUM	HDR	HEADER	RECO	REQUIRED
ARCH	ARCHITECT(URAL)	HDW	HARDWARE	RM	ROOM
AWN	AWNING	HM	HOLLOW METAL	RO	ROUGH OPENING
		HRZ	HORIZONTAL	ROW	RIGHT OF WAY
B/	BOTTOM OF	HR	HOUR	S	SOUTH
BD	BOARD	HT	HEIGHT	SC	SOLID CORE
BLDG	BUILDING	HTD	HEATED	SCH	SCHEDULE
BLKG	BLOCKING	HVAC	HEATING/VENTILATION & AIR CONDITIONING	SCHED	SCHEDULED
BM	BEAM OR BENCHMARK			SECT	SECTION
BRG	BEARING	ID	INSIDE DIAMETER	SF	SQUARE FEET
BTWN	BETWEEN	INFO	INFORMATION	SECT	SECTION
BUR	BUILT-UP ROOF	INSO	INSO/WAURATE	SFRM	SPRAY APPLIED FIRE RESISTIVE MATERIAL
CAB	CABINET	INSUL	INSULATE / INSULATED / INSULATION	SGL	SINGLE
CJ	CONTROL JOINT	INT	INTERIOR	SHT	SHEET
CL	CENTERLINE	INTV	INVERT	SHTG	SHEATHING
CLG	CEILING	JT	JOINT	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	JBOX	JUNCTION BOX	SPECS	SPECIFICATIONS
CO	CLEAN OUT			SOD	SLAB ON DECK
COL	COLUMN	KIT	KITCHEN	SOG	SLAB ON GRADE
CONC	CONCRETE	L	LONG / LENGTH	SOH	SAME OPPOSITE HAND
CONT	CONTINUOUS	LAM	LAMINATED	SS	STAINLESS STEEL
CONST	CONSTRUCTION	LAV	LAVATORY	ST	STONE TILE
CG	CORNER GUARD	LF	LINEAR FEET	STD	STANDARD
CPT	CARPET	LT	LIGHT	STND	STANDARD
CSMT	CASEMENT	MAS	MASONRY	STL	STEEL
CT	CERAMIC TILE	MATL	MATERIAL	STRUCT	STRUCTURAL
		MAX	MAXIMUM		
D	DEEP	MECH	MECHANICAL	TEMP	TEMPERED
DF	DRINKING FOUNTAIN	MEZZ	MEZZANINE	THK	THICK
DH	DOUBLE HUNG	MFR	MANUFACTURER	THRESH	THRESHOLD
DN(S)	DIMENSIONS	MH	MANHOLE	T.O.	TOP OF
DISP	DISPENSER	MIN	MINIMUM	TOBM	TOP OF BEAM
DN	DOWN	MISC	MISCELLANEOUS	T.O.BM	TOP OF BEAM
DR	DOOR	NO	NOT TO SCALE	T.O.P	TOP OF PLATE
DS	DOWNSPOUT	MTL	METAL	T.O.S	TOP OF STEEL
DTL	DETAIL	N	NORTH	T/	TOP OF
DWG	DRAWING	NIC	NOT IN CONTRACT	T&G	TONGUE AND GROOVE
		NOI	NOMINAL	TEL	TELEPHONE
E	EAST	NVS	NOT TO SCALE	THK	THICK
EA	EACH	OC	ON CENTER	TRANS	TRANSOM
EC	EXISTING COLUMN	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN	TV	TELEVISION
EJ	EXPANSION JOINT	OPNG	OPENING	TYP	TYPICAL
ELEC	ELECTRICAL	OPP	OPPOSITE	UL	UNDERWRITERS LABORATORY
EL	ELEVATION	OSB	ORIENTED STRAND BOARD	UNO	UNLESS NOTED OTHERWISE
ELEV	ELEVATOR	OVHD	OVERHEAD		
EQU	EQUAL	PL	PLATE	VB	VINYL BASE
EQUIP	EQUIPMENT	PLAM	PLASTIC LAMINATE	VCT	VINYL COMPOSITION TILE
EWC	ELECTRIC WATER COOLER	PLUMB	PLUMBING	VERT	VERTICAL
EXH	EXHAUST	PLYWD	PLYWOOD	VEST	VESTIBULE
EXIST	EXISTING	PNL	PANEL	VIF	VERIFY IN FIELD
EXP	EXPANSION OR EXPOSED	PNT	PAINT	VP	VENER PLASTER
EXT	EXTERIOR	POLY	POLYESTER OR POLYOLEFIN	VR	VAPOR RETARDER
		PSF	POUNDS PER SQUARE FOOT	VT	VINYL TILE
FACP	FIRE ALARM CONTROL PANEL	PSI	POUNDS PER SQUARE INCH	VWC	VINYL WALL COVERING
FCD	FLOOR DRAIN	PT	PRESSURE TREATED OR POINT		
FE	FIRE EXTINGUISHER	PVMT	PAVEMENT	W	WIDE OR WEST
FEC	FIRE EXTINGUISHER CABINET	QT	QUARRY TILE	WI	WITH
F.F.	FINISH FLOOR	QTR	QUARTER	WC	WATER CLOSET
FIN	FINISH	QTY	QUANTITY	WD	WOOD
FIXT	FIXTURE			WOW	WINDOW
FLR	FLOOR			WG	WALL GUARD
FND	FOUNDATION			WH	WATER HEATER
FP	FIRE PROTECTION			WIN	WITHIN
FR	FRAME			WIO	WITHOUT
FRMG	FRAMING			WP	WATERPROOF
FT	FEET/FOOT OR FIRE TREATED			WR	WATER RESISTANT
FTG	FOOTING			WT	WEIGHT
FTNG	FOOTING			WWF	WELDED WIRE FABRIC
FRP	FIBERGLASS REINFORCED PANEL				
FRT	FIRE RETARDANT TREATED			#	NUMBER OR POUND
				@	AT

EXPLANATION OF SYMBOLS



PROJECT SCOPE

DEMOLISH EXISTING TWO STORY PLUS BASEMENT HOUSE, DETACHED GARAGE, POOL HOUSE, DRIVEWAYS AND ALL ASSOCIATED HARDSCAPES

CONSTRUCT NEW SINGLE STORY 6 BEDROOM HOUSE WITH PARTIAL BASEMENT, ATTACHED TWO CAR GARAGE AND ATTACHED ONE BEDROOM ACCESSORY DWELLING UNIT.

CONSTRUCT NEW DRIVEWAY WITH TWO ENTRANCES FROM PEPPER AVENUE, NEW HARDSCAPE PER PLAN, NEW SITE WALLS AND FENCES PER PLAN, AND NEW SWIMMING POOL AND HOT TUB.

GENERAL REQUIREMENTS

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION

THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK

AT THE TIME OF APPLICATION FOR BUILDING PERMIT, A COMPLETED SUPPLEMENTAL DEMOLITION APPLICATION WILL BE PROVIDED

MECHANICAL EQUIPMENT INSTALLED ON THE EXTERIOR OF THE BUILDING SHALL NOT EXCEED MAXIMUM OUTDOOR NOISE LEVEL (dBA) OF SIXTY (60) dBA DAYTIME (7:00 A.M. - 10:00 P.M.) OR FIFTY (50) dBA NIGHTTIME (10:00 P.M. - 7:00 A.M.) AS MEASURED FROM THE PROPERTY LINE. BMC 25.58.050

FIRE PROTECTION

A FIRE SPRINKLER SYSTEM IS REQUIRED THROUGHOUT THE HOUSE, ADU AND ATTACHED GARAGE.

THE FIRE SPRINKLER SYSTEM SHALL BE A DEFERRED SUBMITTAL. SPRINKLER DESIGN DRAWINGS SHALL BE SUBMITTED WITH THE SUBSEQUENT BUILDING PERMIT APPLICATION.

THE FOLLOWING MEASURES ARE PROVIDED TO MITIGATE FIRE ACCESS TRAVEL GREATER THAN 150' FROM THE PUBLIC WAY. REFER TO CENTRAL COUNTY FIRE DEPARTMENT APPROVED ALTERNATE MEANS OF PROTECTION APPLICATION #25-0006.

ENHANCED SPRINKLER COVERAGE: FIRE SPRINKLERS WILL BE INSTALLED PER NFPA 13D, AND THERE WILL BE ADDITIONAL COVERAGE PROVIDED IN ALL CLOSETS, STORAGE, UTILITY AND MECHANICAL ROOMS.

IMPROVE BUILDING CONSTRUCTION: THE EXTERIOR WINDOWS AND DOORS WITH GLASS SHALL ALL HAVE A MINIMUM OF 1 PANE OF TEMPERED GLASS, INCREASING RESISTANCE TO EMBER EXPOSURE AND HIGH HEAT. PROPOSED WINDOWS ARE ALUMINUM CLAD ON THE EXTERIOR.

IMPROVE BUILDING CONSTRUCTION: ALL EAVE VENTS WILL BE ELIMINATED. UNVENTED ROOF ASSEMBLIES WILL BE DESIGNED FOR BOTH FLAT AND SLOPED ROOFS UTILIZING CLOSED CELL SPRAY FOAM INSULATION.

IMPROVE BUILDING CONSTRUCTION: CLASS A ROOF ASSEMBLIES WILL BE USED FOR BOTH FLAT AND SLOPED ROOFS.

SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A ROOF ASSEMBLY.

FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A ROOF ASSEMBLY.

CODE INFORMATION

GOVERNING CODES:	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889 BURLINGAME MUNICIPAL CODE
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	YES
OCCUPANCY:	R-3 SINGLE FAMILY RESIDENCE AND ADU U PRIVATE GARAGE

ARCHITECTURAL DRAWINGS

SHEET NO.	SHEET NAME
A001	COVER SHEET
A002	SITE CONTEXT PLANS
SHEET NO.	SHEET NAME
C1	TOPOGRAPHIC SURVEY
SHEET NO.	SHEET NAME
A100	SITE PLAN EXISTING
A101	SITE PLAN
A102	AREA DIAGRAMS AND CALCULATIONS
A200	MAN LEVEL PLAN
A201	ENLARGED FLOOR PLANS
A202	ENLARGED FLOOR PLANS
A210	BASEMENT PLAN
A220	ROOF PLAN
A300	PERSPECTIVES
A310	OVERALL EXTERIOR ELEVATIONS
A311	EXTERIOR ELEVATIONS
A312	EXTERIOR ELEVATIONS
A313	EXTERIOR ELEVATIONS
A314	EXISTING BUILDING EXTERIOR ELEVATIONS
A320	EXISTING BUILDING EXTERIOR ELEVATIONS
A321	EXISTING BUILDING EXTERIOR ELEVATIONS
A400	BUILDING SECTIONS
A401	BUILDING SECTIONS
SHEET NO.	SHEET NAME
L100	SITE LANDSCAPE PLAN

MISTELE-RAFANELLI RESIDENCE



121 PEPPER AVE
BURLINGAME, CA 94010

ISSUE DATE: 02/11/2025

A&E PROJECT NUMBER: 24045

CONSTRUCTION HOURS

WEEKDAYS:	8:00 A.M. - 7:00 P.M.
SATURDAYS:	9:00 A.M. - 6:00 P.M.
SUNDAYS AND HOLIDAYS:	NO WORK ALLOWED
IN CITY PUBLIC R.O.W.:	WEEKDAYS AND NON-CITY HOLIDAYS 8:00 A.M. - 5:00 P.M.
OBSERVED HOLIDAYS:	JANUARY 1 THE THIRD MONDAY IN JANUARY THE THIRD MONDAY IN FEBRUARY THE LAST MONDAY IN MAY JUNE 19 JULY 4 THE FIRST MONDAY IN SEPTEMBER THE SECOND MONDAY IN OCTOBER NOVEMBER 11 THE FOURTH THURSDAY IN NOVEMBER DECEMBER 25
	REFER TO CITY OF BURLINGAME MUNICIPAL CODE, SECTION 18.07.110 AND 13.04.100 FOR ADDITIONAL DETAILS

PROJECT TEAM

OWNER COLIN MISTELE AND KATHERINE RAFANELLI	ARCHITECT A&E DESIGN COLLECTIVE 124 N 29TH ST, SUITE 100 BURLINGAME, MT 59101-2019 JOHN PHILLIPS, PROJECT MANAGER (408) 721-5643 BURLINGAME BUSINESS LIC. #: 20508462	CONTRACTOR TBD	SURVEYOR QUIET RIVER LAND SERVICES, INC. 11501 DUBLIN BLVD, SUITE 200 DUBLIN, CA 94568 (925) 734-6788
CIVIL ENGINEER TBD	STRUCTURAL ENGINEER TBD	MECHANICAL ENGINEER TBD	ELECTRICAL ENGINEER TBD



COVER SHEET
sheet
project
owner
MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE, BURLINGAME, CA 94010
APN: 0282742210
COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
2	05/12/2025

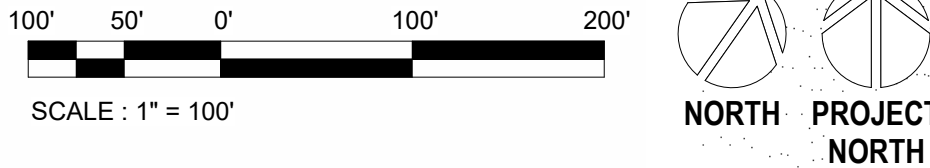
phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



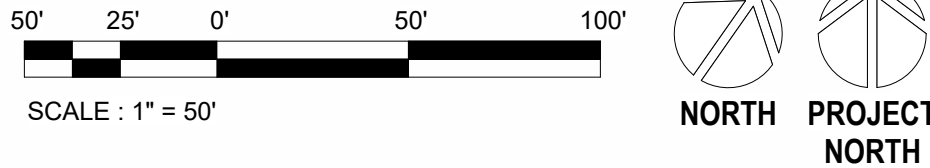
issue date
02/11/2025
A001



1 SITE PLAN EXISTING CONTEXT
1" = 100'-0"



2 SITE PLAN AREA OF INLUENCE
1" = 50'-0"

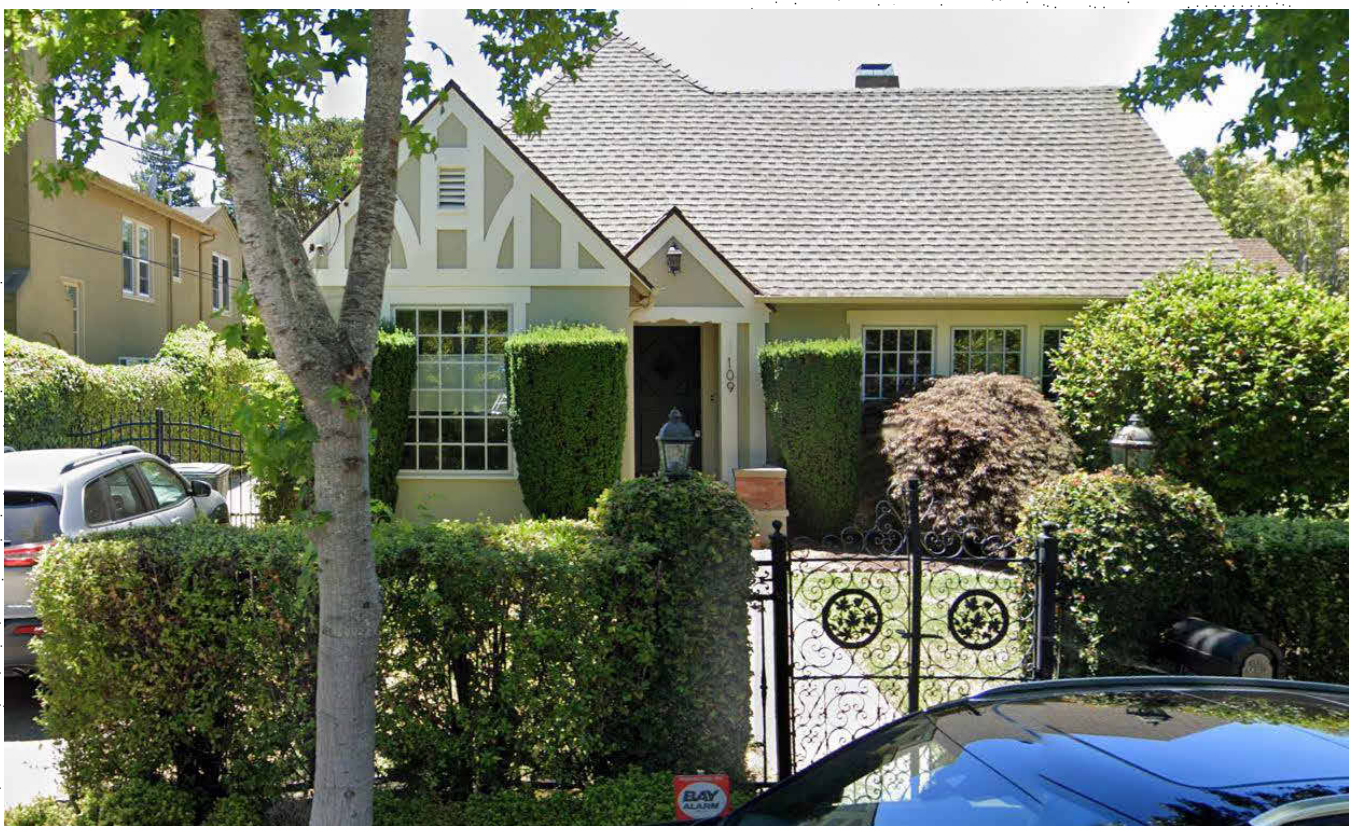


SITE CONTEXT LEGEND

SYMBOL	MEANING
	PROPERTY LINE
	ROAD
	SET BACK FROM ROAD
	CITY LIMIT
	AREA OF INFLUENCE
	PROJECT PROPERTY
	EXISTING FOOTPRINT
	EXISTING SURROUNDING HOUSES



105 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1927



109 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1928
EXAMPLE HOUSE



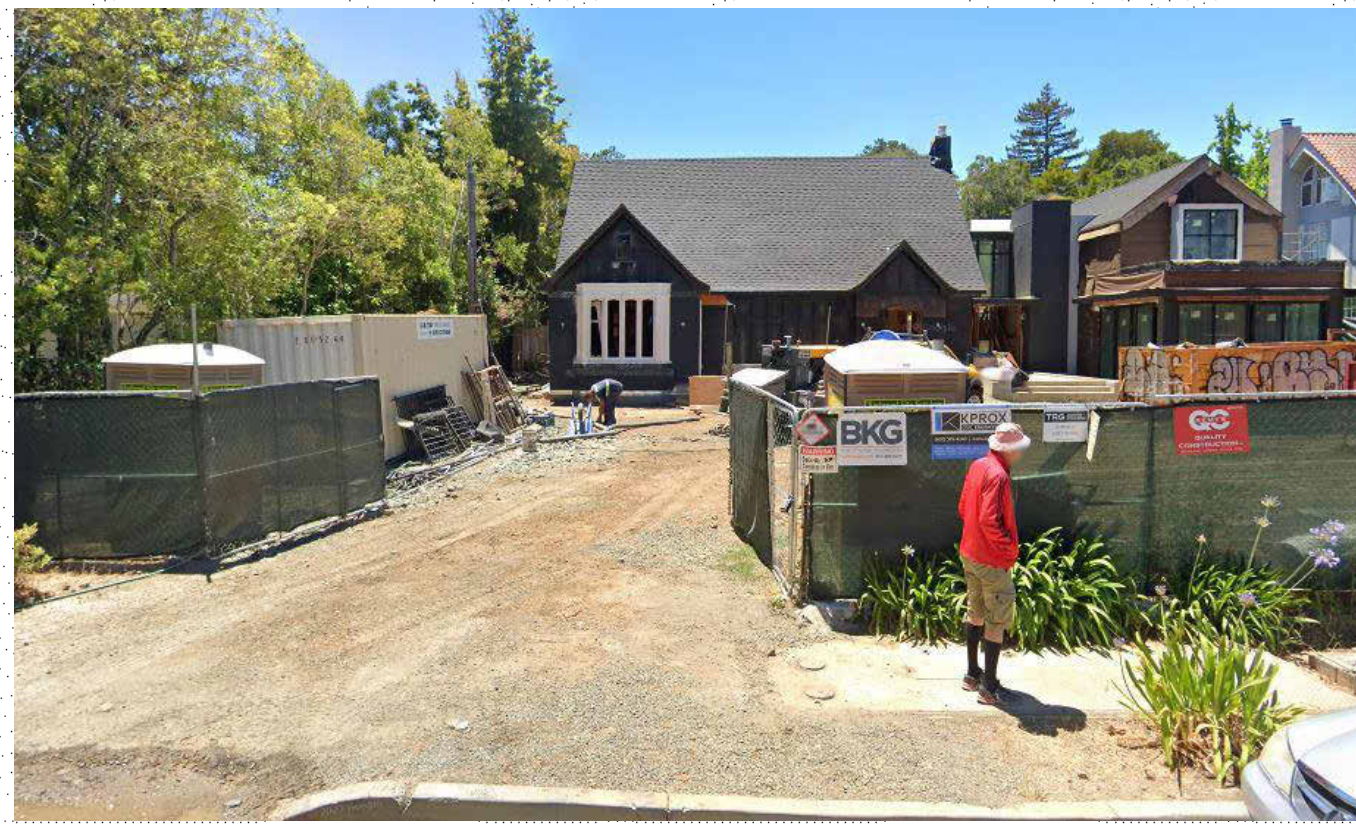
111 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1911
EXAMPLE HOUSE



121 PEPPER AVENUE EXISTING (SUBJECT PROPERTY)
ORIGINAL DATE OF CONSTRUCTION: 1924



125 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1920



133 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1924



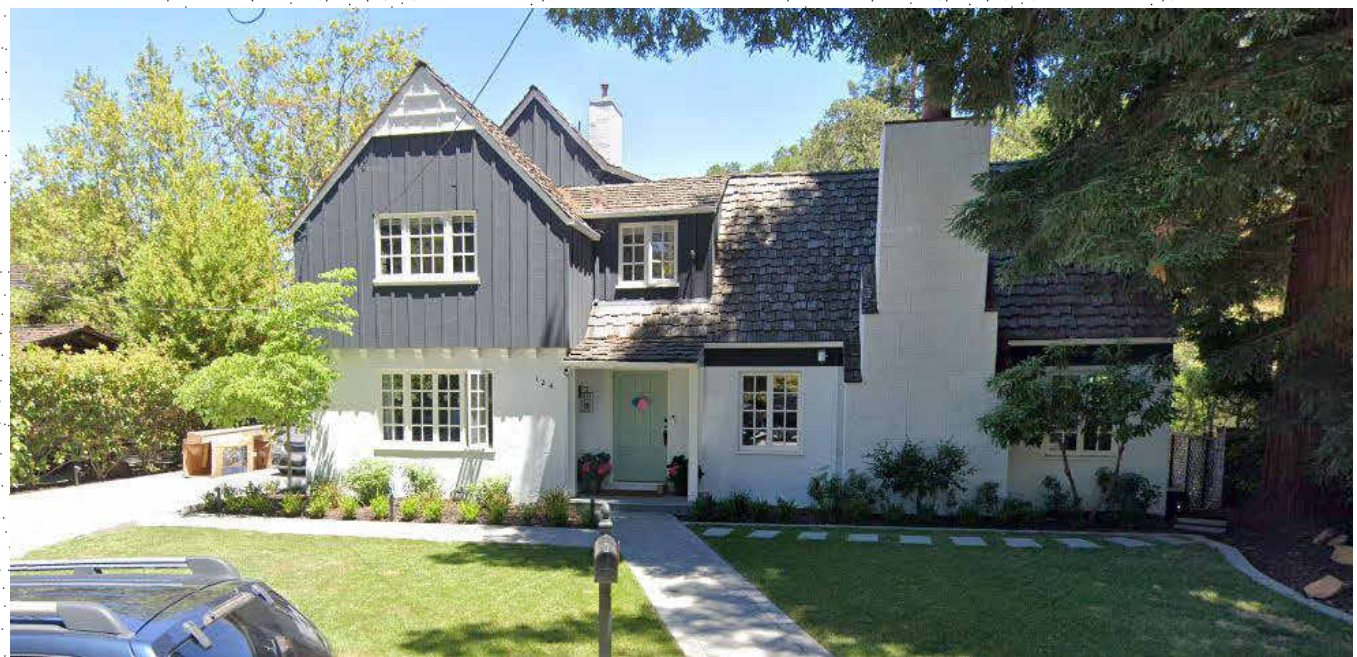
141 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1887



106 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1941



112 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1936



124 PEPPER AVENUE
ORIGINAL DATE OF CONSTRUCTION: 1932

EXISTING NEIGHBORHOOD CONTEXT PHOTOS

SITE CONTEXT PLANS

sheet
project
owner

project # 24045

revision date

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



issue date
02/11/2025

A002

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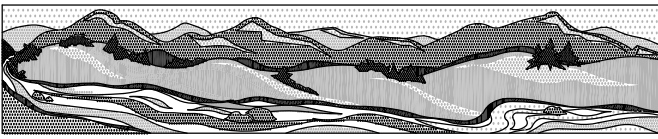
TOPOGRAPHIC SURVEY

LANDS OF RAFANELLI
LOT 8 & PORTION OF LOT 13, BLOCK 1
MAP OF SUBDIVISION NO. 3 BURLINGAME PARK
(GRANT DEED #2023-0061521-ROSSELLI TRUST)
121 PEPPER AVENUE

CITY OF BURLINGAME SAN MATEO COUNTY CALIFORNIA

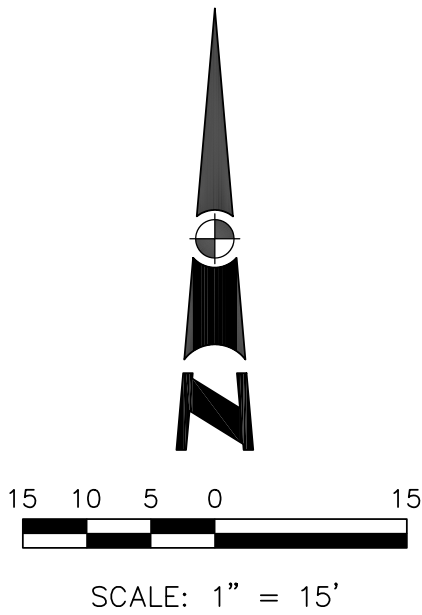
SCALE: 1" = 15'

MARCH 2024



QUIET RIVER
Land Services Inc.

11501 Dublin Boulevard, Suite 200
Dublin, CA 94568
(925) 734-6788 Phone



SCALE: 1" = 15'

BASIS OF BEARINGS

RECORD OF SURVEY 3357 FILED IN BOOK 47 OF LICENSED LAND SURVEYOR'S MAPS AT PAGE 60, RECORDS OF SAN MATEO COUNTY, AND TWO FOUND MONUMENTS AS SHOWN.

BASIS OF ELEVATION

THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A IGA173 RECEIVER AND POST-PROCESS USING THE CORS NETWORK. ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

PROPERTY BOUNDARY NOTE

THIS IS NOT A PROPERTY BOUNDARY SURVEY. THIS MAP REFLECTS A TOPOGRAPHIC SURVEY OF THE SUBJECT PARCEL. PROPERTY MONUMENTS WERE NOT REQUESTED AND NONE WERE SET. THE PROPERTY BOUNDARY LINE AND PARCEL AREA DATA AS SHOWN HEREON IS FOR INITIAL PLANNING PURPOSES ONLY AND ARE NOT FINAL, AS PER AGREEMENT. THE LINES AS SHOWN REFLECT RECORD INFORMATION AND AVAILABLE DATA FOR THE SUBJECT PARCEL AND RIGHT-OF-WAY LINES.

NOTES

- THIS MAP IS NOT A PROPERTY BOUNDARY SURVEY. THIS IS TOPOGRAPHY MAP. NO PROPERTY CORNER MONUMENTS WERE SET FOR THIS PROJECT.
- NO TITLE REPORTS WERE SUPPLIED FOR THIS PROJECT AND ONLY LIMITED PROPERTY/DEED RESEARCH WAS DONE, CONSEQUENTLY EASEMENTS OF RECORD, IF ANY, AND ANY RECENT CHANGES IN LAND PARCEL BOUNDARIES WILL NOT BE REFLECTED HEREON. UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- DATE OF FIELD SURVEY: MARCH 4 & 7, 2024
- PROJECT BENCHMARK: SET NAIL AND SHINER IN ASPHALT LOCATED SOUTHWEST OF POOL HOUSE SHOWN AS TBM HAVING AN ELEVATION OF 78.94 AMSL(NAVD88).

SURVEYOR'S STATEMENT

I, KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN, ARE BASED UPON A FIELD SURVEY PERFORMED MARCH 4 & 7, 2024 BY OUR COMPANY FIELD CREW; AND I FURTHERMORE DO STATE THAT THE PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND THE ITEMS AND INFORMATION AS SHOWN, WERE DONE UNDER MY SUPERVISION AND DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



KEVIN M. MCGUIRE, CA PLS #6437 3/14/24
DATE

LEGEND

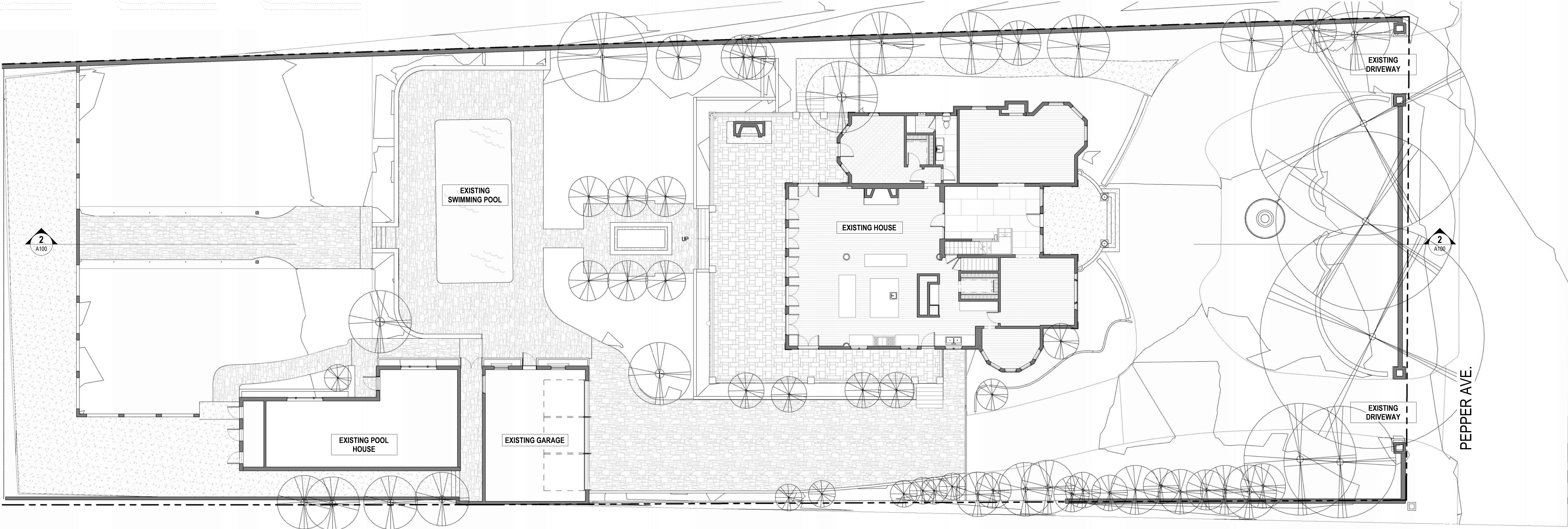
AD.	AREA DRAIN	---	SUBJECT PROPERTY LINE
APN:	ASSESSOR'S PARCEL NUMBER	---	ADJOINER PROPERTY LINE
CP	CONTROL POINT	-x-x-	EXISTING FENCE LINE
CO	CLEANOUT	⊕	AREA DRAIN
CONC.	CONCRETE	+	HOSE BIB
EL.	ELEVATION	⊗	MANHOLE
FND.	FOUND	⊠	CATCH BASIN
HT.	HEIGHT	⊞	WATER METER
ICV	IRRIGATION CONTROL VALVE	⊙	GAS METER
HB	HOSE BIB	☆	LIGHT
x 74.0	SPOT ELEVATION		
▲	SURVEY CONTROL POINT		
■	PROJECT BENCHMARK		

C1

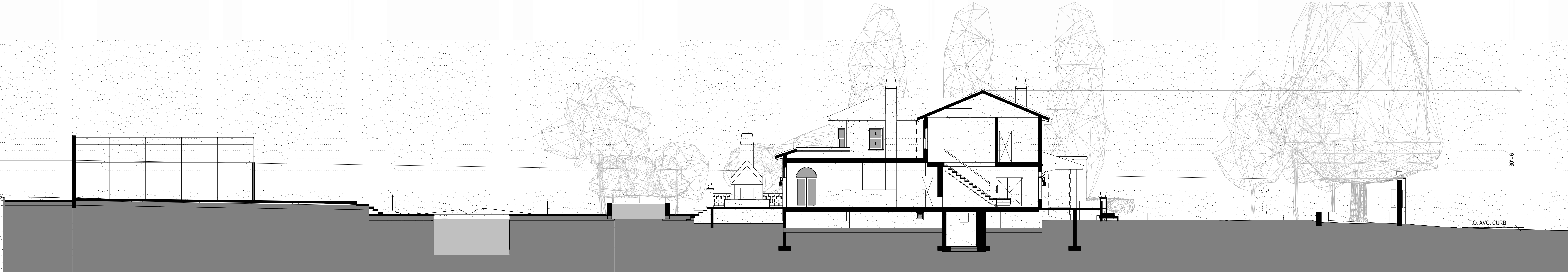
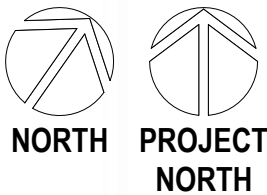


EXISTING PLAN NOTES

- EXISTING HOUSE TO BE REMOVED IN ITS ENTIRETY
- EXISTING GARAGE TO BE REMOVED IN ITS ENTIRETY
- EXISTING POOL HOUSE TO BE REMOVED IN ITS ENTIRETY
- EXISTING SWIMMING POOL AND SURROUNDING HARDSCAPE TO BE REMOVED IN ITS ENTIRETY
- EXISTING DRIVEWAY AND HARDSCAPE TO BE REMOVED IN THEIR ENTIRETY



1 SITE PLAN EXISTING
1" = 10'-0"



2 SITE SECTION EXISTING
1" = 10'-0"

sheet SITE PLAN EXISTING

project **MISTELE-RAFANELLI RESIDENCE**
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210

owner COLIN MISTELE AND KATHERINE RAFANELLI

project # **24045**

revision _____ date _____

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



issue date
02/11/2025

A100

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POST CONSTRUCTION IMPERVIOUS SURFACE CALCULATION

AREA OF SITE	32,580	SF		
PROPOSED IMPERVIOUS SURFACE AREA:				
ROOF:	10,944	SF		
CONCRETE IN AUTO-COURT:	1,581	SF		
CONCRETE IN NORTH DRIVEWAY:	120	SF		
CONCRETE IN SOUTH DRIVEWAY:	360	SF		
DRIVEWAY APRONS IN FRONTAGE:	880	SF		
SITE WALLS:	650	SF		
CONCRETE PAVEMENT ENTRY PATHS:	1,103	SF		
POOL, SPA AND CORING:	527	SF		
CONCRETE SLAB WALKS & PATIOS:	16,145	SF		
TOTAL IMPERVIOUS SURFACE AREA:	16,145	SF	=	49.5%
IMPERVIOUS AREA REQUIRING MITIGATION:	3,113	SF		

- NOTES:
- THE PROJECT IS PROPOSING GREATER THAN 10,000 SF OF NEW AND REPLACED IMPERVIOUS SURFACE, REQUIRING ON-SITE TREATMENT OF STORMWATER. ALL STORMWATER WILL BE COLLECTED ON SITE AND DIRECTED TO ON SITE TREATMENT AREAS. DESIGN FOR RETENTION AND TREATMENT OF STORMWATER BY THE CIVIL ENGINEER WILL BE PROVIDED AT TIME OF BUILDING PERMIT SUBMITTAL.
 - THE PROJECT IS PROPOSING GREATER THAN 40% LOT COVERAGE BY IMPERVIOUS SURFACES, REQUIRING RETENTION OF STORMWATER RUN-OFF GENERATED BY 3,113 SF OF IMPERVIOUS SURFACE. AREA OVER 40% DESIGN FOR THE RETENTION OF STORMWATER BY THE CIVIL ENGINEER WILL BE PROVIDED AT THE TIME OF BUILDING PERMIT SUBMITTAL.
 - ROOF DOWNSPOUTS WILL BE COLLECTED BY STORM DRAINAGE TIGHTLINES AND CONNECTED TO ON SITE RETENTION AND BIOTREATMENT FACILITIES.

FRONT SETBACK IMPERVIOUS SURFACE CALCULATION

AREA OF FRONT SETBACK:	5,896	SF		
ALLOWABLE IMPERVIOUS SURFACE AREA:	40%			
PROPOSED IMPERVIOUS SURFACE AREA:				
CONCRETE IN AUTO-COURT:	1,581	SF		
CONCRETE IN NORTH DRIVEWAY:	120	SF		
CONCRETE IN SOUTH DRIVEWAY:	428	SF		
18" WIDE SITE WALLS:	34.5	SF		
ENTRY PATH:	22.5	SF		
ADU PAVEMENT WALKWAY:	2,283.5	SF	=	38.7%
TOTAL IMPERVIOUS SURFACE AREA:	2,283.5	SF		
PERMEABLE PAVERS:	1,788	SF		
LANDSCAPE:	1,824.5	SF		
PROPOSED PERVIOUS SURFACE AREA:	3,612.5	SF	=	61.3%

FIRE PROTECTION MITIGATION MEASURES

- ENHANCED SPRINKLER COVERAGE. FIRE SPRINKLERS WILL BE INSTALLED PER NFPA 13D, AND THERE WILL BE ADDITIONAL COVERAGE PROVIDED IN ALL CLOSETS, STORAGE, UTILITY AND MECHANICAL ROOMS.
- IMPROVE BUILDING CONSTRUCTION: THE EXTERIOR WINDOWS AND DOORS WITH GLASS SHALL ALL HAVE A MINIMUM OF 1 PANE OF TEMPERED GLASS.
 - INCREASING RESISTANCE TO EMBER EXPOSURE AND HIGH HEAT. PROPOSED WINDOWS ARE ALUMINUM CLAD ON THE EXTERIOR.
 - IMPROVE BUILDING CONSTRUCTION: ALL EAVE VENTS WILL BE ELIMINATED. UNVENTED ROOF ASSEMBLIES WILL BE DESIGNED FOR BOTH FLAT AND SLOPED ROOFS UTILIZING CLOSED CELL SPRAY FOAM INSULATION.
 - IMPROVE BUILDING CONSTRUCTION: CLASS A ROOF ASSEMBLIES WILL BE USED FOR BOTH FLAT AND SLOPED ROOFS.
 - SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A ROOF ASSEMBLY.
 - FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A ROOF ASSEMBLY.

BLOCK AVG. FRONT SETBACK

2017 DESIGN REVIEW SUBMITTAL FOR THE PROJECT CURRENTLY UNDER CONSTRUCTION AT 133 PEPPER AVENUE, WHICH IS ON THE SAME SIDE OF THE SAME BLOCK AS THE SUBJECT PROPERTY, ESTABLISHED THE BLOCK AVERAGE SETBACK OF 56'-6". REFERENCE CITY OF BURLINGAME STAFF REPORT DATED 12/11/2017

(10) LOTS ARE INCLUDED IN THE AVERAGE, EXCLUDING CORNER LOTS, AND THE LEAST AND GREATEST SETBACKS AT 109 PEPPER AVE AND 151 PEPPER AVE.

133 PEPPER AVENUE REDUCED THEIR ACTUAL FRONT BUILDING SETBACK FROM 74'-0" EXISTING TO 58'-8" NEW, FOR A REDUCTION OF 15.33'

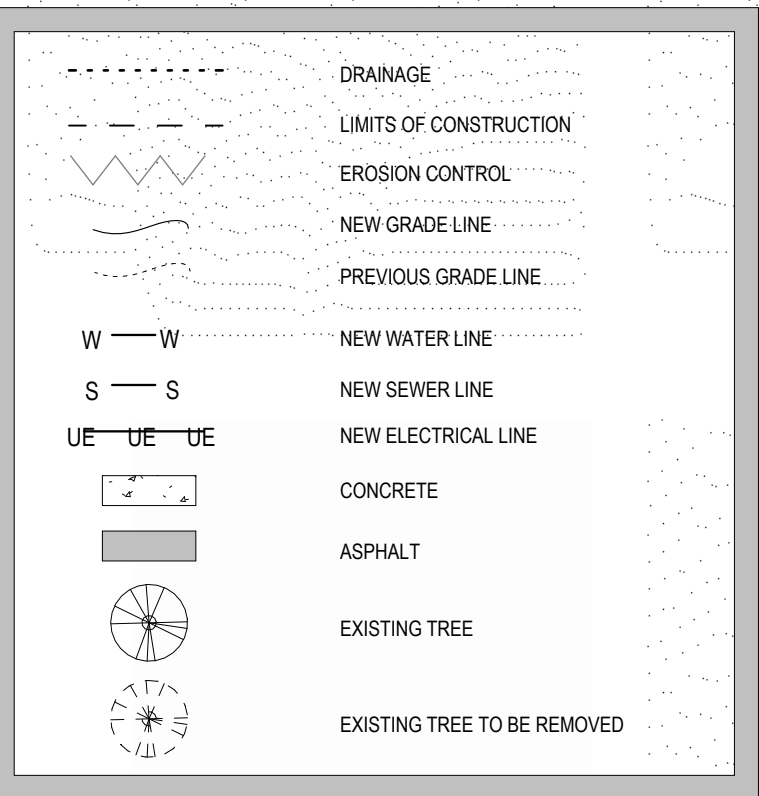
10 LOTS X 56.5' AVERAGE SETBACK = 565' OF TOTAL SETBACK

565' - 15.33' (REDUCTION OF LOT 133 SETBACK) = 549.67'

549.67' / 10 LOTS = 55'-0"

NEW BLOCK AVERAGE SETBACK = 55'-0"

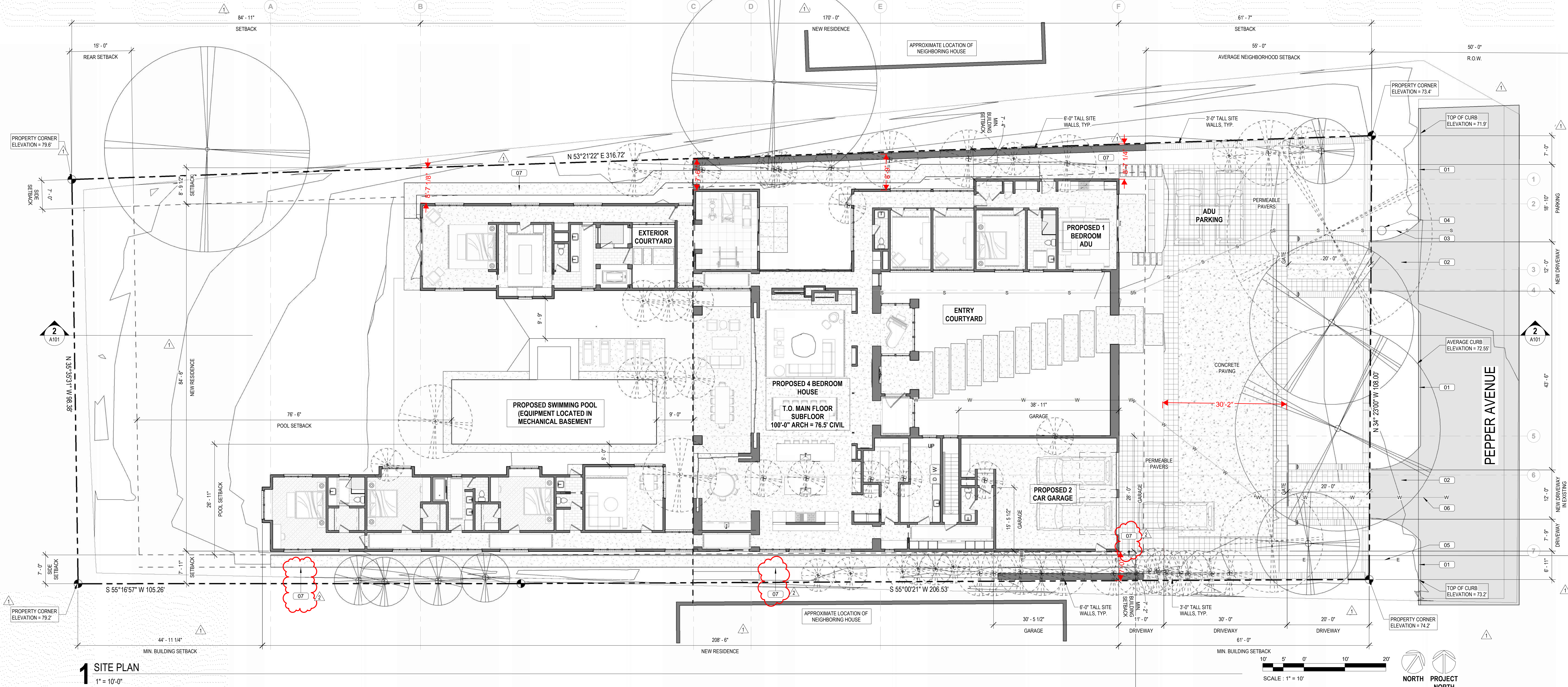
SITE LEGEND



KEYNOTES	
NUMBER	KEYNOTE
01	EXISTING CURB AT PROPERTY FRONTAGE TO BE REPLACED WITH NEW CONCRETE CURBS AND GUTTER PER CITY STANDARDS
02	NEW CONCRETE CURBS OUT AND NEW DRIVEWAY APRON TO BE INSTALLED PER CITY STANDARDS
03	NEW 4" SANITARY SEWER LATERAL WITH NEW WYE TO MAIN INSTALLED PER CITY STANDARDS. FINAL LOCATION TO BE DESIGNED BY CIVIL ENGINEER.
04	SANITARY SEWER CLEAN-OUT. FINAL LOCATION TO BE DESIGNED BY CIVIL ENGINEER.
05	NEW UNDERGROUND ELECTRICAL SERVICE. FINAL LOCATION TO BE DESIGNED BY ELECTRICAL ENGINEER.
06	NEW WATER SERVICE AND CONNECTION TO MAIN INSTALLED PER CITY STANDARDS. FINAL LOCATION TO BE DESIGNED BY CIVIL ENGINEER.
07	FIRE APPARATUS PATH

SITE PLAN NOTES

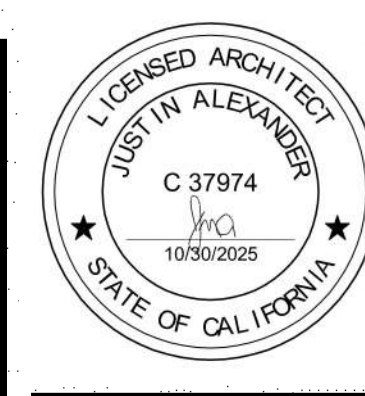
- T.O. MAIN FLOOR SUBFLOOR = 100'-0"
- 100'-0" ARCHITECTURAL ELEVATION = 76.5' CIVIL ELEVATION
- REFER TO LANDSCAPE SITE PLAN, SHEET 1100 FOR PROPOSED TREE REPLACEMENT AND NEW PLANTINGS.
- ALL EXISTING UTILITIES ON SITE, INCLUDING SANITARY SEWER, WATER SERVICE, AND ELECTRICAL ARE TO BE REMOVED.
- PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS TO THE SEWER MAIN PER CITY STANDARDS.
- DISCONNECT ABANDONED WATER SERVICE FROM MAIN PER CITY STANDARDS.
- NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOXES, ETC) ARE PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.
- POTENTIAL FOR A GROUNDWATER TABLE THAT WOULD IMPACT THE BASEMENT EXISTS ON THIS PROPERTY. PENDING RESULTS FROM THE GEOTECHNICAL INVESTIGATION. IF THE GROUNDWATER TABLE IS AT A LEVEL THAT AFFECTS THE BASEMENT, CONTINGUOUS PUMPING TO A HARD-PIPE CONNECTED TO THE NEAREST CITY STORM MAIN OR CATCH BASIN WILL BE REQUIRED.



1 SITE PLAN
1" = 10'-0"



2 SITE SECTION
1" = 10'-0"



SITE PLAN
sheet
project
owner

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

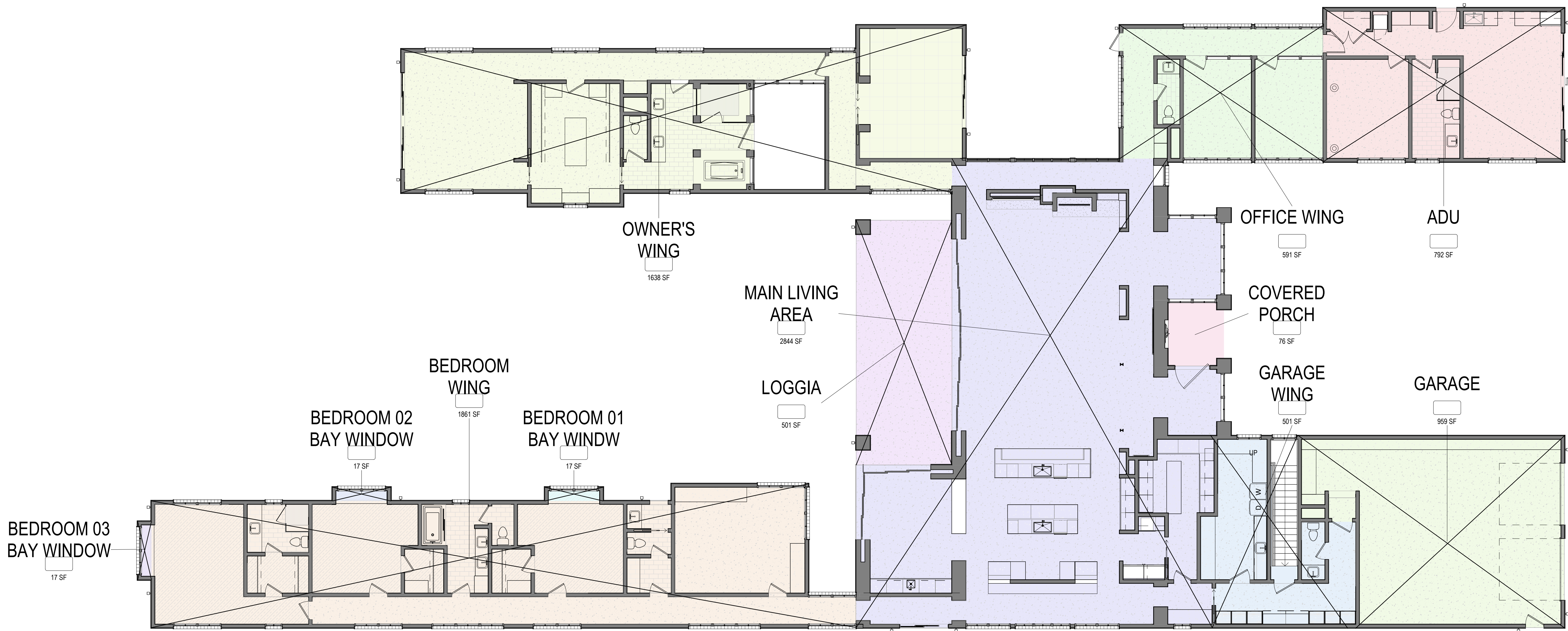
project # **24045**
revision **2** date **05/12/2025**

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



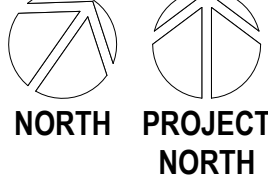
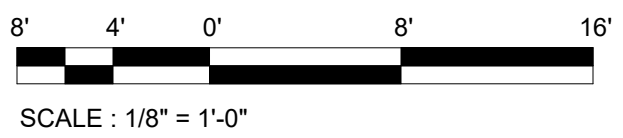
issue date
02/11/2025

A101



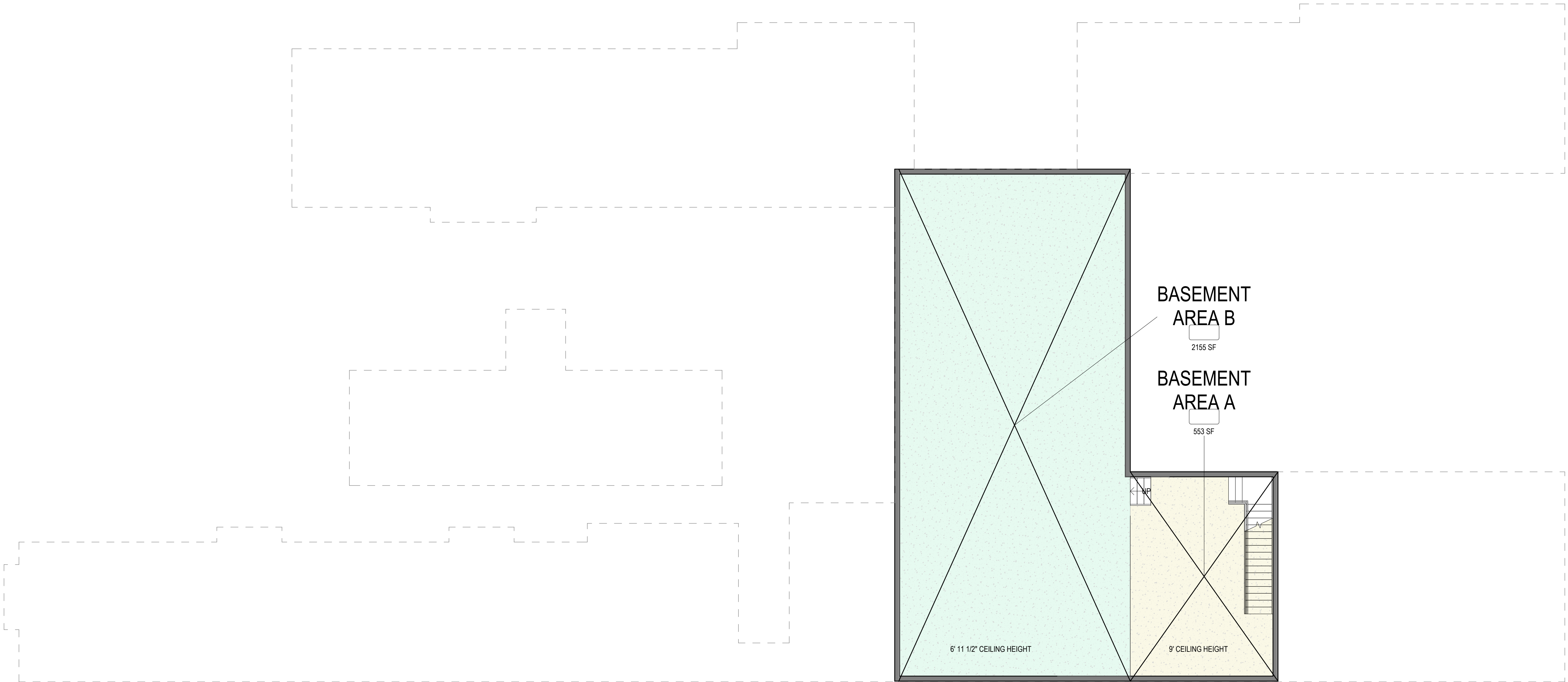
MAIN FLOOR AREA LEGEND

- ADU
- BEDROOM 01 BAY WINDOW
- BEDROOM 02 BAY WINDOW
- BEDROOM 03 BAY WINDOW
- BEDROOM WING
- COVERED PORCH
- GARAGE
- GARAGE WING
- LOGGIA
- MAIN LIVING AREA
- OFFICE WING
- OWNER'S WING



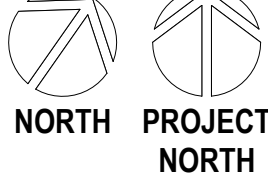
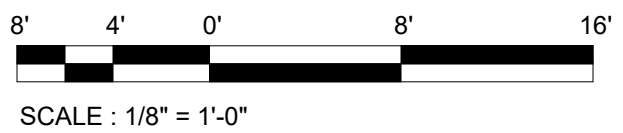
1 MAIN LEVEL AREA PLAN

1/8" = 1'-0"



BASEMENT AREA LEGEND

- BASEMENT AREA A
- BASEMENT AREA B



2 BASEMENT AREA PLAN

1/8" = 1'-0"

LOT COVERAGE		
AREA (SF)	AREA DESIGNATION	CODE INCLUSION OR EXCLUSION
792 SF	ADU	EXCLUDED
553 SF	BASEMENT AREA A	EXCLUDED
2155 SF	BASEMENT AREA B	EXCLUDED
17 SF	BEDROOM 01 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 02 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 03 BAY WINDOW	EXCLUDED
3551 SF	BEDROOM WING	INCLUDED
1861 SF	COVERED PORCH	INCLUDED
959 SF	GARAGE	INCLUDED
501 SF	GARAGE WING	INCLUDED
501 SF	LOGGIA	INCLUDED
2844 SF	MAIN LIVING AREA	INCLUDED
591 SF	OFFICE WING	INCLUDED
1638 SF	OWNER'S WING	INCLUDED
8971 SF		

FLOOR AREA		
AREA (SF)	AREA DESIGNATION	CODE INCLUSION OR EXCLUSION
792 SF	ADU	EXCLUDED
553 SF	BASEMENT AREA A	EXCLUDED
2155 SF	BASEMENT AREA B	EXCLUDED
17 SF	BEDROOM 01 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 02 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 03 BAY WINDOW	EXCLUDED
76 SF	COVERED PORCH	EXCLUDED
3627 SF	BEDROOM WING	INCLUDED
1861 SF	GARAGE	INCLUDED
959 SF	GARAGE WING	INCLUDED
501 SF	LOGGIA	INCLUDED
2844 SF	MAIN LIVING AREA	INCLUDED
591 SF	OFFICE WING	INCLUDED
1638 SF	OWNER'S WING	INCLUDED
8895 SF		

UNIT SIZE		
AREA (SF)	AREA DESIGNATION	CODE INCLUSION OR EXCLUSION
792 SF	ADU	EXCLUDED
553 SF	BASEMENT AREA A	EXCLUDED
2155 SF	BASEMENT AREA B	EXCLUDED
17 SF	BEDROOM 01 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 02 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 03 BAY WINDOW	EXCLUDED
76 SF	COVERED PORCH	EXCLUDED
959 SF	GARAGE	EXCLUDED
4585 SF	BEDROOM WING	INCLUDED
1861 SF	GARAGE WING	INCLUDED
501 SF	LOGGIA	INCLUDED
2844 SF	MAIN LIVING AREA	INCLUDED
591 SF	OFFICE WING	INCLUDED
1638 SF	OWNER'S WING	INCLUDED
7936 SF		

AREA CALCULATIONS		
LOT COVERAGE		
ALLOWABLE LOT COVERAGE PERCENTAGE 40%		
TOTAL SITE AREA	32,580 SF	
LOT COVERAGE	8,971 SF	
LOT COVERAGE %	27.5%	
FLOOR AREA RATIO		
ALLOWABLE FAR = 32% PLUS 1,100 SF = 11,426 SF		
TOTAL SITE AREA	32,580	
TOTAL FLOOR AREA	8,895 SF	
FLOOR AREA RATIO	27.3%	
UNIT SIZE		
ALLOWABLE UNIT SIZE 8000 SF		
TOTAL UNIT SIZE	7,936 SF	



sheet
project
owner

AREA DIAGRAMS AND CALCULATIONS

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
APN: 028274210

COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045

revision date

phase

SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



issue date

02/11/2025

A102



FLOOR PLAN NOTES

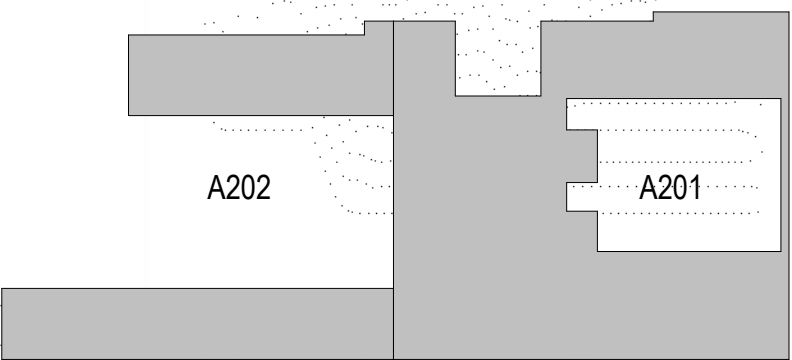
1. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
2. DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING STRUCTURE, UNLESS NOTED.
3. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:
UL U30S:
5/8" GYPSUM PANEL OI
2X6 WOOD STUDS W/ 8 1/4" FIBERGLASS
INSULATION OI
5/8" GYPSUM PANEL
- FLOORING TYPE 'A' PER SPEC -
POLISHED CONCRETE INTERIOR
TOP-CAST CONCRETE EXTERIOR
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET

KEY PLAN

REFER TO ENLARGED PLANS ON
SHEETS A201 AND A202



sheet
MAIN LEVEL PLAN

project
MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
owner
COLIN MISTELE AND KATHERINE RAFANELLI

project #
24045

revision
2

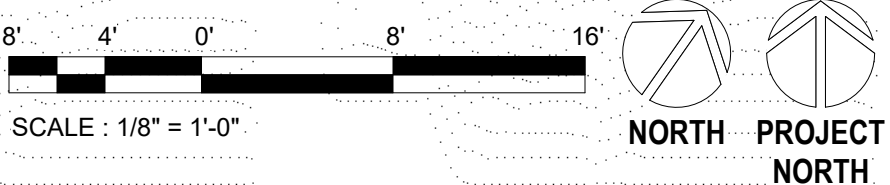
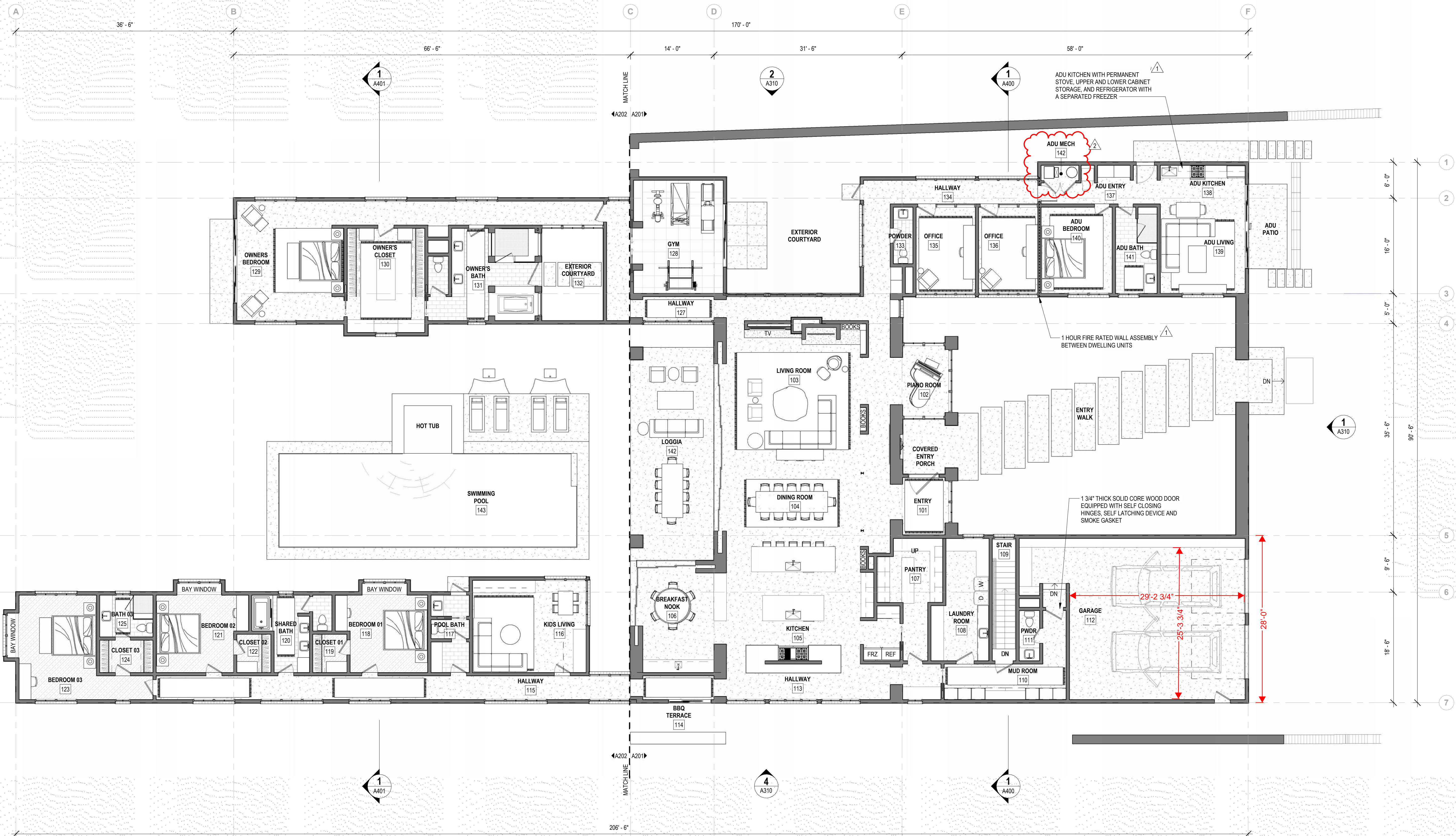
date
05/12/2025

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



issue date
02/11/2025

A200



1 MAIN LEVEL FLOOR PLAN

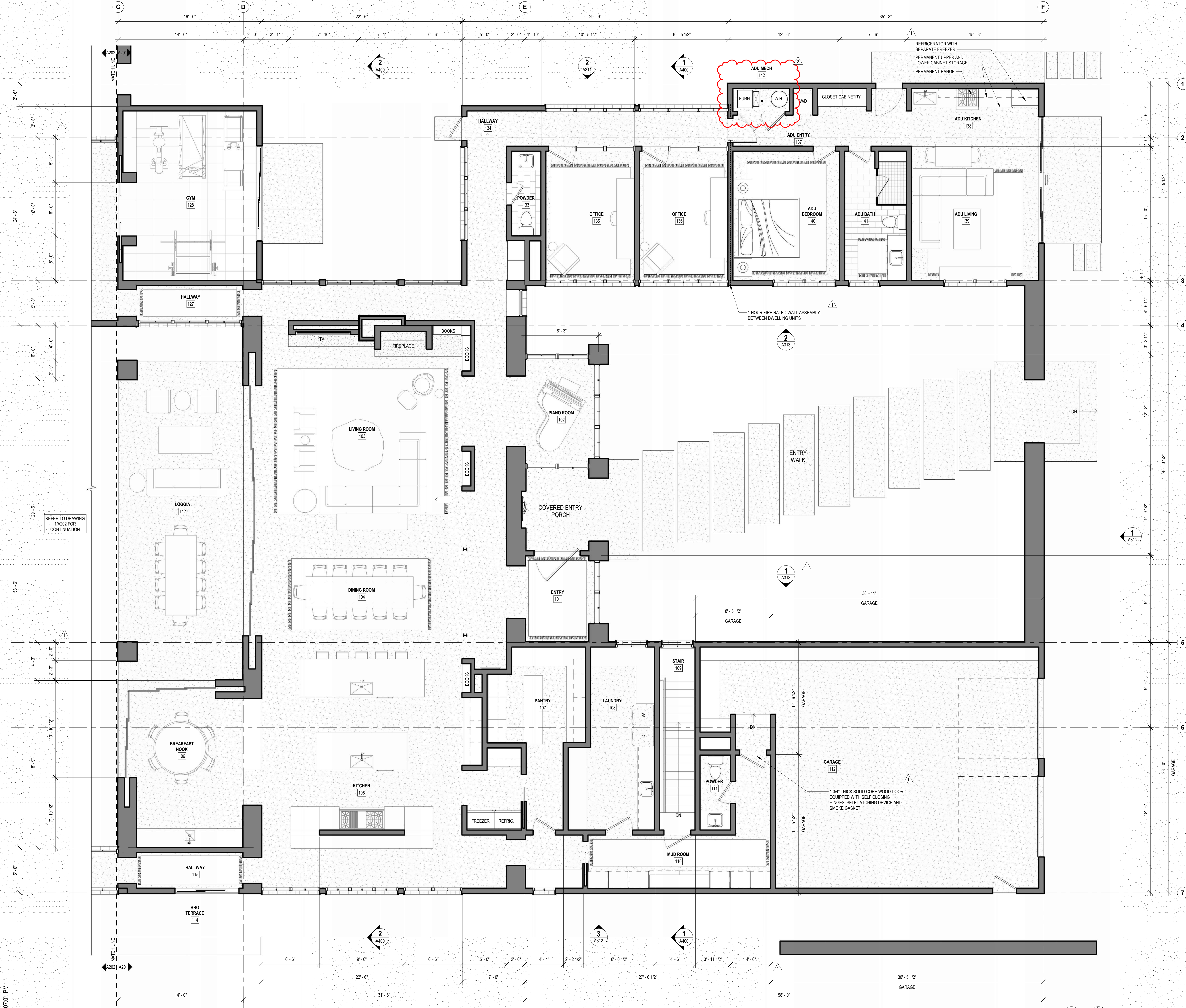
1/8" = 1'-0"

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5/13/2025 4:07:01 PM

1 MAIN LEVEL ENLARGED FLOOR PLAN - EAST

1/4" = 1'-0"



FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
2. DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING STRUCTURE, UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:
UL U30S:
5/8" GYPSUM PANEL O/
2X6 WOOD STUDS W/ 8 1/4" FIBERGLASS
INSULATION O/
5/8" GYPSUM PANEL
- FLOORING TYPE 'A' PER SPEC -
POLISHED CONCRETE INTERIOR
TOP-CAST CONCRETE EXTERIOR
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET

KEY PLAN

DARKER SHADE INDICATES PORTION
OF HOUSE SHOWN ON THIS SHEET



sheet
project
owner

ENLARGED FLOOR PLANS

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045
revision 2
date 05/12/2025

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



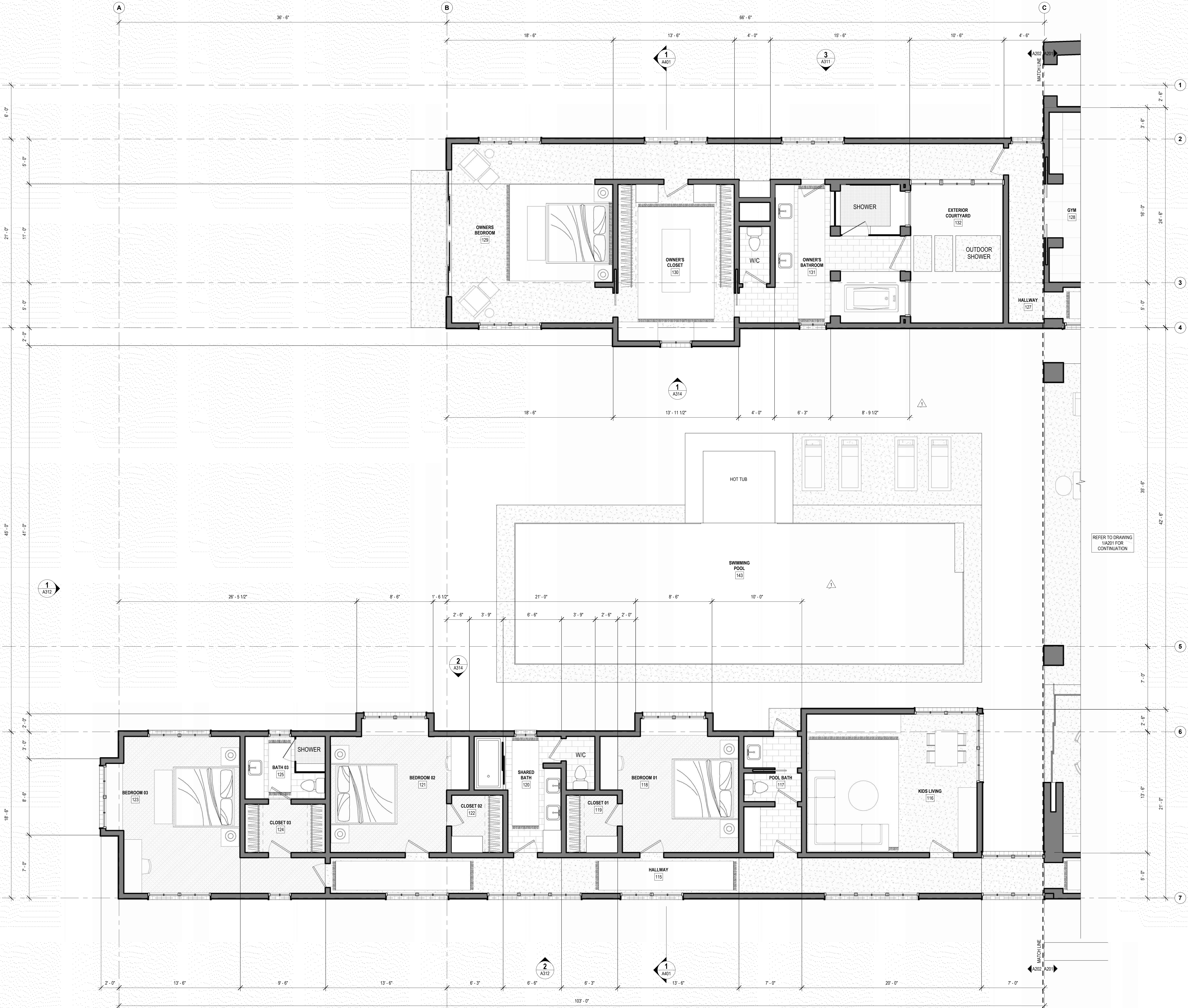
issue date
02/11/2025

A201

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1 MAIN LEVEL ENLARGED FLOOR PLAN - WEST

1/4" = 1'-0"



FLOOR PLAN NOTES

- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING/STRUCTURE, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:
UL U305:
5/8" GYPSUM PANEL OI
2X6 WOOD STUDS W/ 8 1/4" FIBERGLASS
INSULATION OI
5/8" GYPSUM PANEL
- FLOORING TYPE 'A' PER SPEC -
POLISHED CONCRETE INTERIOR
TOP-CAST CONCRETE EXTERIOR
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET

KEY PLAN

DARKER SHADE INDICATES PORTION
OF HOUSE SHOWN ON THIS SHEET



sheet ENLARGED FLOOR PLANS

project **MISTELE-RAFANELLI RESIDENCE**
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210

owner COLIN MISTELE AND KATHERINE RAFANELLI

project # **24045**

revision 1 date 04/07/2025

phase SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



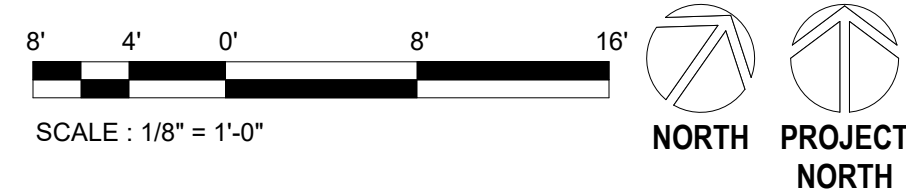
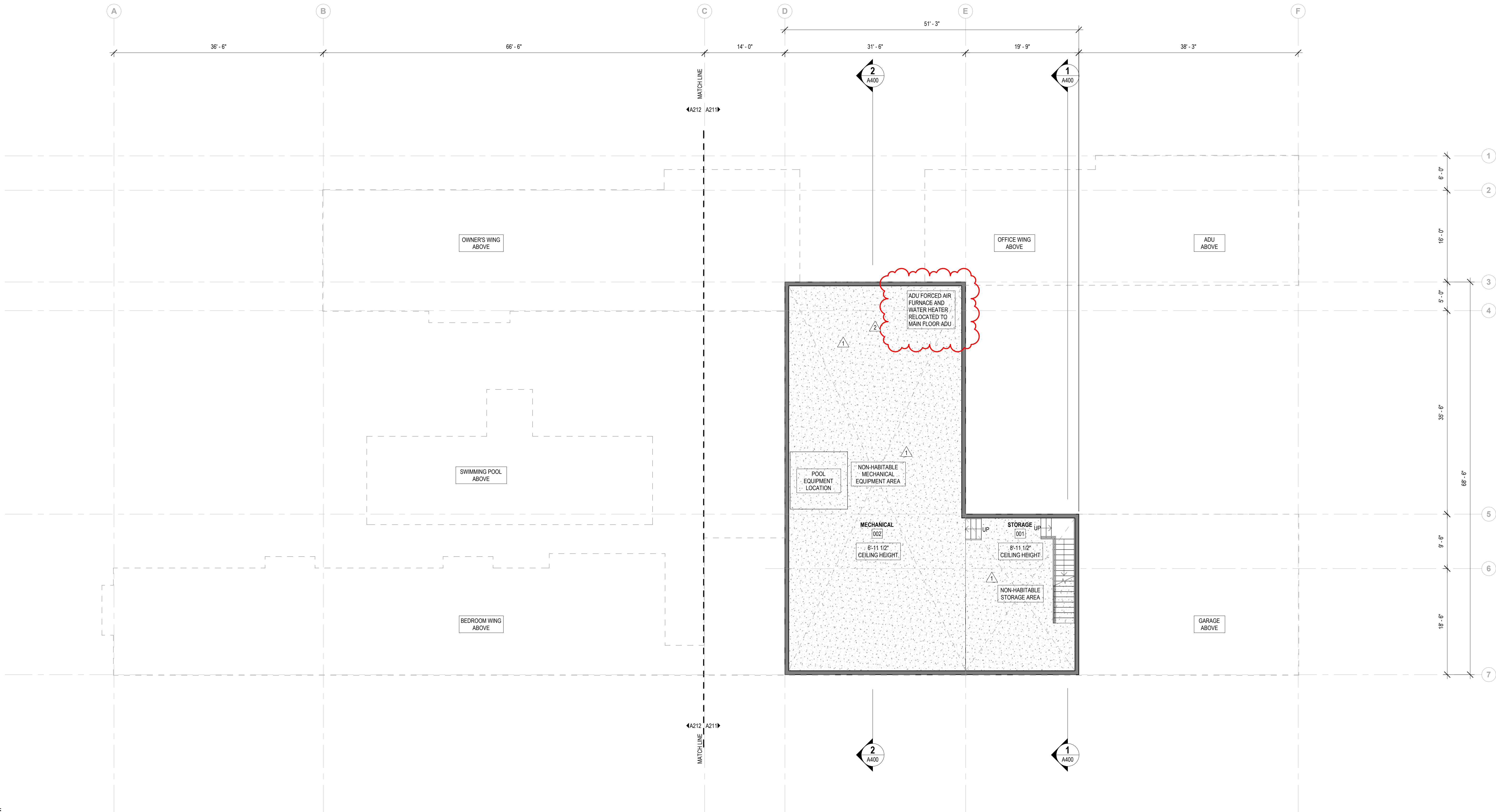
issue date 02/11/2025

A202

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1 BASEMENT LEVEL FLOOR PLAN

1/8" = 1'-0"



FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
2. DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING STRUCTURE, UNLESS NOTED.
3. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:
UL U30S;
5/8\"/>
- FLOORING TYPE 'A' PER SPEC -
POLISHED CONCRETE INTERIOR
TOP-CAST CONCRETE EXTERIOR
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET



BASEMENT PLAN

sheet
project
owner

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045

revision date
2 05/12/2025

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



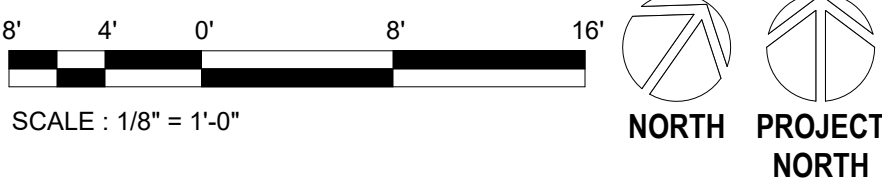
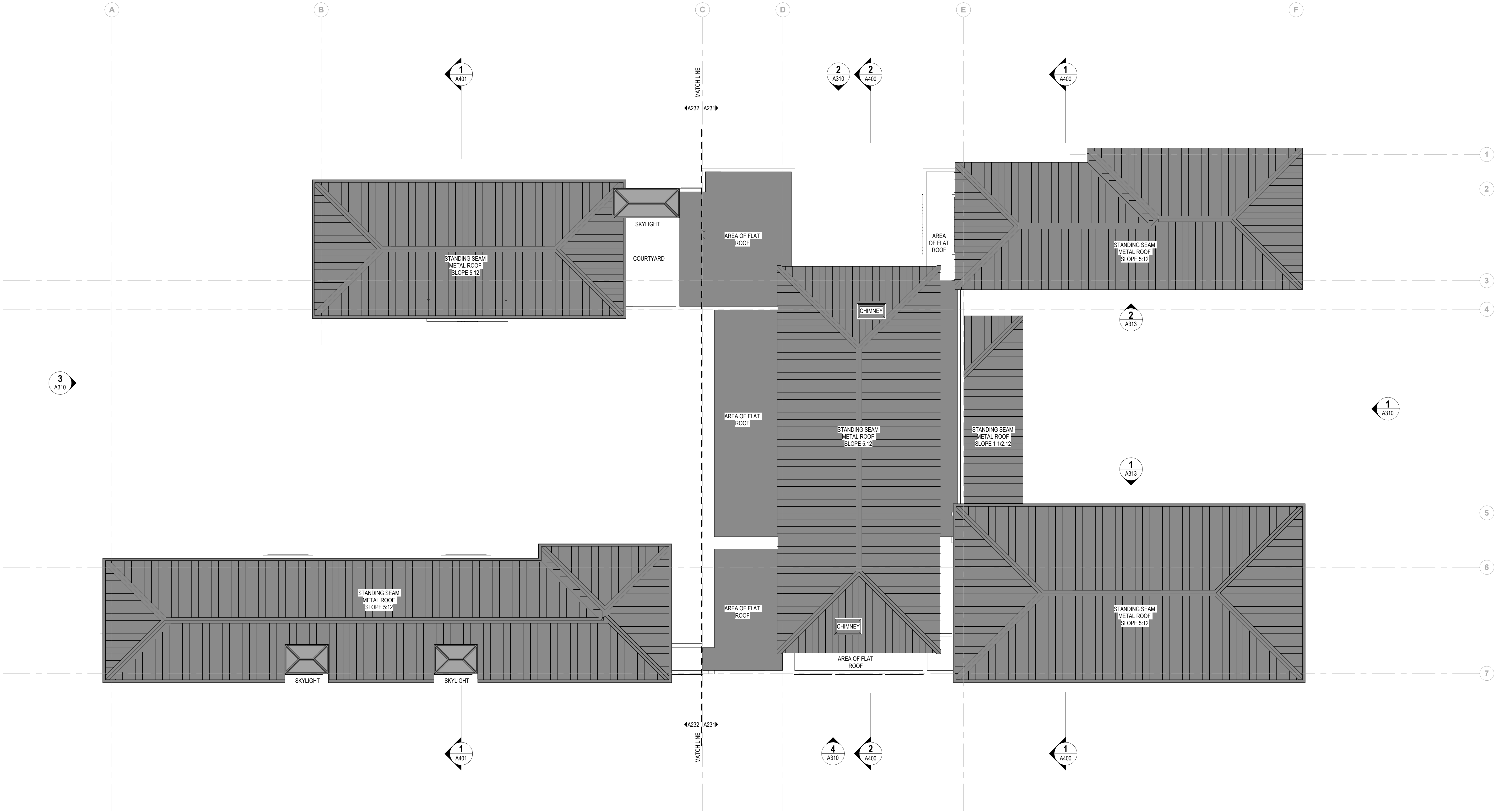
issue date
02/11/2025

A210



ROOF PLAN NOTES

- ALL ROOF THRU VENTS TO BE ON BACK SIDE OF BUILDING.
- PROVIDE AND INSTALL ICE AND WATER SHIELD AT ENTIRE ROOF DECK, WALL TO ROOF CONDITIONS, ROOF CRACKETS, AND PENETRATIONS PER ROOFING AND UNDERLAYMENT MANUFACTURERS RECOMMENDATIONS, TYP.
- ALL STEP/EXPOSED FLASHING TO BE PRE-FINISHED, COLOR BY ARCHITECT.
- INDICATE ADDITIONAL ITEMS PENETRATING THE ROOF ASSEMBLY, PROVIDE APPROPRIATE FLASHING.
- SLOPED GUTTERS TO BE PROVIDED AT ALL ROOF EAVES.
- CONCRETE SPLASH BLOCK TO BE PROVIDED AT ALL DOWNSPOUTS.
- NO EAVE OR W/PRODE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OR GAF VERSACHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSACHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.



1 ROOF PLAN
1/8" = 1'-0"

sheet
project
owner

ROOF PLAN

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
2	05/12/2025

phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



issue date
02/11/2025
A230

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A APPROACH FROM STREET



B CAR COURT LOOKING SOUTHWEST



C CAR COURT LOOKING NORTHWEST



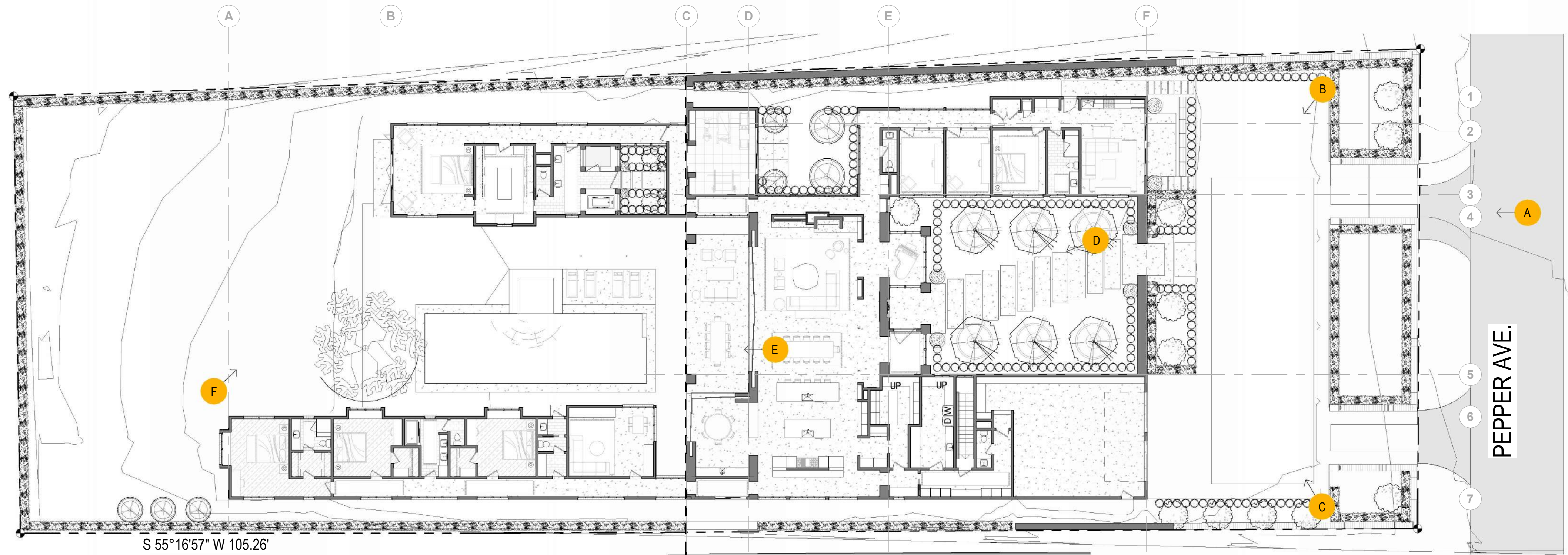
D ENTRY COURTYARD



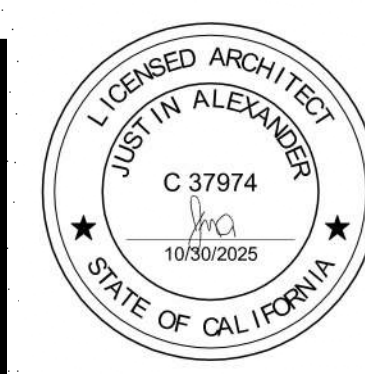
E LOGGIA LOOKING TO POOL



F POOL COURTYARD LOOKING NORTHEAST



1 SITE PLAN RENDERING LOCATION
1/16" = 1'-0"



sheet
project
owner

PERSPECTIVES

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045
revision date

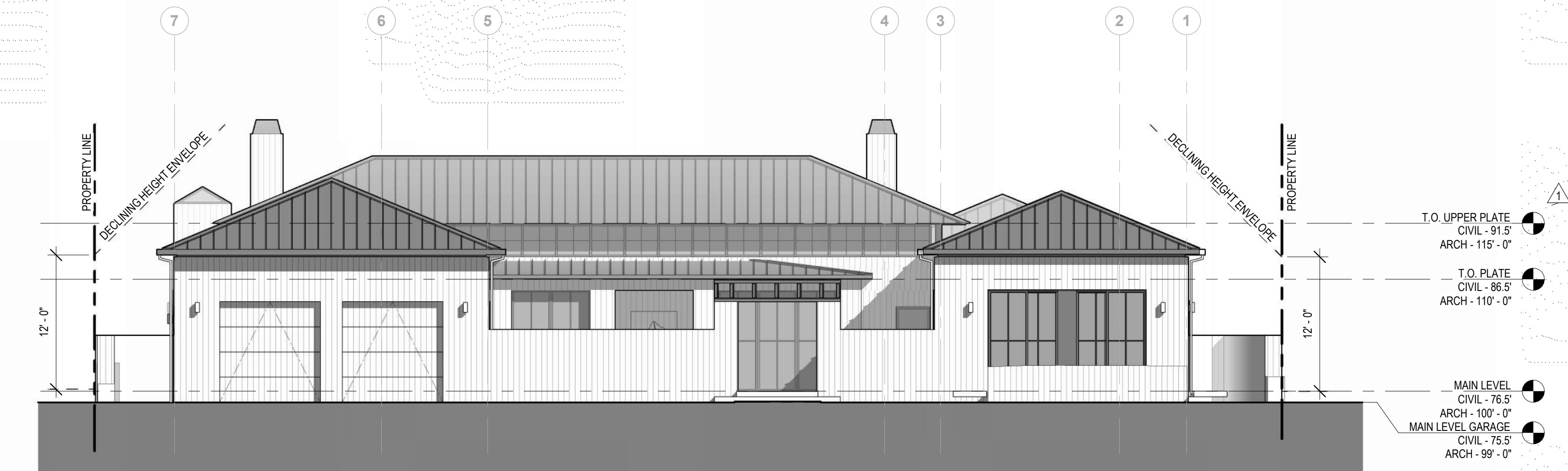
phase
SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION



issue date
02/11/2025
A300

ELEVATION NOTES

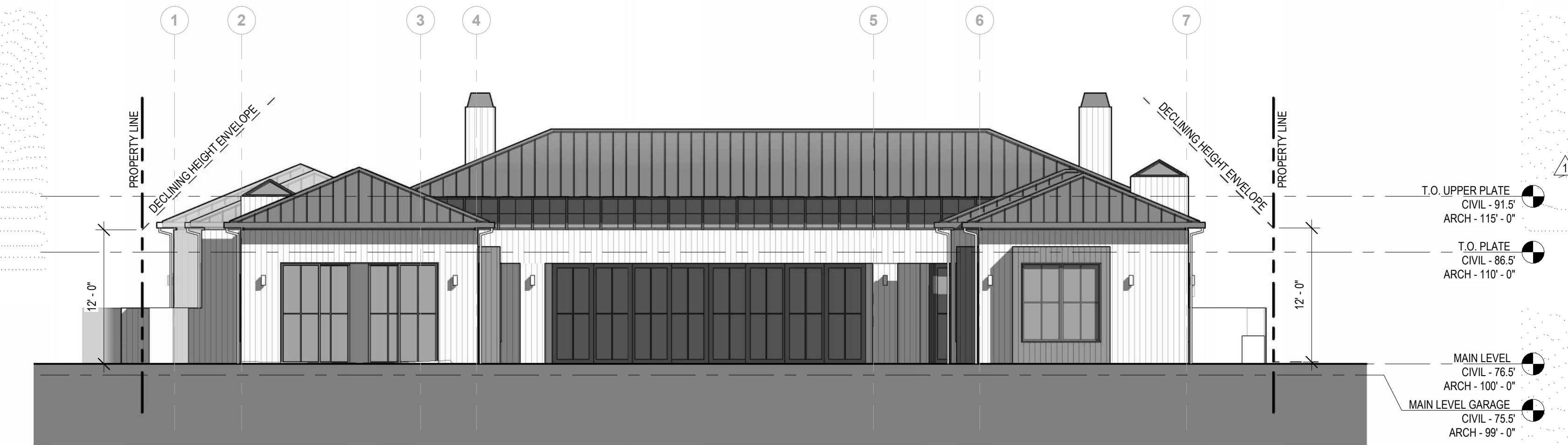
1. REFER TO ENLARGED ELEVATIONS, SHEETS A311 AND A312 FOR MATERIAL NOTES DIMENSIONS



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

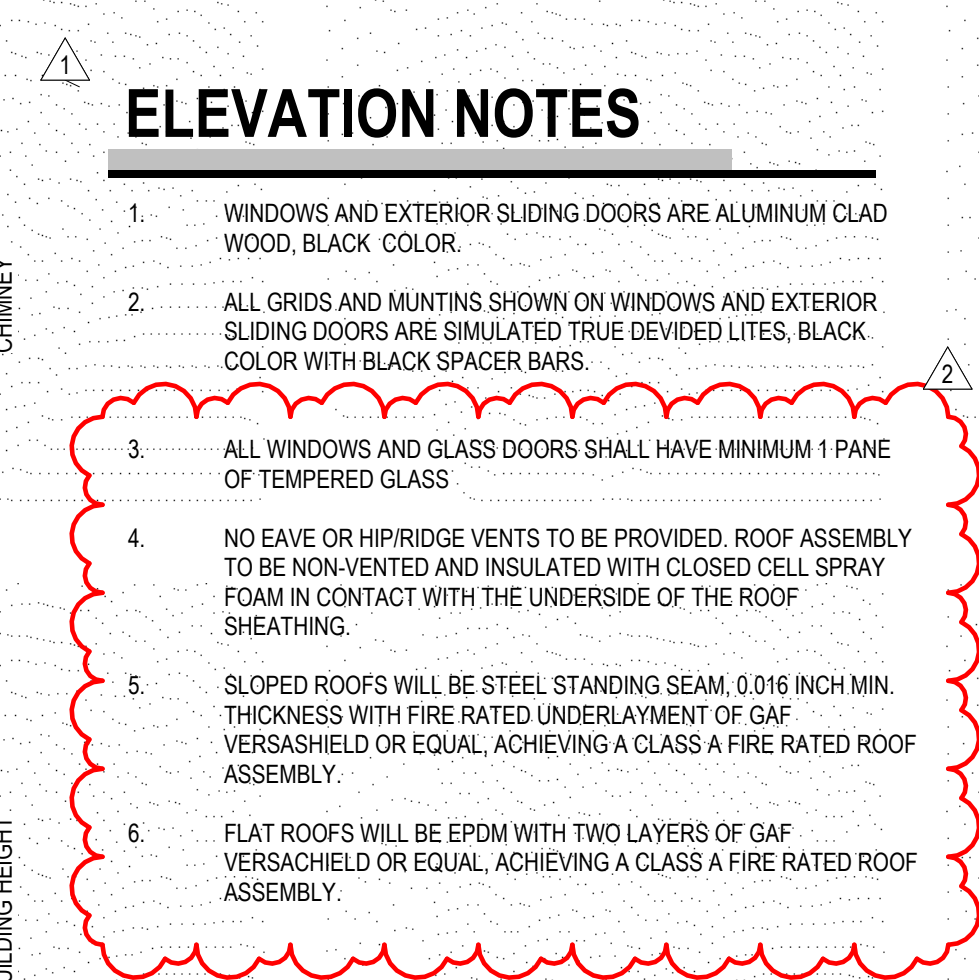
sheet OVERALL EXTERIOR ELEVATIONS
project MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
owner COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045
revision 1 date 04/07/2025

phase SCHEMATIC DESIGN
PRICING SET - NOT FOR CONSTRUCTION



issue date 02/11/2025
A310



Architectural elevation drawing of a building facade. The drawing includes the following annotations and dimensions:

- Annotations:**
 - BONDERIZED METAL STANDING SEAM ROOFING
 - DOWNSPOUT
 - STAINED WHITE VERTICAL WOOD SIDING
 - CLERESTORY WINDOWS
 - ZINC METAL CHIMNEY FLUE SHROUD, MATCH ROOF MATERIAL
 - T.O. UPPER PLATE CIVIL - 91.5' ARCH - 115'-0"
 - T.O. PLATE CIVIL - 86.5' ARCH - 110'-0"
 - LIGHT FIXTURE AT EXTERIOR DOOR LANDING, TYP.
 - ALUMINUM CLAD WOOD DOORS AND WINDOWS, BLACK COLOR, TYPICAL AT ALL EXTERIOR DOORS AND WINDOWS
 - REFER TO DRAWING 3/A311 FOR CONTINUATION
 - MAIN LEVEL CIVIL - 76.5' ARCH - 107'-0"
 - MAIN LEVEL GARAGE CIVIL - 75.5' ARCH - 99'-0"
- Dimensions:**
 - 10'-0" (vertical dimension)
 - 5'-0" (vertical dimension)

sheet
project
owner

EXTERIOR ELEVATIONS

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
APN: 028274210

COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
2	05/12/2025

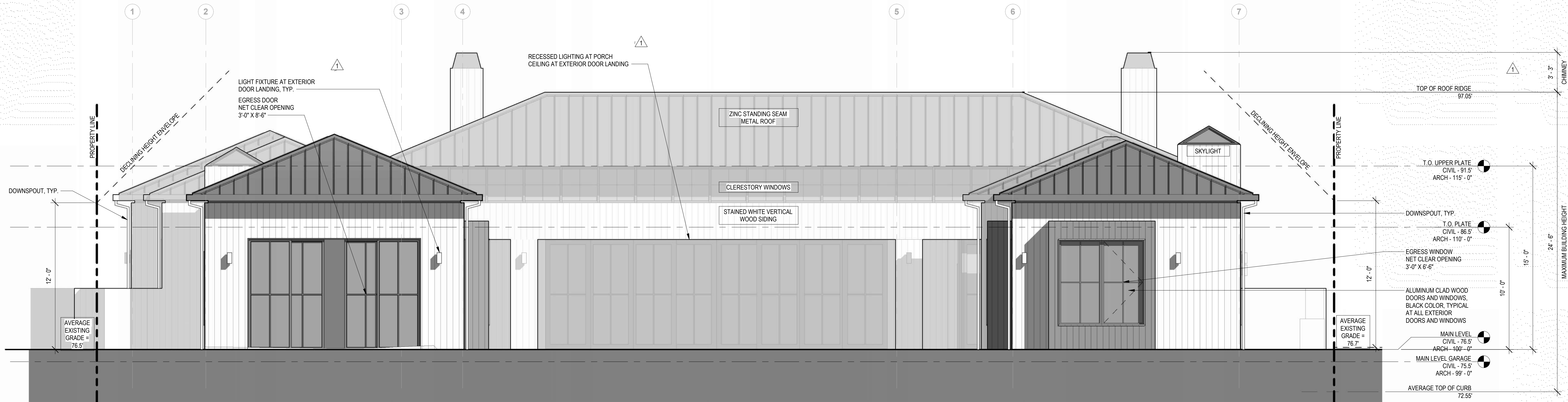
phase

**SCHEMATIC DESIGN
PRICING SET - NOT
FOR CONSTRUCTION**



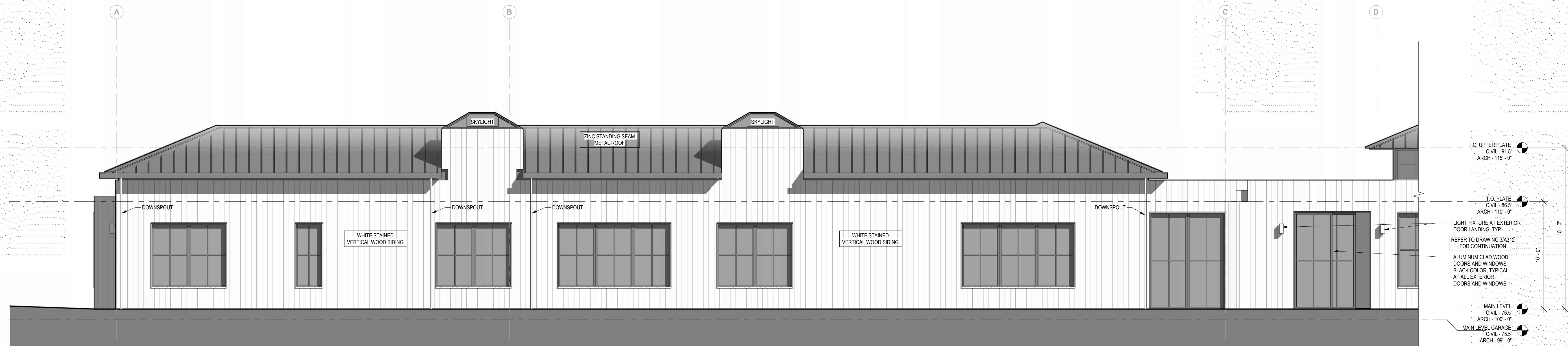
issue date
02/11/2025

A311



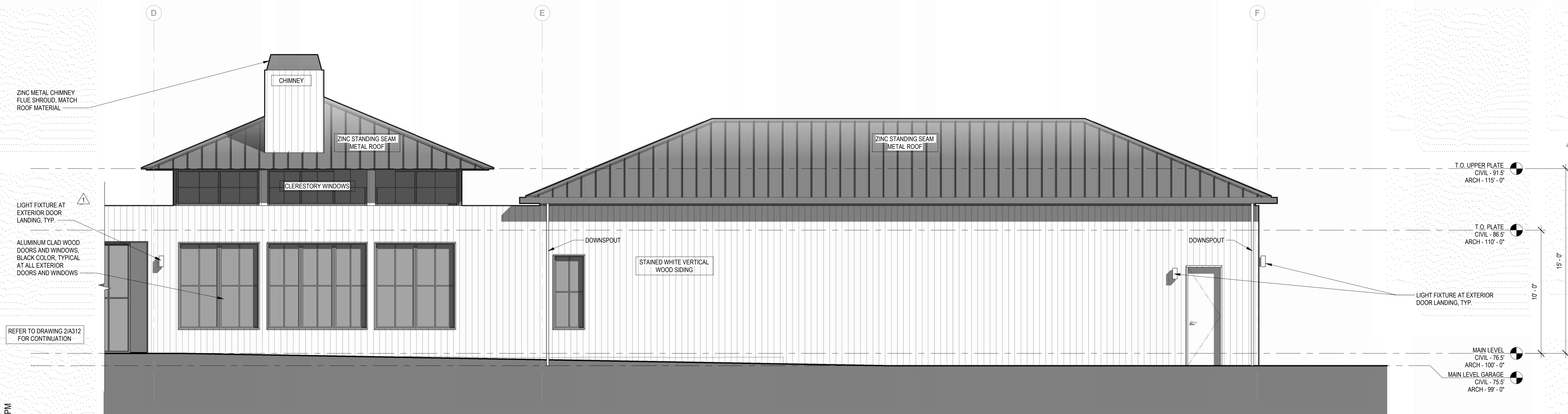
1 ENLARGED ELEVATION - WEST

1/4" = 1'-0"



2 ENLARGED ELEVATION - KIDS WING SOUTH

1/4" = 1'-0"



3 ENLARGED ELEVATION - GARAGE SOUTH

1/4" = 1'-0"

ELEVATION NOTES

- WINDOWS AND EXTERIOR SLIDING DOORS ARE ALUMINUM CLAD WOOD, BLACK COLOR.
- ALL GRIDS AND MUNTINS SHOWN ON WINDOWS AND EXTERIOR SLIDING DOORS ARE SIMULATED TRUE DEVEID LITES, BLACK COLOR WITH BLACK SPACER BARS.
- ALL WINDOWS AND GLASS DOORS SHALL HAVE MINIMUM 1 PANE OF TEMPERED GLASS.
- NO EAVE OR HIPRIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.



sheet
project
owner

EXTERIOR ELEVATIONS
MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

project # **24045**
revision **2** date **05/12/2025**

phase
SCHEMATIC DESIGN
PRICING SET - NOT
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issue date
02/11/2025

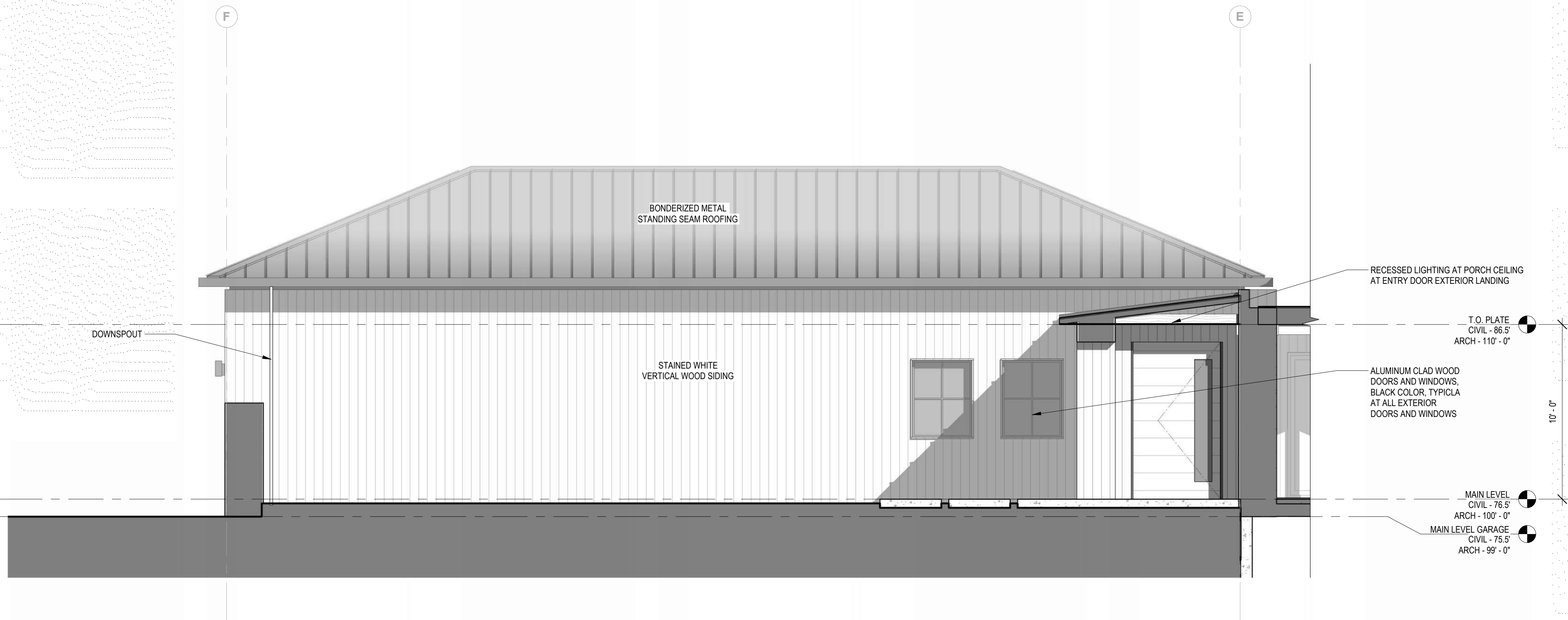
A312

5/13/2025 4:08:48 PM



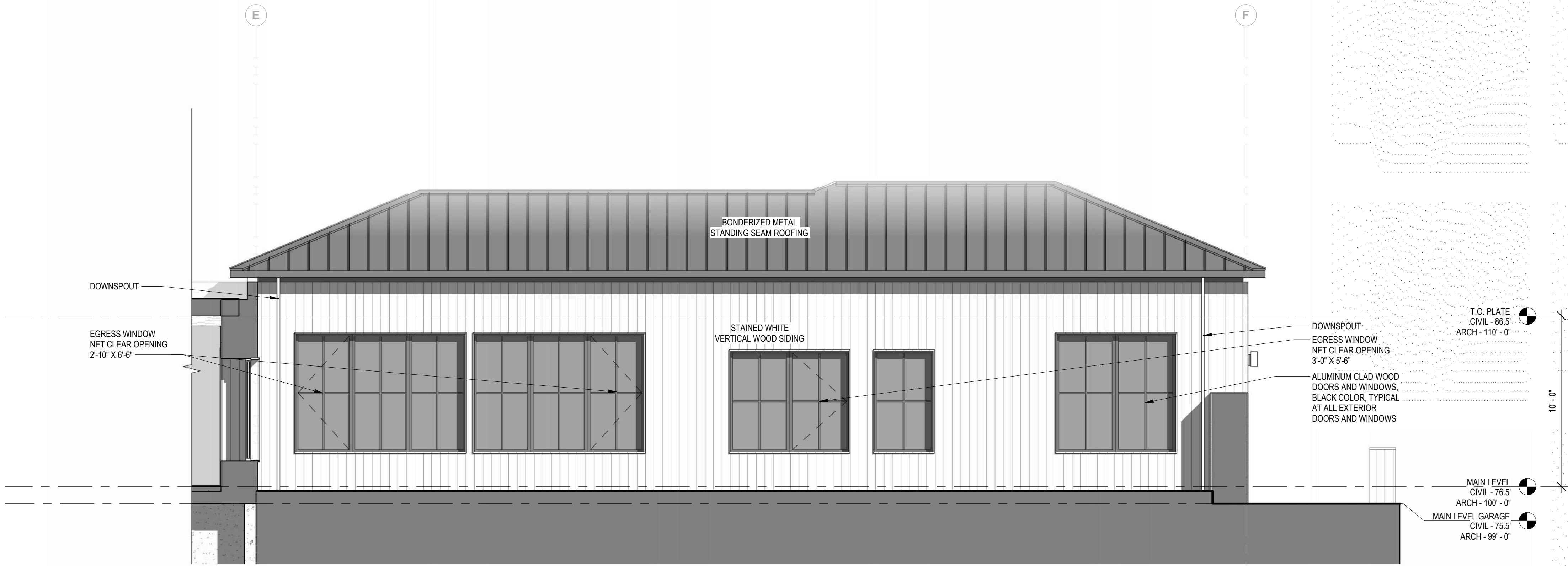
ELEVATION NOTES

- WINDOWS AND EXTERIOR SLIDING DOORS ARE ALUMINUM CLAD WOOD, BLACK COLOR.
- ALL GRIDS AND MUNTINS SHOWN ON WINDOWS AND EXTERIOR SLIDING DOORS ARE SIMULATED TRUE DEVIDED LITES, BLACK COLOR WITH BLACK SPACER BARS.
- ALL WINDOWS AND GLASS DOORS SHALL HAVE MINIMUM 1 PANE OF TEMPERED GLASS.
- NO EAVE OR HIPRIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.



1 ENLARGED ELEVATION - GARAGE WING NORTH

1/4" = 1'-0"



2 ENLARGED ELEVATION - ADU WING SOUTH

1/4" = 1'-0"

EXTERIOR ELEVATIONS

project # 24045
project 121 PEPPER AVE. BURLINGAME, CA 94010
owner COLIN MISTELE AND KATHERINE RAFANELLI

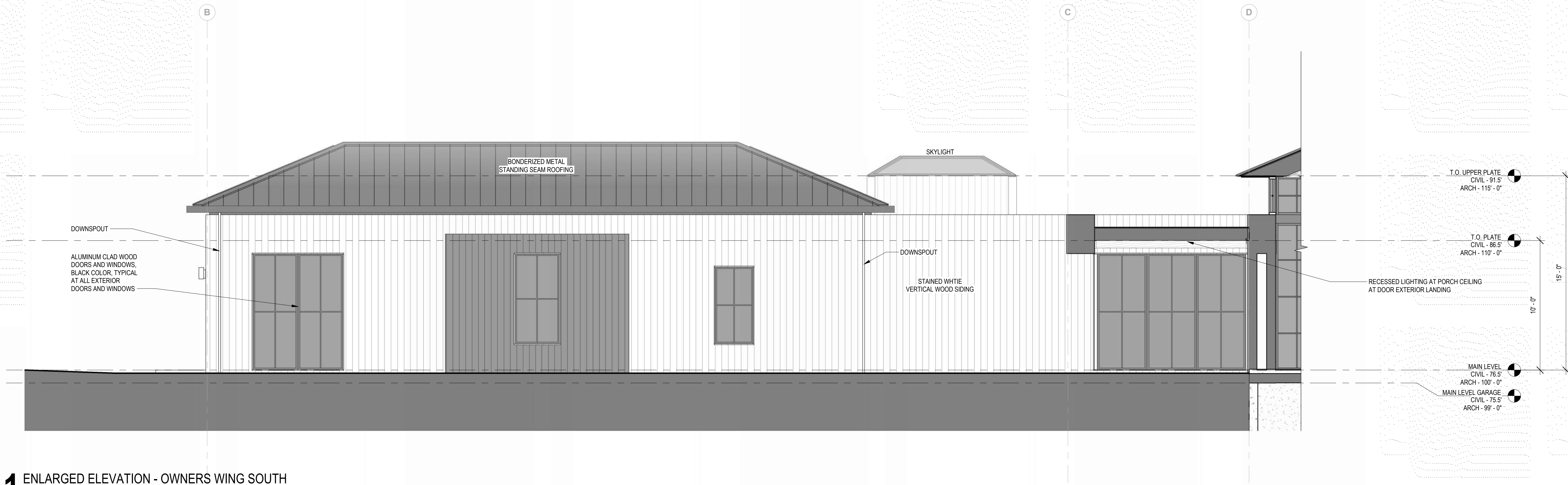
revision 2
date 05/12/2025

phase
SCHEMATIC DESIGN
PRICING SET - NOT
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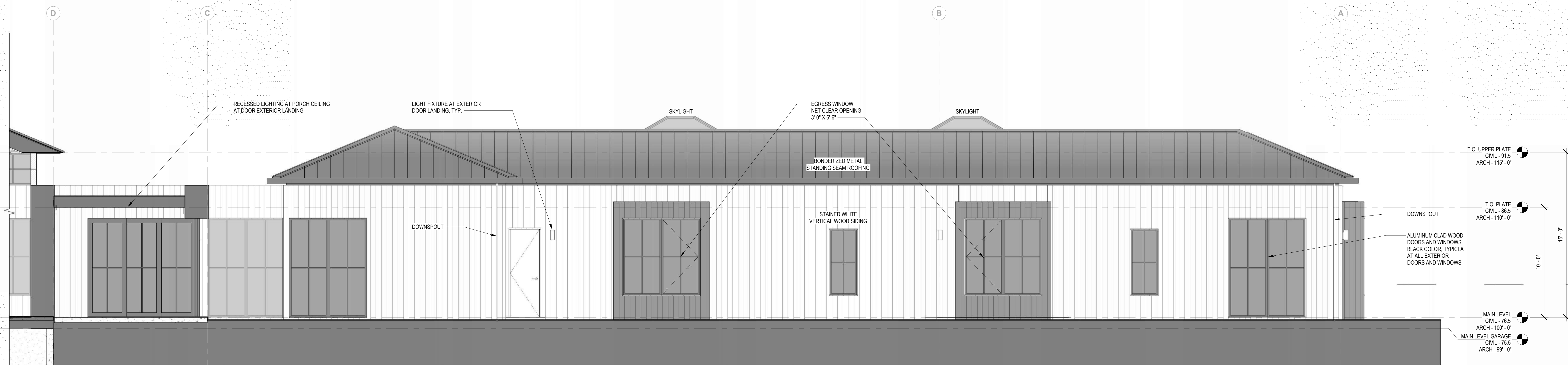


issue date
02/11/2025

A313



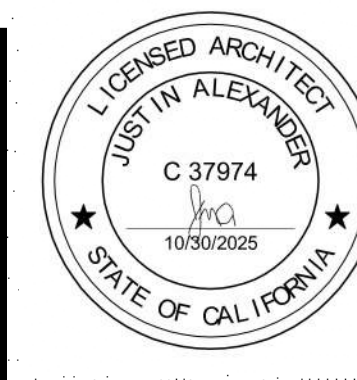
1 ENLARGED ELEVATION - OWNERS WING SOUTH
1/4" = 1'-0"



2 ENLARGED ELEVATION - KIDS WING NORTH
1/4" = 1'-0"

ELEVATION NOTES

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- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.



EXTERIOR ELEVATIONS

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010
APN: 028274210

owner COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045

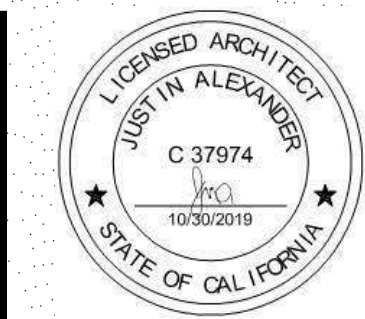
revision 2 date 05/12/2025

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issue date 02/11/2025

A314



1 NORTH ELEVATION EXISTING
1/4" = 1'-0"



2 EAST ELEVATION EXISTING
1/4" = 1'-0"

sheet
project
owner

EXISTING BUILDING EXTERIOR ELEVATIONS

MISTELE-RAFANELLI RESIDENCE

COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
1	04/07/2025

phase

SCHEMATIC DESIGN
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issue date

02/11/2025

A320



1 SOUTH ELEVATION EXISTING
1/4" = 1'-0"



2 WEST ELEVATION EXISTING
1/4" = 1'-0"

sheet
project
owner

EXISTING BUILDING EXTERIOR ELEVATIONS

MISTELE-RAFANELLI RESIDENCE

COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
1	04/07/2025

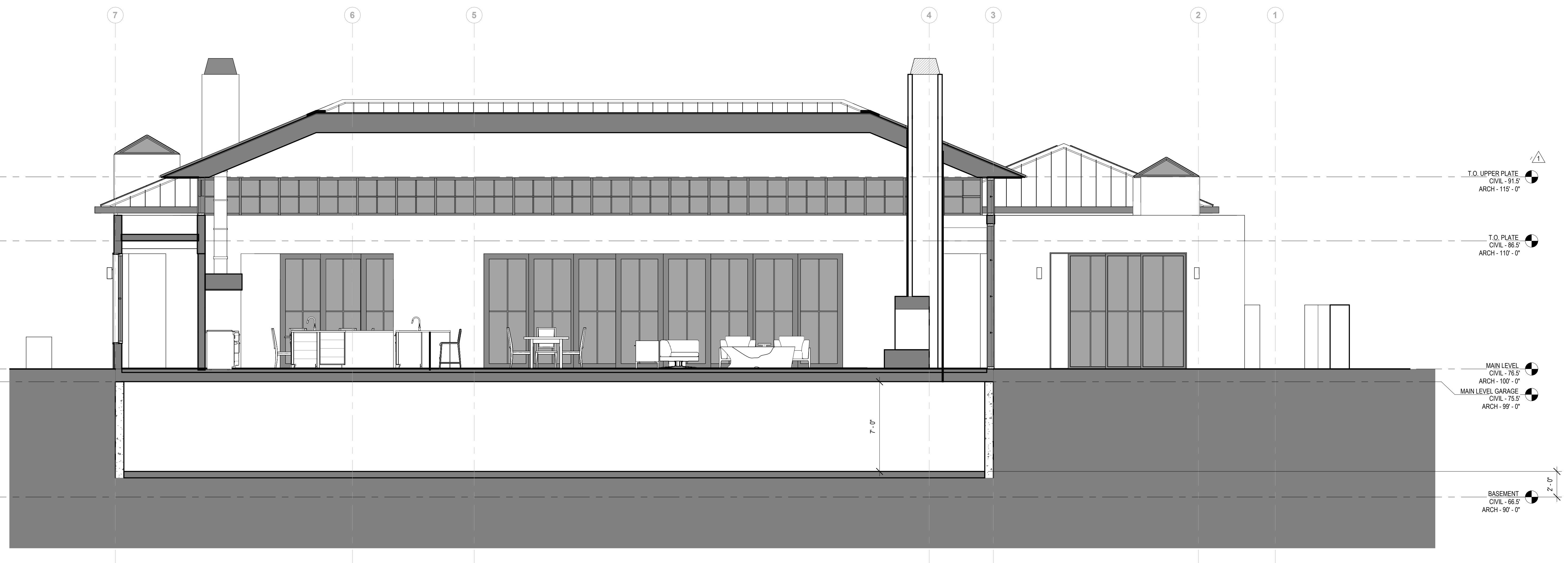
phase

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1 BUILDING SECTION NORTH-SOUTH 1



2 BUILDING SECTION NORTH-SOUTH 2

BUILDING SECTIONS

sheet
project
owner

project # 24045

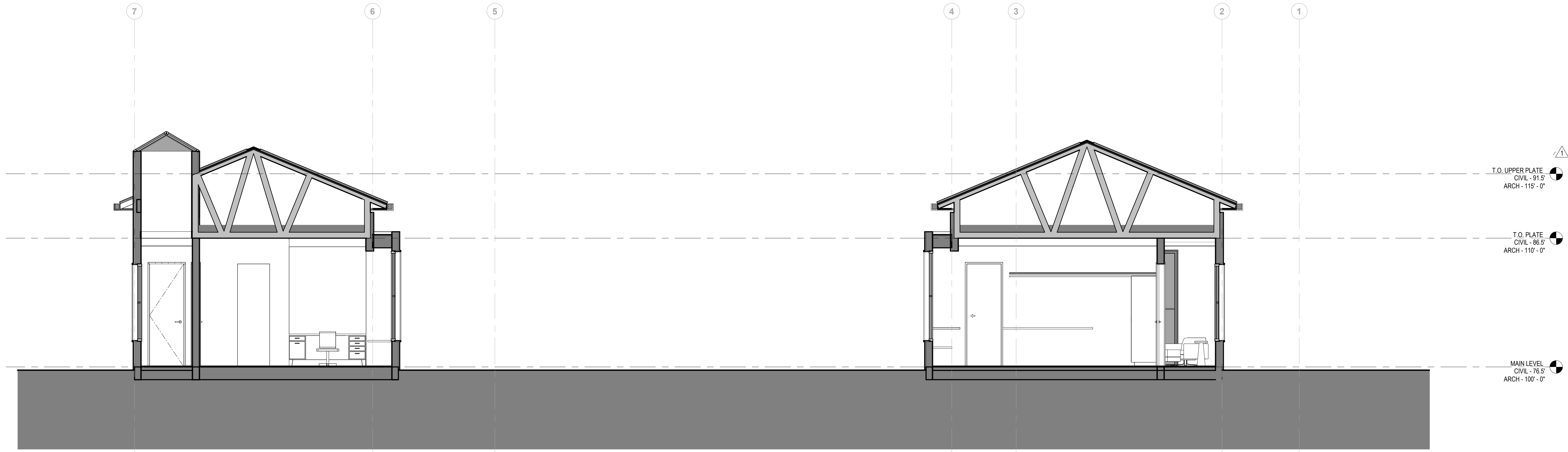
revision date
1 04/07/2025

phase
SCHEMATIC DESIGN
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issue date
02/11/2025

A400



1 BUILDING SECTION NORTH-SOUTH 3
1/4" = 1'-0"

BUILDING SECTIONS

sheet
project
owner

MISTELE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210
COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
1	04/07/2025

phase
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02/11/2025

A401

LANDSCAPING GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WATERPROOFING AND UNDERGROUND UTILITIES BEFORE CONSTRUCTION BEGINS. NO ENCROACHMENT SHALL BE PERMITTED ON ADJACENT LANDS UNLESS WRITTEN PERMISSION IS OBTAINED FROM THE LAND OWNER AND/OR CITY PLANNING & BUILDING DEPARTMENTS. ALL DISCREPANCIES OR PROBLEMATIC SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER.
3. JUTE MESH EROSION CONTROL, NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES. STAKE NETTING APPROPRIATELY AND PLANT SPECIFIED GROUND COVER.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK AS PER CITY / TOWN REQUIREMENTS.
5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AT THE DRIPLINE AROUND THE TREES. IN THE EVENT THAT TREE ROOTS OVER 2" ARE DISCOVERED, THE ARCHITECT SHALL BE NOTIFIED.
6. REFER TO ARCHITECTURAL & ENGINEERING DRAWINGS FOR ANY CALCULATIONS, DETAILS, AND SPECIFICATIONS REGARDING BUILDING STRUCTURE, FOUNDATIONS, GRADINGS, SOILS, GAS, & ELECTRICAL.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH SOILS REPORT, POOL & HOT TUB PLANS, GRADING, AND DRAINAGE REQUIREMENTS PER CIVIL ENGINEER.
8. ROUGH GRADING AND FINAL GRADING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
9. REFER TO ARBORIST REPORT FOR ALL EXISTING AND DEMOLISHED TREES.

LANDSCAPING PLANTING NOTES

1. SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: SOIL MIX EQUALING 70% REDWOOD NITRIED COMPOST, 30% SANDY LOAM.
2. PLANTING HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (GENERALLY), THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH A MIXTURE OF IMPORTED SOIL TO EXISTING SOIL AT A RATIO OF 80/20.
3. SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS. CHIPS SHALL BE MINIMUM OF 1-1/2" IN SIZE.
4. ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM (OR EQUIVALENT). APPLICATION SHALL BE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
5. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. THE TYPE AND BRAND CHOSEN BY THE CONTRACTOR SHALL BE APPROVED BY THE ARCHITECT. APPLICATION SHALL BE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
6. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
7. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK. DOCUMENTATION OF PLANTS INSTALLED AT THE JOBSITE IS REQUIRED, WITH A LETTER PROVIDED TO THE OWNER STATING FINAL QUANTITIES.

HARDSCAPE NOTES

1. PERMEABLE PAVER
- BASIS OF DESIGN
 - MANUFACTURER: BELGARD
 - SERIES: METROPOLITAN
 - COLOR: FOUNDRY
 - SIZE: 24" X 36" X 2-3/8"
 - INSTALLED IN A RUNNING BOND PATTERN
 - INSTALL PER MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS
2. CONCRETE WALKWAYS OR SLABS
- 4" THICK CONCRETE SLAB ON GRADE, POURED IN PLACE.
 - WELDED WIRE MESH IS NOT ALLOWED. REBAR ONLY.
 - OVER 8" OF 3/4" MINUS DRAINAGE GRAVEL
 - OVER NATURAL GRADE OR COMPACTED SUB-GRADE, REFER TO GEO-TECH REPORT
 - COLORING: INTEGRAL COLOR FROM MANUFACTURERS FULL RANGE AND WILL BE SELECTED BASED UPON MOCK UPS BY THE CONTRACTOR.
 - FINISH:
 - MANUFACTURER: GCP APPLIED TECHNOLOGIES
 - TOP CAST TOP SURFACE RETARDER
 - RES: CS POWDER BLUE VIOLET (SAND BLASTED FINISH APPEARANCE)
3. CONCRETE WALKING PLANKS
- 4" THICK CONCRETE PLANKS ON GRADE, POURED IN PLACE.
 - WELDED WIRE MESH IS NOT ALLOWED. REBAR ONLY.
 - OVER 8" OF 3/4" MINUS DRAINAGE GRAVEL
 - OVER NATURAL GRADE OR COMPACTED SUB-GRADE, REFER TO GEO-TECH REPORT
 - COLORING: INTEGRAL COLOR FROM MANUFACTURERS FULL RANGE AND WILL BE SELECTED BASED UPON MOCK UPS BY THE CONTRACTOR.
 - FINISH:
 - MANUFACTURER: GCP APPLIED TECHNOLOGIES
 - TOP CAST TOP SURFACE RETARDER
 - RES: CS POWDER BLUE VIOLET (SAND BLASTED FINISH APPEARANCE)

PLANTING LEGEND

TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	WATER USAGE	GROWTH RATE	NOTES
A	OLEA EUROPAEA	OLIVE TREE	6	LOW	MODERATE	NEW TREE
B	ARBUTUS MENZIESII	MADRONE	7	MODERATE	MODERATE	NEW TREE
C	CINNAMOMUM CAMPHORA	CAMPHOR	1	MODERATE	SLOW TO MODERATE	NEW TREE
D	LAGERSTROMIA INDICA	CREPE MYRTLE	13	LOW	MODERATE	NEW TREE
E (E)	BETULA PENDULA	EUROPEAN WHITE BIRCH	1			EXISTING TREE
F (E)	PICEA PUNGENS 'GLAUCO'	COLORADO BLUE SPRUCE	1			EXISTING TREE
G (E)	CEDRUS DEODOR	DEODOR CEDAR	1			EXISTING TREE
H (E)	BETULA PENDULA	EUROPEAN WHITE BIRCH	1			EXISTING TREE

NOTES:

11.06.100 b: ONE LANDSCAPE TREE FOR EVERY ONE THOUSAND SQUARE FEET OF HABITABLE SPACE FOR SINGLE FAMILY HOMES.
FLOOR AREA OF PROPOSED RESIDENCE = 8,895
NUMBER OF TREES REQUIRED = 9
NEW REQUIRED LANDSCAPE TREES TO BE 24" BOX SIZE OR LARGER, AND MAY NOT BE FRUIT. NUT, PALMS, ITALIAN CYPRESS OR JAPANESE MAPLE.
NEW REQUIRED LANDSCAPE TREES MUST HAVE A MATURE HEIGHT OF OVER 15 FEET AND MATURE WIDTH OVER 10 FEET.
ALL REQUIRED TREES MUST BE IN GOOD CONDITION AT THE FINAL ARBORIST INSPECTION.
ALL REQUIRED LANDSCAPE TREES, EXISTING OR NEW, BECOME PROTECTED TREES REGARDLESS OF SIZE AND SHALL BE DISCLOSED UPON SALE OR TRANSFER OF REAL PROPERTY.
11.06.100 a.1: REPLACEMENT TREES FOR EACH PROTECTED TREE TO BE REMOVED SHALL BE:
14-19" TRUNK DIAMETER: (1) 24" BOX OR (2) 15 GALLON CONTAINERS
30-45" TRUNK DIAMETER: (1) 36" BOX OR (2) 24" BOXES OR (4) 15 GALLON CONTAINERS
PROPOSED REPLACEMENT TREES FOR REMOVED PROTECTED TREES ARE (4) 24" BOX SIZE NEW TREES. REFER TO ARBORIST REPORT FOR FURTHER REQUIREMENTS
TREES PROPOSED IN LANDSCAPING PLAN = 27

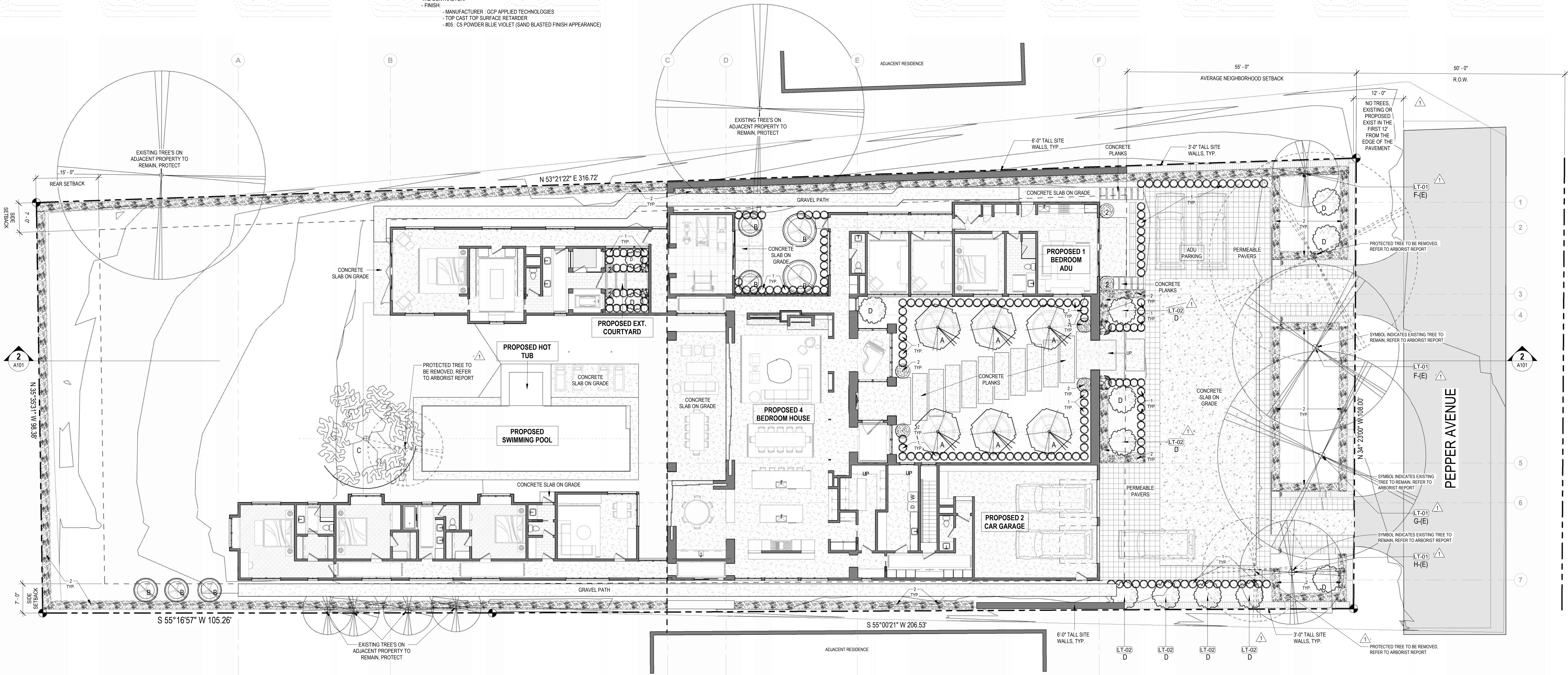
SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	WATER USAGE	GROWTH RATE
1	BUXUS MICROPHYLLA	JAPANESE BOX WOOD	-	MODERATE	MODERATE
2	BUXUS SEMPERVIRENS	EUROPEAN BOX WOOD	-	MODERATE	MODERATE
3	FABACEAE FRUTESCENS	WISTERIA	4	MODERATE	FAST

TURF

DWARF FESCUE / DRY BLEND 90/10 - ALL TURF AREAS SHALL BE FERTILIZED AT THE TIME OF INSTALL.

KEYNOTES	
NUMBER	KEYNOTE
LT-01	EXISTING TREE TO REMAIN, LANDSCAPE TREE
LT-02	NEW LANDSCAPE TREE



SITE LANDSCAPE PLAN

sheet project owner

MISTLE-RAFANELLI RESIDENCE
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210
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project # **24045**

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