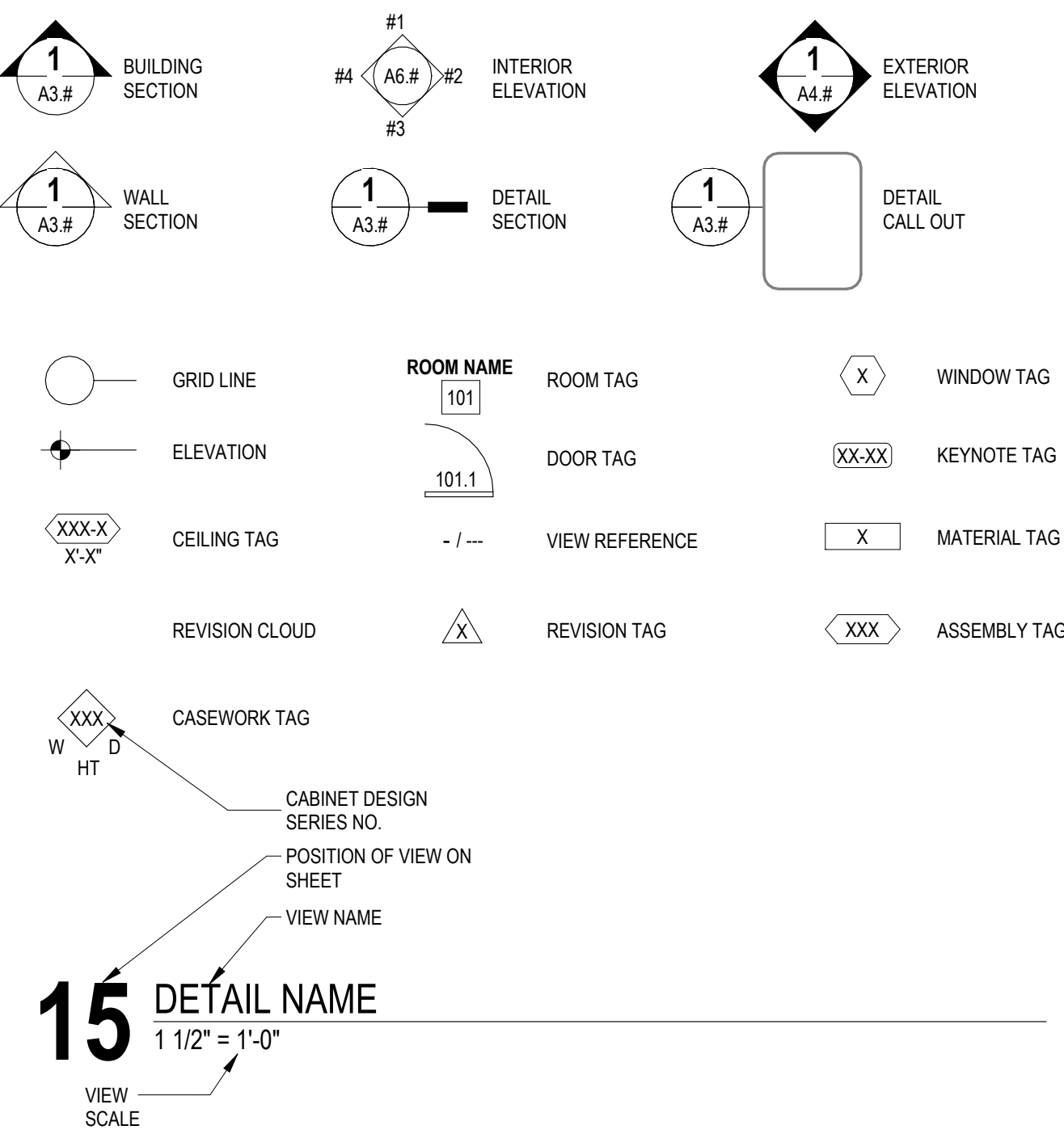


ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE	R	RADIUS
ABV	ABOVE	GALV	GALVANIZED	RA	RETURN AIR
AC	AIR CONDITIONING	GB	GYP SUM BOARD	RB	RUBBER BASE
ACT	ACOUSTICAL CEILING TILE	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN
ADDL	ADDITIONAL	GL	GLASS, GLAZING	RECY	RECYCLED(Y)
ADJ	ADJUSTABLE	GWB	GYP SUM WALL BOARD	REF	REFERENCE
AFF	ABOVE FINISH FLOOR	GYP	GYP SUM	REFRIG	REFRIGERATOR OR REFRIGERATION
ALT	ALTERNATE	HC	HANDICAP	REINF	REINFORCE
ALUM	ALUMINUM	HDR	HEADER	REQD	REQUIRED
ARCH	ARCHITECT(URAL)	HDW	HARDWARE	RM	ROOM
AWN	AWNING	HM	HOLLOW METAL	RO	ROUGH OPENING
		HORIZ	HORIZONTAL	ROW	RIGHT OF WAY
B/	BOTTOM OF BOARD	HR	HOUR	S	SOUTH
BLOG	BUILDING	HT	HEIGHT	SC	SOLID CORE
BLKG	BLOCKING	HTD	HEATED	SCH	SCHEDULE
BM	BEAM OR BENCHMARK	HVAC	HEATING/VENTILATION & AIR CONDITIONING	SCHED	SCHEDULED
BRG	BEARING			SECT	SECTION
BTWN	BETWEEN	ID	INSIDE DIAMETER	SF	SQUARE FEET
BUR	BUILT-UP ROOF	INFO	INFORMATION	SFRM	SPRAY APPLIED FIRE RESISTIVE MATERIAL
CAB	CABINET	ISO	ISO CYANURATE	SGL	SINGLE
CJ	CONTROL JOINT	INSUL	INSULATE / INSULATED / INSULATION	SHT	SHEET
CL	CENTERLINE	INT	INTERIOR	SHTG	SHEATHING
CLG	CEILING	INV	INVERT	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	JT	JOINT	SPECS	SPECIFICATIONS
CO	CLEAN OUT	JBOX	JUNCTION BOX	SOD	SLAB ON DECK
COL	COLUMN			SOG	SLAB ON GRADE
CONC	CONCRETE	KIT	KITCHEN	SOH	SAME OPPOSITE HAND
CONT	CONTINUOUS			SS	STAINLESS STEEL
CONST	CONSTRUCTION	L	LONG / LENGTH	ST	STONE TILE
CG	CORNER GUARD	LAM	LAMINATED	STD	STANDARD
CPT	CARPET	LAV	LAVATORY	STDND	STANDARD
CSMT	CASEMENT	LF	LINEAR FEET	STL	STEEL
CT	CERAMIC TILE	LT	LIGHT	STRUCT	STRUCTURAL
		MAS	MASONRY	TEMP	TEMPERED
D	DEEP	MATL	MATERIAL	THK	THICK
DF	DRINKING FOUNTAIN	MAX	MAXIMUM	THRESH	THRESHOLD
DH	DOUBLE HUNG	MECH	MECHANICAL	T.O.	TOP OF
DN(S)	DIMENSIONS	MEZZ	MEZZANINE	TOBM	TOP OF BEAM
DISP	DISPENSER	MFR	MANUFACTURER	T.O.BM	TOP OF BEAM
DN	DOWN	MH	MANHOLE	T.O.P.	TOP OF PLATE
DR	DOOR	MIN	MINIMUM	T.O.S.	TOP OF STEEL
DS	DOWNSPOUT	MISC	MISCELLANEOUS	T	TOP OF
DTL	DETAIL	NO	NOT TO SCALE	T&G	TONGUE AND GROOVE
DWG	DRAWING	MTL	METAL	TEL	TELEPHONE
E	EAST	N	NORTH	THK	THICK
EA	EXISTING COLUMN	NIC	NOT IN CONTRACT	TRANS	TRANSOM
EJ	EXPANSION JOINT	NOI	NOMINAL	TV	TELEVISION
ELEC	ELECTRICAL	NTS	NOT TO SCALE	TYP	TYPICAL
EL	ELEVATION	OC	ON CENTER	UL	UNDERWRITERS LABORATORY
ELEV	ELEVATOR	OD	OUTSIDE DIAMETER OR OVERFLOW	UNO	UNLESS NOTED OTHERWISE
EQU	EQUAL	OPNG	OPENING	VB	VINYL BASE
EQUIP	EQUIPMENT	OP	OPPOSITE	VCT	VINYL COMPOSITION TILE
EW	ELECTRIC WATER COOLER	OSB	ORIENTED STRAND BOARD	VERT	VERTICAL
EXH	EXHAUST	OVDH	OVERHEAD	VEST	VESTIBULE
EXIST	EXISTING	PL	PLATE	VIF	VERIFY IN FIELD
EXP	EXPANSION OR EXPOSED	PLM	PLASTIC LAMINATE	VP	VENER PLASTER
EXT	EXTERIOR	PLUMB	PLUMBING	VR	VAPOR RETARDER
FACP	FIRE ALARM CONTROL PANEL	PLYWD	PLYWOOD	VT	VINYL TILE
FD	FLOOR DRAIN	PNL	PANEL	VWC	VINYL WALL COVERING
FE	FIRE EXTINGUISHER	PNT	PAINT	W	WIDE OR WEST
FEC	FIRE EXTINGUISHER CABINET	POLY	POLYESTER OR POLYOLEFIN	WI	WITH
F.F.	FINISH FLOOR	PSF	POUNDS PER SQUARE FOOT	WC	WATER CLOSET
FIN	FINISH	PSI	POUNDS PER SQUARE INCH	WD	WOOD
FIXT	FIXTURE	PT	PRESSURE TREATED OR POINT	WOW	WINDOW
FLR	FLOOR	PVMT	PAVEMENT	WG	WALL GUARD
FND	FOUNDATION	QT	QUARRY TILE	WH	WATER HEATER
FP	FIRE PROTECTION	QTR	QUARTER	WITHN	WITHIN
FRM	FRAME	QTY	QUANTITY	WIO	WITHOUT
FRMG	FRAMING			WP	WATERPROOF
FT	FEET/FOOT OR FIRE TREATED			WR	WATER RESISTANT
FTG	FOOTING			WT	WEIGHT
FTNG	FOOTING			WWF	WELDED WIRE FABRIC
FRP	FIBERGLASS REINFORCED PANEL			#	NUMBER OR POUND
FRT	FIRE RETARDANT TREATED			@	AT

EXPLANATION OF SYMBOLS



TYPICAL SHEET VIEW NUMBERING LAYOUTS

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

ARCH D (24"x36")

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

ARCH E1 (30"x42")

PROJECT SCOPE

DEMOLISH EXISTING TWO STORY PLUS BASEMENT HOUSE, DETACHED GARAGE, POOL HOUSE, DRIVEWAYS AND ALL ASSOCIATED HARDSCAPES

CONSTRUCT NEW SINGLE STORY 7 BEDROOM HOUSE WITH PARTIAL BASEMENT AND ATTACHED TWO CAR GARAGE. BEDROOMS ARE 5 DESIGNED BEDROOMS AND 2 DESIGNED OFFICES

CONSTRUCT NEW DRIVEWAY WITH TWO ENTRANCES FROM PEPPER AVENUE. NEW HARDSCAPE PER PLAN. NEW SITE WALLS AND FENCES PER PLAN, AND NEW SWIMMING POOL AND HOT TUB.

GENERAL REQUIREMENTS

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION

THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK

AT THE TIME OF APPLICATION FOR BUILDING PERMIT, A COMPLETED SUPPLEMENTAL DEMOLITION APPLICATION WILL BE PROVIDED

MECHANICAL EQUIPMENT INSTALLED ON THE EXTERIOR OF THE BUILDING SHALL NOT EXCEED MAXIMUM OUTDOOR NOISE LEVEL (dBA) OF SIXTY (60) dBA DAYTIME (7:00 A.M. - 10:00 P.M.) OR FIFTY (50) dBA NIGHTTIME (10:00 P.M. - 7:00 A.M.) AS MEASURED FROM THE PROPERTY LINE. BMC 25.58.050

FIRE PROTECTION

A FIRE SPRINKLER SYSTEM IS REQUIRED THROUGHOUT THE HOUSE, ADU AND ATTACHED GARAGE.

THE FIRE SPRINKLER SYSTEM SHALL BE A DEFERRED SUBMITTAL. SPRINKLER DESIGN DRAWINGS SHALL BE SUBMITTED WITH THE SUBSEQUENT BUILDING PERMIT APPLICATION.

THE FOLLOWING MEASURES ARE PROVIDED TO MITIGATE FIRE ACCESS TRAVEL GREATER THAN 150' FROM THE PUBLIC WAY. REFER TO CENTRAL COUNTY FIRE DEPARTMENT APPROVED ALTERNATE MEANS OF PROTECTION APPLICATION #25-0006.

ENHANCED SPRINKLER COVERAGE: FIRE SPRINKLERS WILL BE INSTALLED PER NFPA 13D, AND THERE WILL BE ADDITIONAL COVERAGE PROVIDED IN ALL CLOSETS, STORAGE, UTILITY AND MECHANICAL ROOMS.

IMPROVE BUILDING CONSTRUCTION: THE EXTERIOR WINDOWS AND DOORS WITH GLASS SHALL ALL HAVE A MINIMUM OF 1 PANE OF TEMPERED GLASS, INCREASING RESISTANCE TO EMBER EXPOSURE AND HIGH HEAT. PROPOSED WINDOWS ARE ALUMINUM CLAD ON THE EXTERIOR.

IMPROVE BUILDING CONSTRUCTION: ALL EAVE VENTS WILL BE ELIMINATED. UNVENTED ROOF ASSEMBLIES WILL BE DESIGNED FOR BOTH FLAT AND SLOPED ROOFS UTILIZING CLOSED CELL SPRAY FOAM INSULATION.

IMPROVE BUILDING CONSTRUCTION: CLASS A ROOF ASSEMBLIES WILL BE USED FOR BOTH FLAT AND SLOPED ROOFS.

SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A ROOF ASSEMBLY.

FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A ROOF ASSEMBLY.

CODE INFORMATION

GOVERNING CODES:	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889 BURLINGAME MUNICIPAL CODE
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	YES
OCCUPANCY:	R-3 SINGLE FAMILY RESIDENCE AND ADU U PRIVATE GARAGE

DRAWINGS LIST

SHEET NO.	SHEET NAME
0 GENERAL	COVER SHEET
A001	SITE CONTEXT PLANS
A002	TOPOGRAPHIC SURVEY
1 CIVIL	SITE PLAN EXISTING
C100	SITE PLAN
5 ARCHITECTURAL	AREA DIAGRAMS AND CALCULATIONS
A100	MAIN LEVEL PLAN
A101	ENLARGED FLOOR PLANS
A102	ENLARGED FLOOR PLANS
A200	BASEMENT PLAN
A201	ROOF PLAN
A202	PERSPECTIVES
A210	OVERALL EXTERIOR ELEVATIONS
A220	EXTERIOR ELEVATIONS
A300	EXTERIOR ELEVATIONS
A310	EXTERIOR ELEVATIONS
A311	EXTERIOR ELEVATIONS
A312	EXTERIOR ELEVATIONS
A313	EXTERIOR ELEVATIONS
A314	BUILDING SECTIONS
A400	BUILDING SECTIONS
A401	2 LANDSCAPE
L100	SITE LANDSCAPE PLAN

MISTELE-RAFANELLI RESIDENCE

121 PEPPER AVE  
BURLINGAME, CA 94010

ISSUE DATE: 02/11/2025

A&E PROJECT NUMBER: 24045

CONSTRUCTION HOURS

WEEKDAYS:	8:00 A.M. - 7:00 P.M.
SATURDAYS:	9:00 A.M. - 6:00 P.M.
SUNDAYS AND HOLIDAYS:	NO WORK ALLOWED
CONSTRUCTION HOURS IN CITY PUBLIC R.O.W.:	WEEKDAYS AND NON-CITY HOLIDAYS 8:00 A.M. - 5:00 P.M.

OBSERVED HOLIDAYS:

JANUARY 1  
THE THIRD MONDAY IN JANUARY  
THE THIRD MONDAY IN FEBRUARY  
THE LAST MONDAY IN MAY  
JUNE 19  
JULY 4  
THE FIRST MONDAY IN SEPTEMBER  
THE SECOND MONDAY IN OCTOBER  
NOVEMBER 11  
THE FOURTH THURSDAY IN NOVEMBER  
DECEMBER 25

REFER TO CITY OF BURLINGAME MUNICIPAL CODE, SECTION 18.07.110 AND 13.04.100 FOR ADDITIONAL DETAILS

PROJECT TEAM

OWNER COLIN MISTELE AND KATHERINE RAFANELLI	ARCHITECT A&E DESIGN COLLECTIVE 124 N 29TH ST, SUITE 100 BURLINGAME, CA 94010-2019 JOHN PHILLIPS, PROJECT MANAGER (408) 721-5643 BURLINGAME BUSINESS LIC. #: 20508462	CONTRACTOR TBD	SURVEYOR QUIET RIVER LAND SERVICES, INC. 11501 DUBLIN BLVD, SUITE 200 DUBLIN, CA 94568 (925) 734-6788
CIVIL ENGINEER TBD	STRUCTURAL ENGINEER TBD	MECHANICAL ENGINEER TBD	ELECTRICAL ENGINEER TBD

COVER SHEET

sheet

project

owner

MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE, BURLINGAME, CA 94010  
APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI

project #	24045
revision	date
3	07/29/2025

phase

CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



issue date

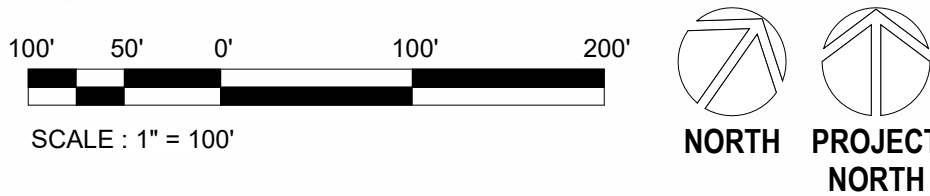
02/11/2025

A001

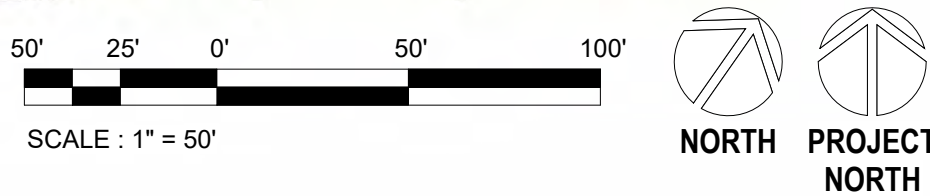




1 SITE PLAN EXISTING CONTEXT  
1" = 100'-0"

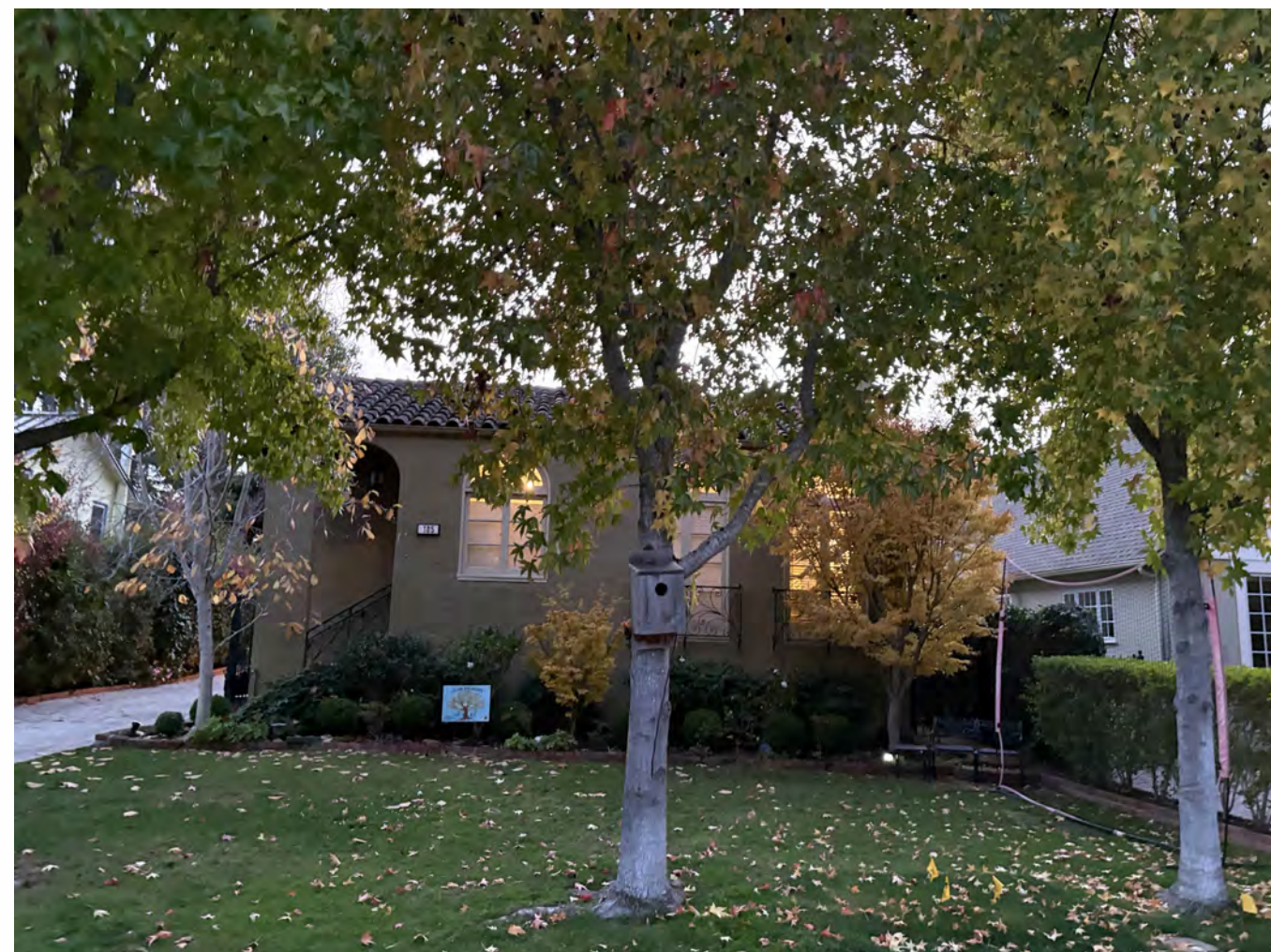


2 SITE PLAN AREA OF INLUENCE  
1" = 50'-0"

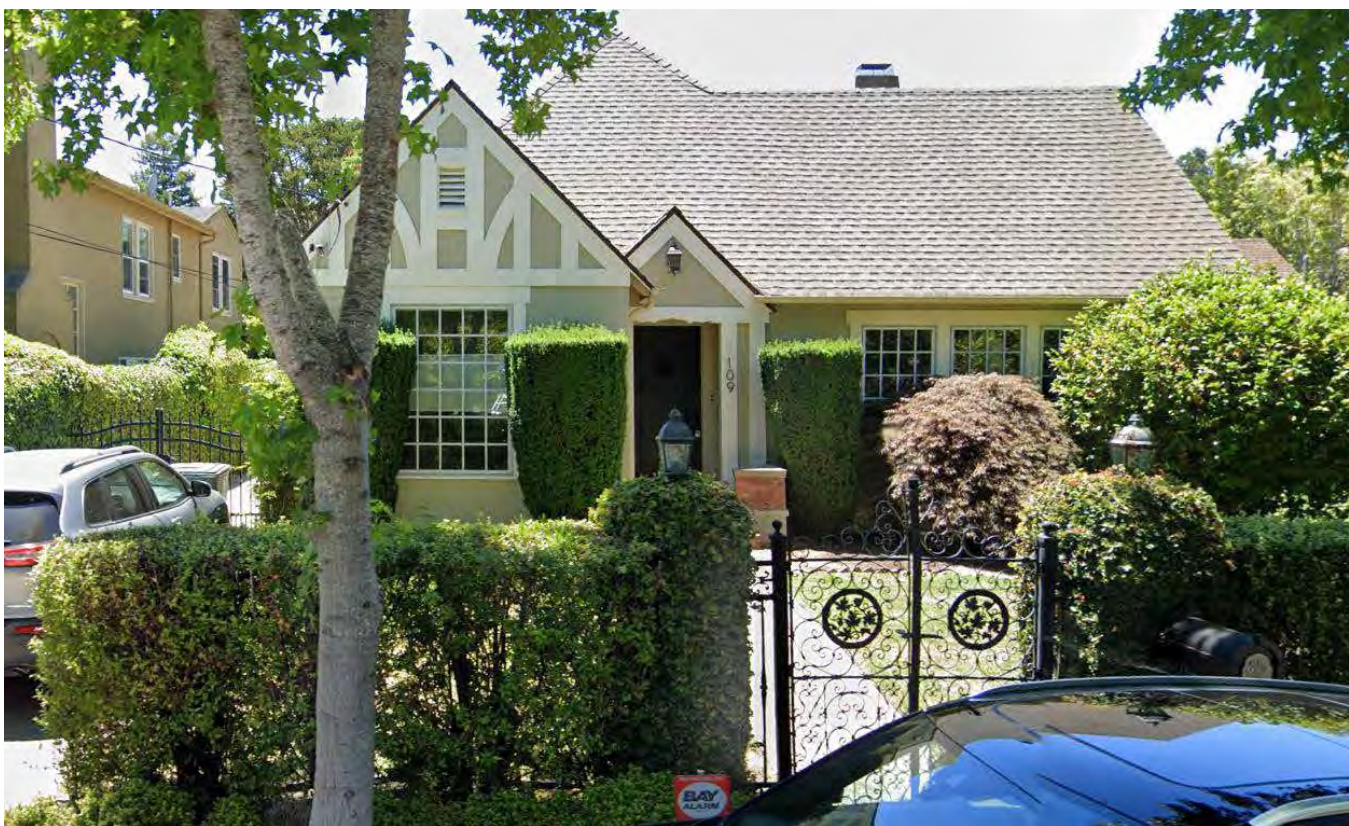


SITE CONTEXT LEGEND

SYMBOL	MEANING
	PROPERTY LINE
	ROAD
	SET BACK FROM ROAD
	CITY LIMIT
	AREA OF INFLUENCE
	PROJECT PROPERTY
	EXISTING FOOTPRINT
	EXISTING SURROUNDING HOUSES



105 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1927



109 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1928  
EXAMPLE HOUSE



111 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1911  
EXAMPLE HOUSE



121 PEPPER AVENUE EXISTING (SUBJECT PROPERTY)  
ORIGINAL DATE OF CONSTRUCTION: 1924



125 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1920



133 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1924



141 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1887



106 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1941



112 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1936



124 PEPPER AVENUE  
ORIGINAL DATE OF CONSTRUCTION: 1932

EXISTING NEIGHBORHOOD CONTEXT PHOTOS

SITE CONTEXT PLANS  
sheet  
project  
owner  
MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010  
APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045  
revision date

phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



issue date  
02/11/2025

A002



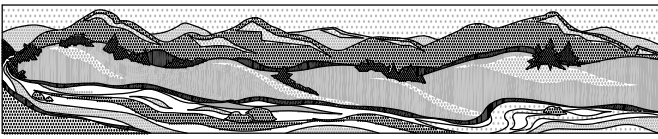
TOPOGRAPHIC SURVEY

LANDS OF RAFANELLI  
LOT 8 & PORTION OF LOT 13, BLOCK 1  
MAP OF SUBDIVISION NO. 3 BURLINGAME PARK  
(GRANT DEED #2023-0061521-ROSSELLI TRUST)  
121 PEPPER AVENUE

CITY OF BURLINGAME SAN MATEO COUNTY CALIFORNIA

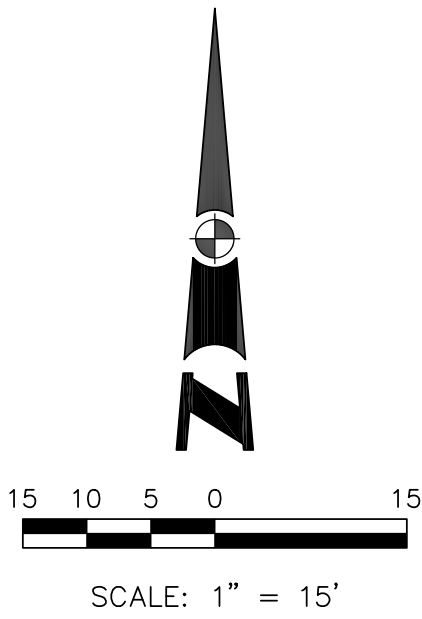
SCALE: 1" = 15'

MARCH 2024



QUIET RIVER  
Land Services Inc.

11501 Dublin Boulevard, Suite 200  
Dublin, CA 94568  
(925) 734-6788 Phone



SCALE: 1" = 15'

BASIS OF BEARINGS

RECORD OF SURVEY 3357 FILED IN BOOK 47 OF LICENSED LAND SURVEYOR'S MAPS AT PAGE 60, RECORDS OF SAN MATEO COUNTY, AND TWO FOUND MONUMENTS AS SHOWN.

BASIS OF ELEVATION

THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A IGA173 RECEIVER AND POST-PROCESS USING THE CORS NETWORK. ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

PROPERTY BOUNDARY NOTE

THIS IS NOT A PROPERTY BOUNDARY SURVEY. THIS MAP REFLECTS A TOPOGRAPHIC SURVEY OF THE SUBJECT PARCEL. PROPERTY MONUMENTS WERE NOT REQUESTED AND NONE WERE SET. THE PROPERTY BOUNDARY LINE AND PARCEL AREA DATA AS SHOWN HEREON IS FOR INITIAL PLANNING PURPOSES ONLY AND ARE NOT FINAL, AS PER AGREEMENT. THE LINES AS SHOWN REFLECT RECORD INFORMATION AND AVAILABLE DATA FOR THE SUBJECT PARCEL AND RIGHT-OF-WAY LINES.

NOTES

- THIS MAP IS NOT A PROPERTY BOUNDARY SURVEY. THIS IS TOPOGRAPHY MAP. NO PROPERTY CORNER MONUMENTS WERE SET FOR THIS PROJECT.
- NO TITLE REPORTS WERE SUPPLIED FOR THIS PROJECT AND ONLY LIMITED PROPERTY/DEED RESEARCH WAS DONE, CONSEQUENTLY EASEMENTS OF RECORD, IF ANY, AND ANY RECENT CHANGES IN LAND PARCEL BOUNDARIES WILL NOT BE REFLECTED HEREON. UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- DATE OF FIELD SURVEY: MARCH 4 & 7, 2024
- PROJECT BENCHMARK: SET NAIL AND SHINER IN ASPHALT LOCATED SOUTHWEST OF POOL HOUSE SHOWN AS TBM HAVING AN ELEVATION OF 78.94 AMSL(NAVD88).

SURVEYOR'S STATEMENT

I, KEVIN M. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN, ARE BASED UPON A FIELD SURVEY PERFORMED MARCH 4 & 7, 2024 BY OUR COMPANY FIELD CREW; AND I FURTHERMORE DO STATE THAT THE PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND THE ITEMS AND INFORMATION AS SHOWN, WERE DONE UNDER MY SUPERVISION AND DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



KEVIN M. MCGUIRE, CA PLS #6437 3/14/24  
DATE

LEGEND

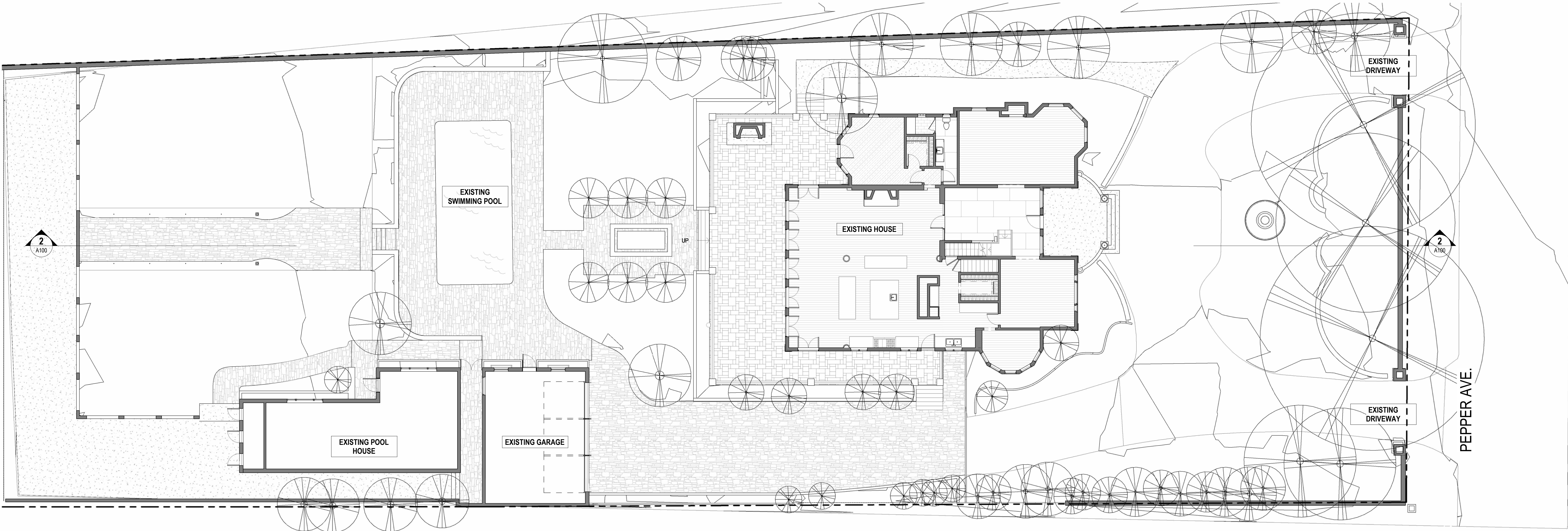
AD.	AREA DRAIN	---	SUBJECT PROPERTY LINE
APN:	ASSESSOR'S PARCEL NUMBER	---	ADJOINER PROPERTY LINE
CP	CONTROL POINT	-x-x-	EXISTING FENCE LINE
CO	CLEANOUT	⊕	AREA DRAIN
CONC.	CONCRETE	+	HOSE BIB
EL.	ELEVATION	⊗	MANHOLE
FND.	FOUND	⊠	CATCH BASIN
HT.	HEIGHT	⊞	WATER METER
ICV	IRRIGATION CONTROL VALVE	⊙	GAS METER
HB	HOSE BIB	☆	LIGHT
x 74.0	SPOT ELEVATION		
▲	SURVEY CONTROL POINT		
■	PROJECT BENCHMARK		

C1

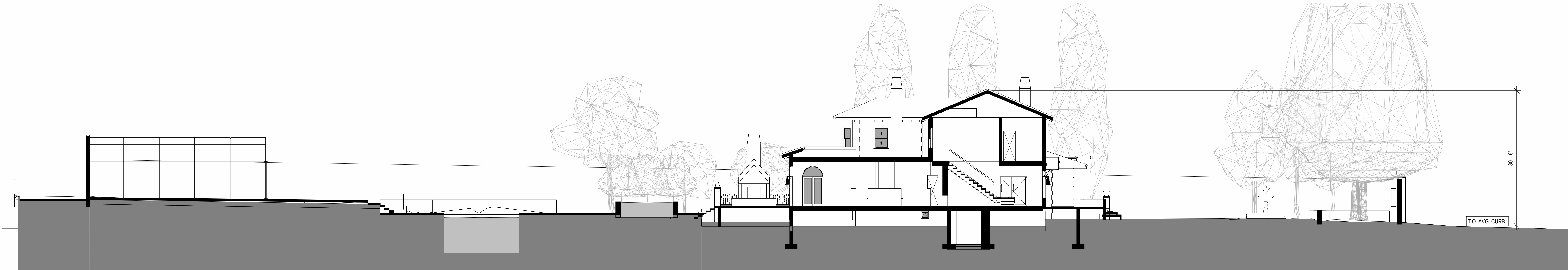
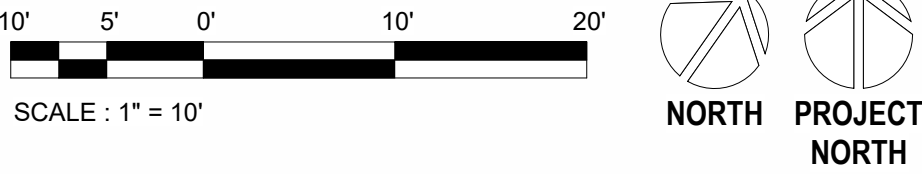


EXTISTING PLAN NOTES

- EXISTING HOUSE TO BE REMOVED IN ITS ENTIRETY
- EXISTING GARAGE TO BE REMOVED IN ITS ENTIRETY
- EXISTING POOL HOUSE TO BE REMOVED IN ITS ENTIRETY
- EXISTING SWIMMING POOL AND SURROUNDING HARDSCAPE TO BE REMOVED IN ITS ENTIRETY
- EXISTING DRIVEWAY AND HARDSCAPE TO BE REMOVED IN THIER ENTIRETY



1 SITE PLAN EXISTING  
1" = 10'-0"



2 SITE SECTION EXISTING  
1" = 10'-0"

SITE PLAN EXISTING

sheet

project #

revision

phase

CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION

issue date

02/11/2025

A100

MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
owner COLIN MISTELE AND KATHERINE RAFANELLI

24045

date





POST CONSTRUCTION IMPERVIOUS SURFACE CALCULATION

AREA OF SITE	32,580 SF	IMPERVIOUS AREA OVER 40%:
PROPOSED IMPERVIOUS SURFACE AREA:		49.2% TOTAL PROPOSED IMPERVIOUS AREA: 16,016 SF
ROOF:	10,798 SF	40% IMPERVIOUS AREA: 13,032 SF
CONCRETE IN AUTO-COURT:	1,550 SF	
CONCRETE IN NORTH DRIVEWAY:	120 SF	
CONCRETE IN SOUTH DRIVEWAY:	360 SF	
DRIVEWAY APRONS IN FRONTAGE:	865 SF	
SITE WALLS:	545 SF	
CONCRETE PAVEMENT ENTRY PATHS:	1,280 SF	
POOL, SPA AND CORING:	558 SF	
CONCRETE SLAB WALKS & PATIOS:		
TOTAL IMPERVIOUS SURFACE AREA:	16,016 SF = 49.2%	IMPERVIOUS AREA REQUIRING MITIGATION: 2,984 SF

- NOTES:
- THE PROJECT IS PROPOSING GREATER THAN 10,000 SF OF NEW AND REPLACED IMPERVIOUS SURFACE. REQUIRING ON-SITE TREATMENT OF STORMWATER. ALL STORMWATER WILL BE COLLECTED TO ON-SITE TREATMENT AREAS. DESIGN FOR RETENTION AND TREATMENT OF STORMWATER BY THE CIVIL ENGINEER WILL BE PROVIDED AT TIME OF BUILDING PERMIT SUBMITTAL.
  - THE PROJECT IS PROPOSING GREATER THAN 40% LOT COVERAGE BY IMPERVIOUS SURFACES. REQUIRING RETENTION OF STORMWATER RUN-OFF GENERATED BY 2,984 SF OF IMPERVIOUS SURFACE (AREA OVER 40%). DESIGN FOR THE RETENTION OF STORMWATER BY THE CIVIL ENGINEER WILL BE PROVIDED AT THE TIME OF BUILDING PERMIT SUBMITTAL.
  - ROOF DOWNSPOUTS WILL BE COLLECTED BY STORM DRAINAGE TIGHTLINES AND CONNECTED TO ON-SITE RETENTION AND BIOTREATMENT FACILITIES.

FRONT SETBACK IMPERVIOUS SURFACE CALCULATION

AREA OF FRONT SETBACK:	5,896 SF	ALLOWABLE IMPERVIOUS SURFACE AREA:	40%
PROPOSED IMPERVIOUS SURFACE AREA:	1,550 SF	PROPOSED PERVIOUS SURFACE AREA:	1,398 SF
CONCRETE IN AUTO-COURT:	120 SF	PERMEABLE PAVERS:	2,256 SF
CONCRETE IN NORTH DRIVEWAY:	365 SF	LANDSCAPE:	
CONCRETE IN SOUTH DRIVEWAY:	42 SF		
18" WIDE SITE WALLS:	15 SF		
ENTRY PATH:			
SIDE YARD PAVEMENT WALKWAY:			
TOTAL IMPERVIOUS SURFACE AREA:	2,242 SF = 38.0%	TOTAL PERVIOUS SURFACE AREA:	3,654 SF = 62%

NOTE:  
FOR DESCRIPTIONS OF REVISIONS TO BUILDING FOOTPRINT,  
REFER TO FLOOR PLANS, SHEETS A200, A201 AND A202

BLOCK AVG. FRONT SETBACK

2017 DESIGN REVIEW SUBMITTAL FOR THE PROJECT CURRENTLY UNDER CONSTRUCTION AT 133 PEPPER AVENUE, WHICH IS ON THE SAME SIDE OF THE SAME BLOCK AS THE SUBJECT PROPERTY. ESTABLISHED THE BLOCK AVERAGE SETBACK OF 56'-6". REFERENCE CITY OF BURLINGAME STAFF REPORT DATED 12/11/2017

(10) LOTS ARE INCLUDED IN THE AVERAGE, EXCLUDING CORNER LOTS, AND THE LEAST AND GREATEST SETBACKS AT 109 PEPPER AVE AND 151 PEPPER AVE.

133 PEPPER AVENUE REDUCED THEIR ACTUAL FRONT BUILDING SETBACK FROM 74'-0" EXISTING TO 58'-8" NEW, FOR A REDUCTION OF 15.33'

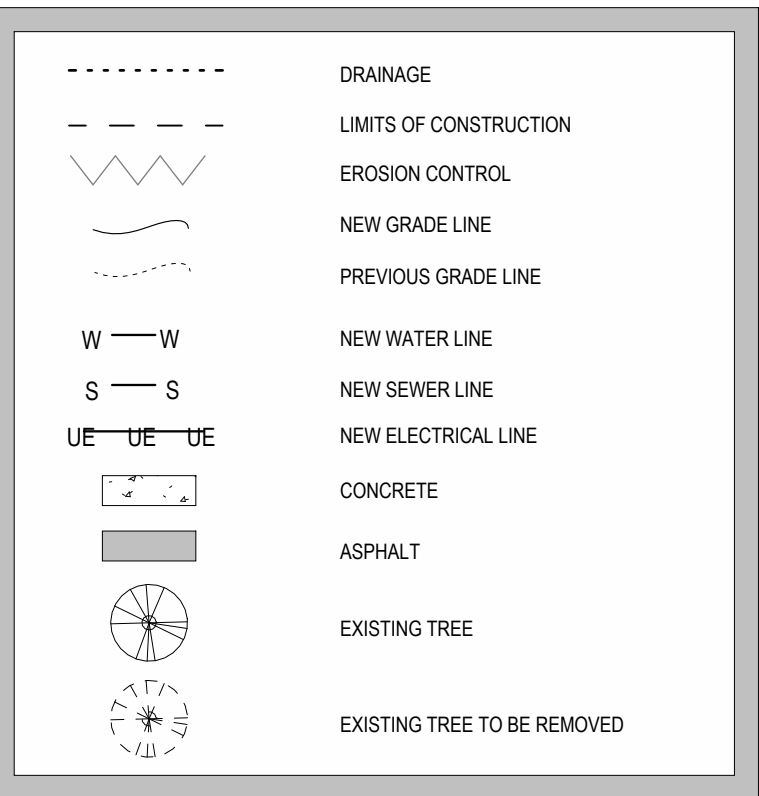
10 LOTS X 56.5' AVERAGE SETBACK = 565' OF TOTAL SETBACK

565' - 15.33" (REDUCTION OF LOT 133 SETBACK) = 549.67'

549.67' / 10 LOTS = 55'-0"

NEW BLOCK AVERAGE SETBACK = 55'-0"

SITE LEGEND

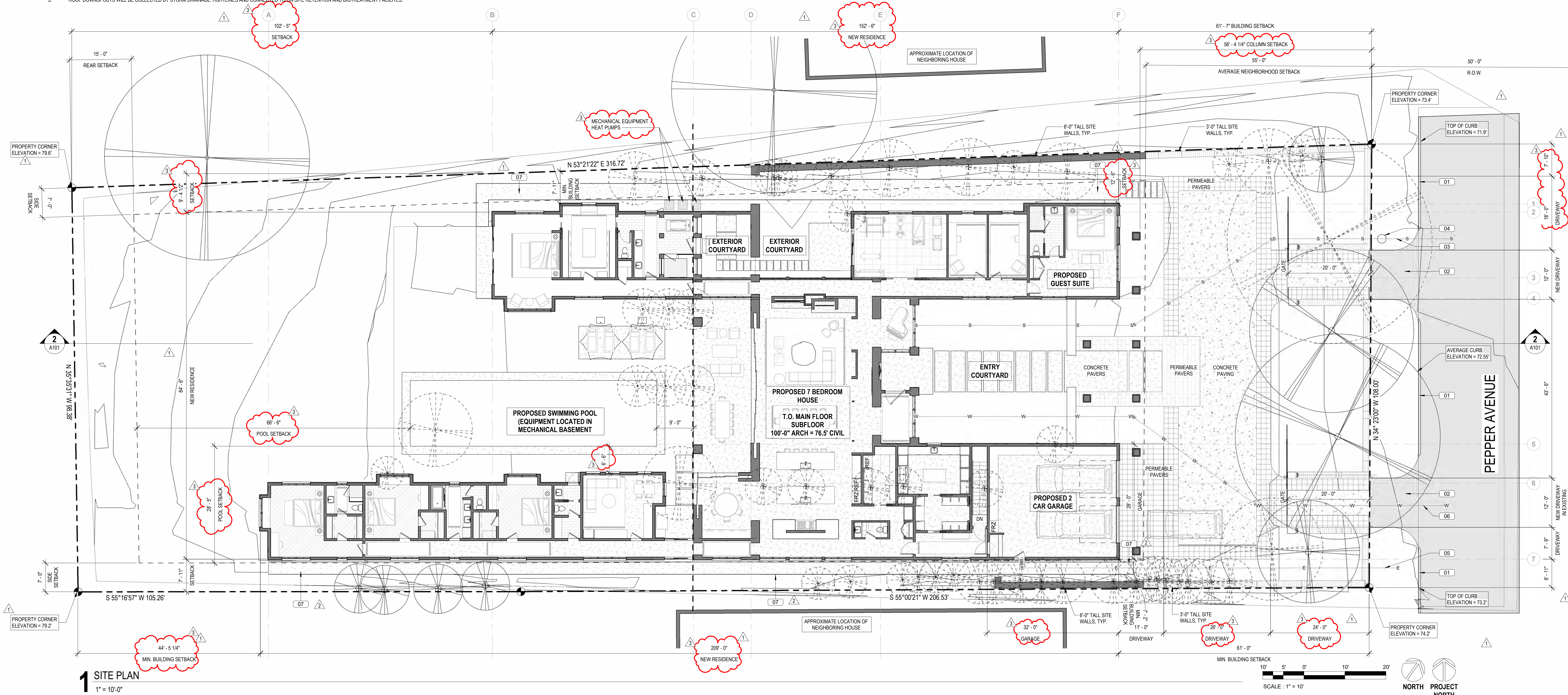


KEYNOTES

- EXISTING CURB AT PROPERTY FRONTAGE TO BE REPLACED WITH NEW CONCRETE CURB AND GUTTER PER CITY STANDARDS
- NEW CONCRETE CURB CUT AND NEW DRIVEWAY APRON TO BE INSTALLED PER CITY STANDARDS
- NEW 4" SANITARY SEWER LATERAL WITH NEW WYE TO MAIN INSTALLED PER CITY STANDARDS. FINAL LOCATION TO BE DESIGNED BY CIVIL ENGINEER.
- SANITARY SEWER CLEAN-OUT. FINAL LOCATION TO BE DESIGNED BY CIVIL ENGINEER.
- NEW UNDERGROUND ELECTRICAL SERVICE. FINAL LOCATION TO BE DESIGNED BY ELECTRICAL ENGINEER.
- NEW WATER SERVICE AND CONNECTION TO MAIN INSTALLED PER CITY STANDARDS. FINAL LOCATION TO BE DESIGNED BY CIVIL ENGINEER.
- FIRE APPARATUS PATH

SITE PLAN NOTES

- T.O. MAIN FLOOR SUBFLOOR = 100'-0"
- 100'-0" ARCHITECTURAL ELEVATION = 76.5' CIVIL ELEVATION
- REFER TO LANDSCAPE SITE PLAN, SHEET L100 FOR PROPOSED TREE REPLACEMENT AND NEW PLANTINGS.
- ALL EXISTING UTILITIES ON SITE, INCLUDING SANITARY SEWER, WATER SERVICE, AND ELECTRICAL ARE TO BE REMOVED.
- PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS TO THE SEWER MAIN PER CITY STANDARDS.
- DISCONNECT ABANDONED WATER SERVICE FROM MAIN PER CITY STANDARDS.
- NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOXES, ETC.) ARE PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.
- POTENTIAL FOR A GROUNDWATER TABLE THAT WOULD IMPACT THE BASEMENT EXISTS ON THIS PROPERTY. PENDING RESULTS FROM THE GEOTECHNICAL INVESTIGATION. IF THE GROUNDWATER TABLE IS AT A LEVEL THAT AFFECTS THE BASEMENT, CONTINUOUS PUMPING TO A HARD-PIPE CONNECTED TO THE NEAREST CITY STORM MAIN OR CATCH BASIN WILL BE REQUIRED.



1 SITE PLAN  
1" = 10'-0"



2 SITE SECTION  
1" = 10'-0"

SITE PLAN  
sheet  
project  
owner

MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045  
revision date  
3 07/29/2025

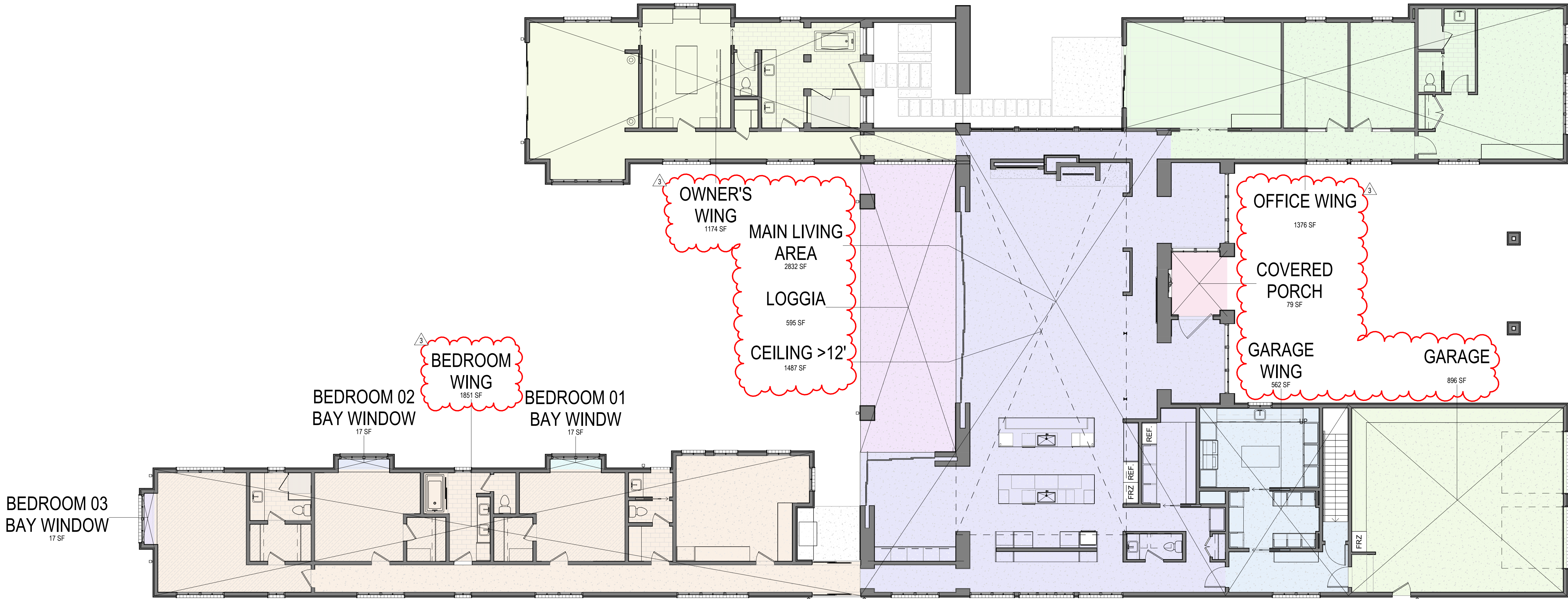
phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



issue date  
02/11/2025

A101





1 MAIN LEVEL AREA PLAN  
1/8" = 1'-0"

MAIN FLOOR AREA LEGEND

	BEDROOM 01 BAY WINDOW
	BEDROOM 02 BAY WINDOW
	BEDROOM 03 BAY WINDOW
	BEDROOM WING
	COVERED PORCH
	GARAGE
	GARAGE WING
	LOGGIA
	MAIN LIVING AREA
	OFFICE WING
	OWNER'S WING

LOT COVERAGE		
AREA (SF)	AREA DESIGNATION	CODE INCLUSION OR EXCLUSION
588 SF	BASEMENT AREA A	EXCLUDED
1041 SF	BASEMENT AREA B	EXCLUDED
17 SF	BEDROOM 01 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 02 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 03 BAY WINDOW	EXCLUDED
1487 SF	CEILING >12'	EXCLUDED
3167 SF	BEDROOM WING	INCLUDED
1851 SF	COVERED PORCH	INCLUDED
896 SF	GARAGE	INCLUDED
562 SF	GARAGE WING	INCLUDED
595 SF	LOGGIA	INCLUDED
2832 SF	MAIN LIVING AREA	INCLUDED
1376 SF	OFFICE WING	INCLUDED
1174 SF	OWNER'S WING	INCLUDED
9365 SF		

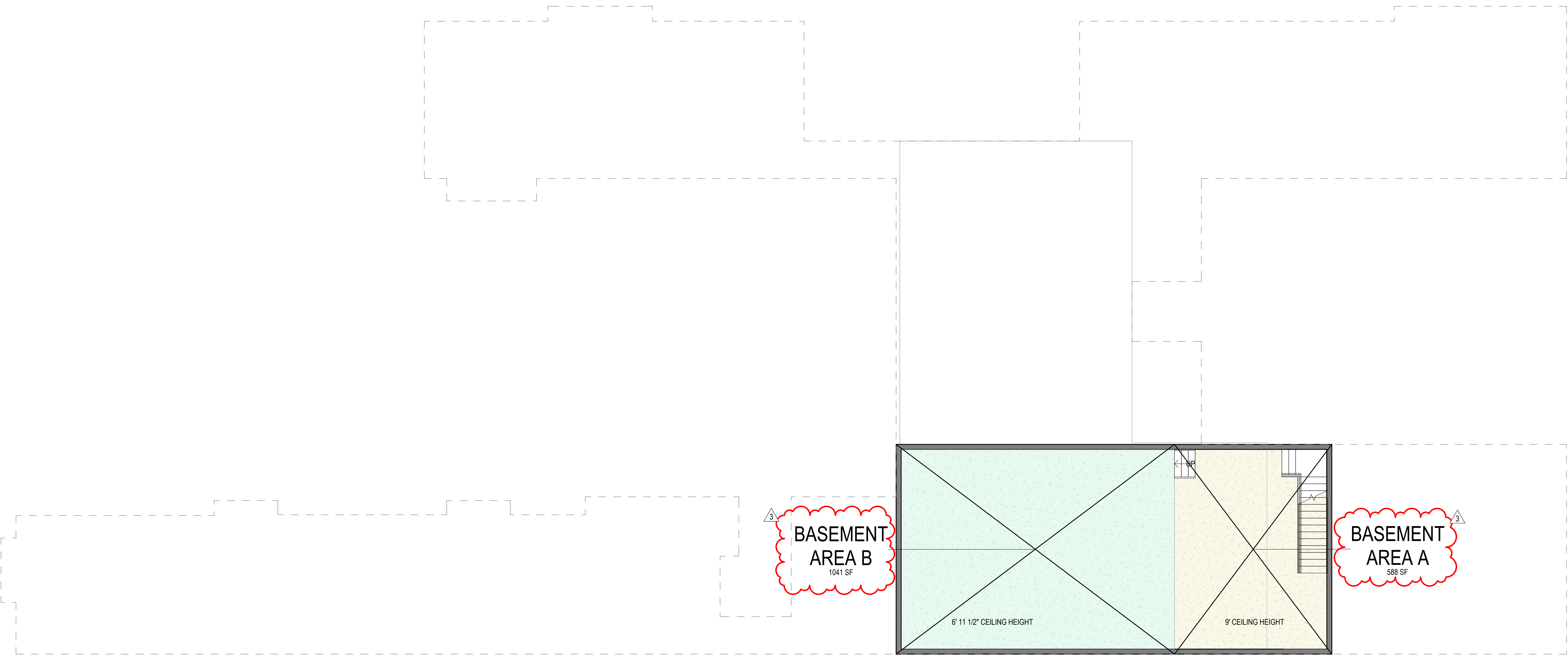
FLOOR AREA		
AREA (SF)	AREA DESIGNATION	CODE INCLUSION OR EXCLUSION
588 SF	BASEMENT AREA A	EXCLUDED
1041 SF	BASEMENT AREA B	EXCLUDED
17 SF	BEDROOM 01 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 02 BAY WINDOW	EXCLUDED
17 SF	BEDROOM 03 BAY WINDOW	EXCLUDED
79 SF	COVERED PORCH	EXCLUDED
1759 SF	BEDROOM WING	INCLUDED
1487 SF	CEILING >12'	INCLUDED
896 SF	GARAGE	INCLUDED
562 SF	GARAGE WING	INCLUDED
595 SF	LOGGIA	INCLUDED
2832 SF	MAIN LIVING AREA	INCLUDED
1376 SF	OFFICE WING	INCLUDED
1174 SF	OWNER'S WING	INCLUDED
10773 SF		

UNIT SIZE		
AREA (SF)	AREA DESIGNATION	CODE INCLUSION OR EXCLUSION
588 SF	BASEMENT AREA A	EXCLUDED
1041 SF	BASEMENT AREA B	EXCLUDED
1487 SF	CEILING >12'	EXCLUDED
79 SF	COVERED PORCH	EXCLUDED
896 SF	GARAGE	EXCLUDED
595 SF	LOGGIA	EXCLUDED
4686 SF	BEDROOM 01 BAY WINDOW	INCLUDED
17 SF	BEDROOM 02 BAY WINDOW	INCLUDED
17 SF	BEDROOM 03 BAY WINDOW	INCLUDED
1851 SF	BEDROOM WING	INCLUDED
562 SF	GARAGE WING	INCLUDED
2832 SF	MAIN LIVING AREA	INCLUDED
1376 SF	OFFICE WING	INCLUDED
1174 SF	OWNER'S WING	INCLUDED
7846 SF		

AREA CALCULATIONS		
LOT COVERAGE		
ALLOWABLE LOT COVERAGE PERCENTAGE 40%		
TOTAL SITE AREA	32,580 SF	
LOT COVERAGE	9,365 SF	
LOT COVERAGE %	28.75%	
FLOOR AREA RATIO		
ALLOWABLE FAR = 32% PLUS 1,100 SF = 11,526 SF		
TOTAL SITE AREA	32,580	
TOTAL FLOOR AREA	10,773 SF	
FLOOR AREA RATIO	33.1%	
UNIT SIZE		
ALLOWABLE UNIT SIZE 8000 SF		
TOTAL UNIT SIZE	7,846 SF	

BASEMENT AREA LEGEND

	BASEMENT AREA A
	BASEMENT AREA B



2 BASEMENT AREA PLAN  
1/8" = 1'-0"



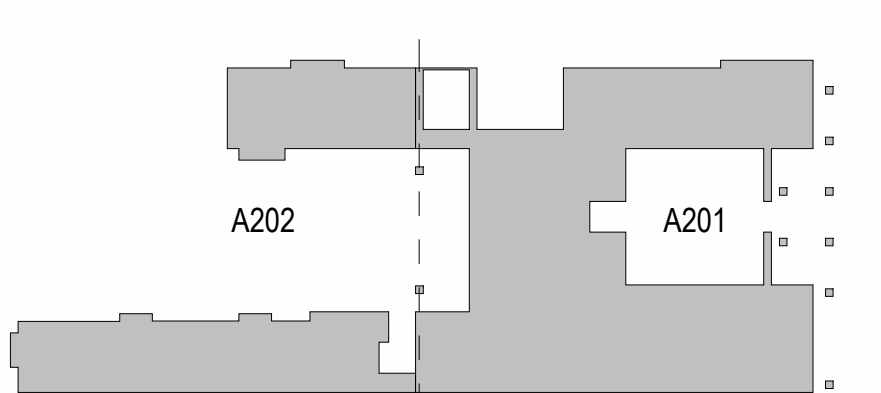
ORIGINAL DESIGN WITH ADU:			7/1/2025 DESIGN:		
LIVING AREA:	7,487	SF	LIVING AREA:	7,621	SF
ADU:	791	SF	ADU:	0	SF
GARAGE:	959	SF	GARAGE:	896	SF
LOGGIA:	501	SF	LOGGIA:	462	SF
TOTAL 'UNIT' SIZE:	7,936	SF	TOTAL 'UNIT' SIZE:	7,621	SF
TOTAL MAIN LEVEL SF:	9,237	SF	TOTAL MAIN LEVEL SF:	8,517	SF
BASEMENT:	2,711	SF	BASEMENT:	1,629	SF
<b>CURRENT DESIGN:</b>					
LIVING AREA:			7,846	SF	359 SF INCREASE
ADU:			0	SF	791 SF REDUCTION
GARAGE:			896	SF	63 SF REDUCTION
LOGGIA:			595	SF	94 SF INCREASE
TOTAL 'UNIT' SIZE:			7,846	SF	
TOTAL MAIN LEVEL SF:			8,742	SF	495 SF REDUCTION
BASEMENT:			1,629	SF	1,082 SF REDUCTION

1. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
2. DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING/STRUCTURE, U.N.O.
3. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION

The diagram illustrates a wall assembly with various material layers and their removal. The wall is shown in cross-section, with a vertical line indicating the edge. The layers are labeled as follows:

- NEW WALL**: The top layer of the wall assembly.
- 1 HOUR FIRE RATED WALL ASSEMBLY:** A section of the wall assembly.
- UL U505:** A section of the wall assembly.
- 5/8" GYPSUM PANEL O'**: A section of the wall assembly.
- 2X6 WOOD STUDS W/ 6 1/4" FIBERGLASS INSULATION O'**: A section of the wall assembly.
- 5/8" GYPSUM PANEL**: A section of the wall assembly.
- FLOORING TYPE 'A' PER SPEC - POLISHED CONCRETE INTERIOR TOP-CAST CONCRETE EXTERIOR EPOXY COATED CONCRETE BASEMENT**: A section of the wall assembly.
- FLOORING TYPE 'C' - TILE**: A section of the wall assembly.
- FLOORING TYPE 'E' - RUBBER FLOORING**: A section of the wall assembly.
- FLOORING TYPE 'F' - CARPET**: A section of the wall assembly.
- AREA REMOVED FROM SCOPE**: A section of the wall assembly.

REFER TO ENLARGED PLANS ON  
SHEETS A201 AND A202



sheet  
MAIN LEVEL PLAN  
MISTELE-RAFANELLI RESIDENCE  
project  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 032374210  
owner  
COLIN MISTELE AND KATHERINE RAFANELLI

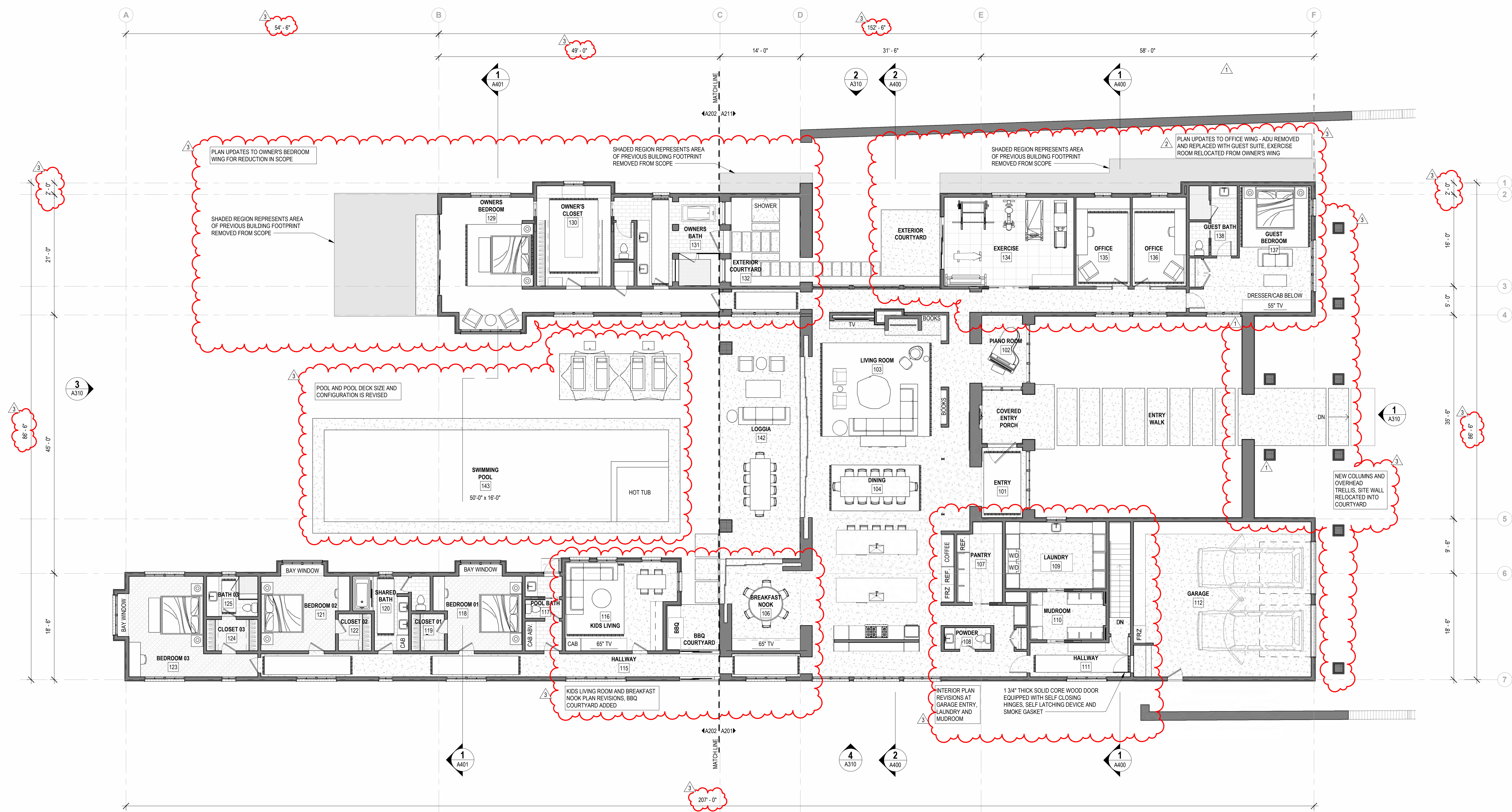
project #	24045
revision	date
3	07/29/2025

## CLIENT MEETING SET NOT FOR CONSTRUCTION



Issue date  
**02/11/2025**

## A200



8' 4' 0' 8' 16'

SCALE : 1/8" = 1'-0"

NORTH

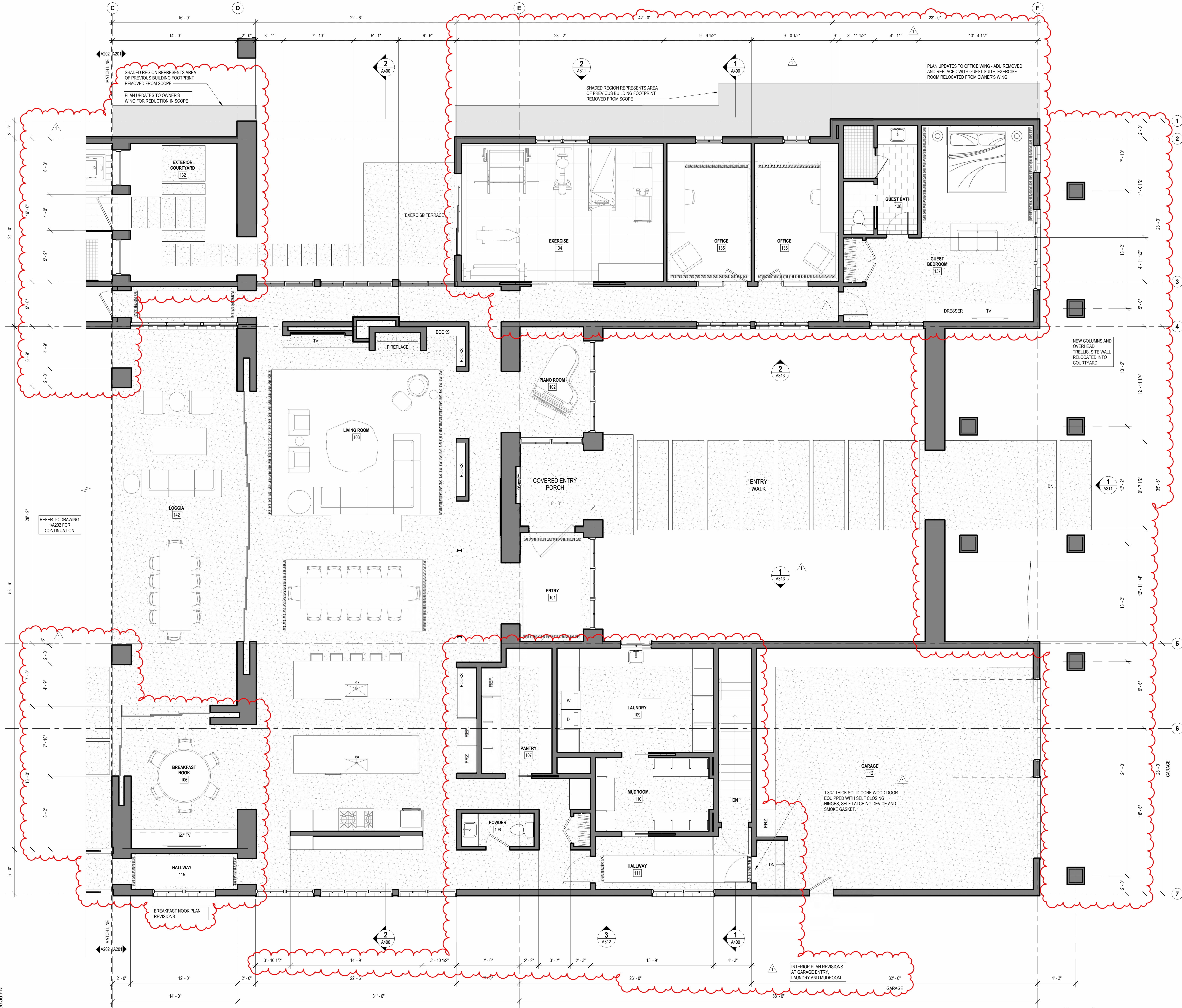
PROJECT NORTH



7/29/2025 5:06:38 PM

# 1 MAIN LEVEL ENLARGED FLOOR PLAN - EAST

1/4" = 1'-0"



## FLOOR PLAN NOTES

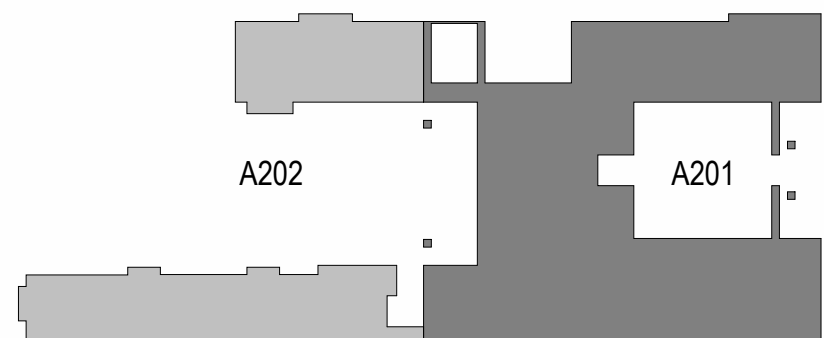
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3. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

## FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:  
UL U30S:  
5/8" GYPSUM PANEL O/  
2X6 WOOD STUDS W/ 6 1/4" FIBERGLASS  
INSULATION O/  
5/8" GYPSUM PANEL
- FLOORING TYPE 'A' PER SPEC -  
POLISHED CONCRETE INTERIOR  
TOP-CAST CONCRETE EXTERIOR  
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET
- AREA REMOVED FROM SCOPE

## KEY PLAN

DARKER SHADE INDICATES PORTION  
OF HOUSE SHOWN ON THIS SHEET



sheet ENLARGED FLOOR PLANS

project **MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010  
owner COLIN MISTELE AND KATHERINE RAFANELLI

project # **24045**  
revision **3** date **07/29/2025**

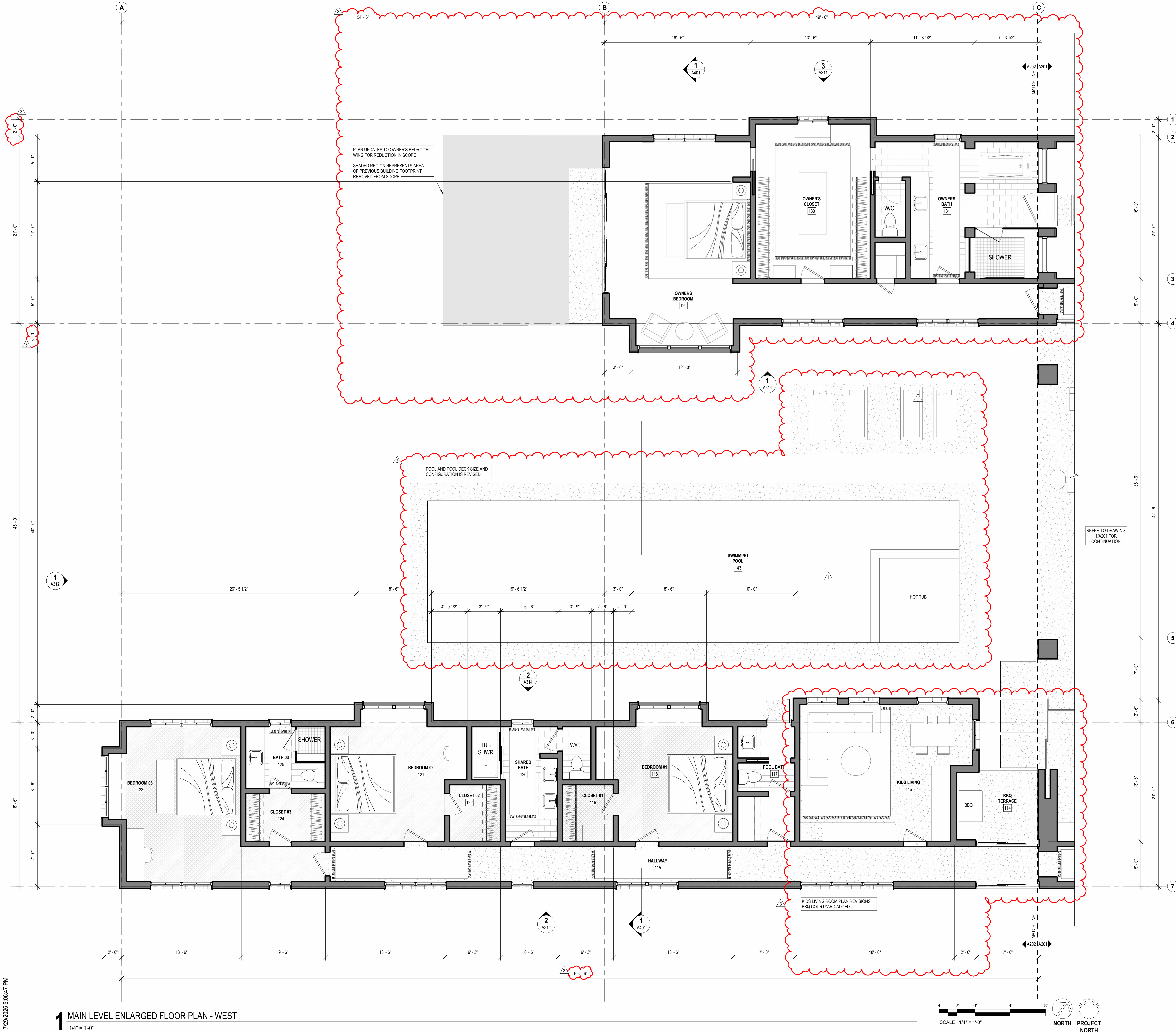
phase **CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION**



issue date **02/11/2025**

**A201**





## FLOOR PLAN NOTES

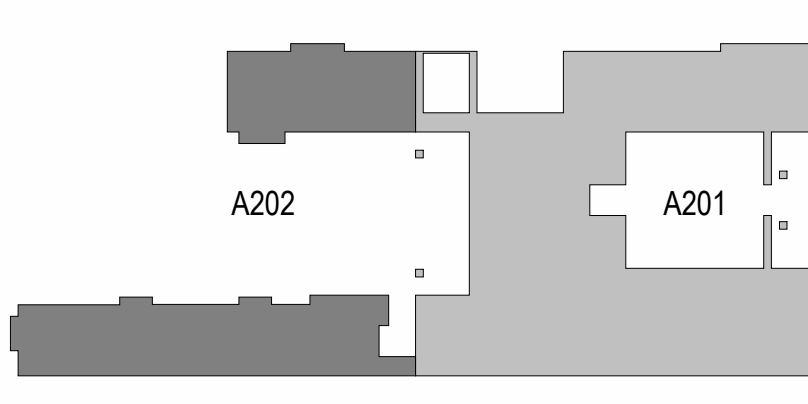
1. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
2. DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING STRUCTURE, UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

## FLOOR PLAN LEGEND

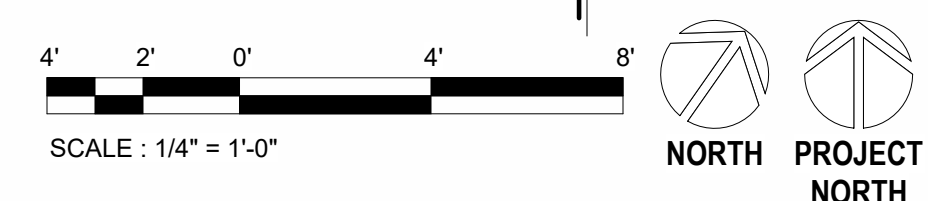
- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:  
UL U30S:  
5/8" GYPSUM PANEL O/  
2X6 WOOD STUDS W/ 6 1/4" FIBERGLASS  
INSULATION O/  
5/8" GYPSUM PANEL
- FLOORING TYPE 'A' PER SPEC -  
POLISHED CONCRETE INTERIOR  
TOP-CAST CONCRETE EXTERIOR  
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET
- AREA REMOVED FROM SCOPE

## KEY PLAN

DARKER SHADE INDICATES PORTION  
OF HOUSE SHOWN ON THIS SHEET



**1** MAIN LEVEL ENLARGED FLOOR PLAN - WEST  
1/4" = 1'-0"



sheet  
project  
owner

ENLARGED FLOOR PLANS

**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010  
APN: 028274210

COLIN MISTELE AND KATHERINE RAFANELLI

project # **24045**

revision **3** date **07/29/2025**

phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



issue date  
**02/11/2025**

**A202**

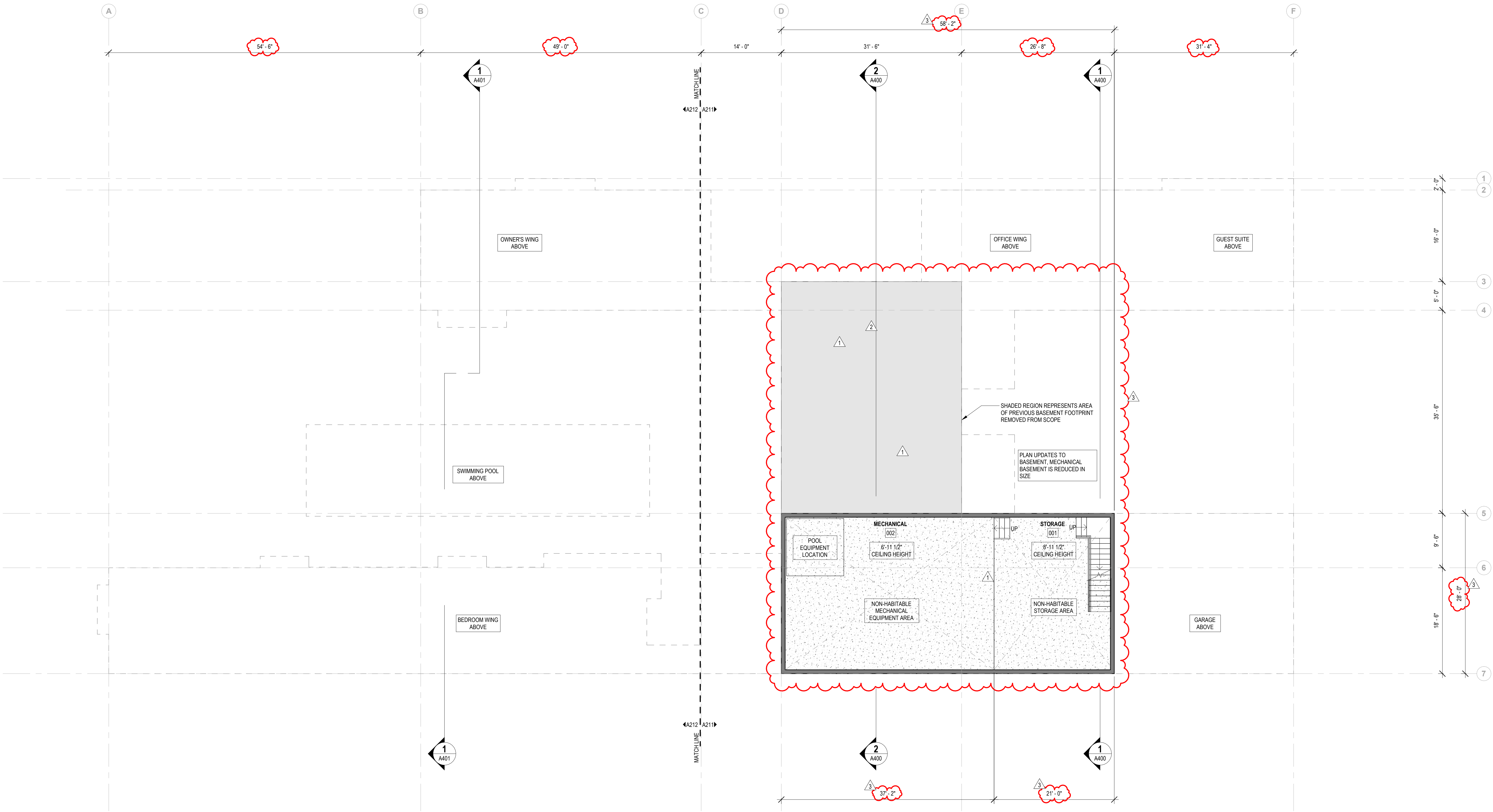


FLOOR PLAN NOTES

- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE FROM FACE OF FOUNDATION, CENTER OF COLUMN, CENTER OF ROUGH OPENING, OR FACE OF WALL FRAMING/STRUCTURE, UNLESS NOTED.
- GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.

FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR FIRE RATED WALL ASSEMBLY:  
UL U30S;  
5/8" GYPSUM PANEL O/  
2X6 WOOD STUDS W/ 8 1/4" FIBERGLASS  
INSULATION O/  
5/8" GYPSUM PANEL
- FLOORING TYPE 'A' PER SPEC -  
POLISHED CONCRETE INTERIOR  
TOP-CAST CONCRETE EXTERIOR  
EPOXY COATED CONCRETE BASEMENT
- FLOORING TYPE 'C' - TILE
- FLOORING TYPE 'E' - RUBBER FLOORING
- FLOORING TYPE 'F' - CARPET
- AREA REMOVED FROM SCOPE



1 BASEMENT LEVEL FLOOR PLAN  
1/8" = 1'-0"

sheet  
project  
owner

BASMENT PLAN

MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010  
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045  
revision 3  
date 07/29/2025

phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



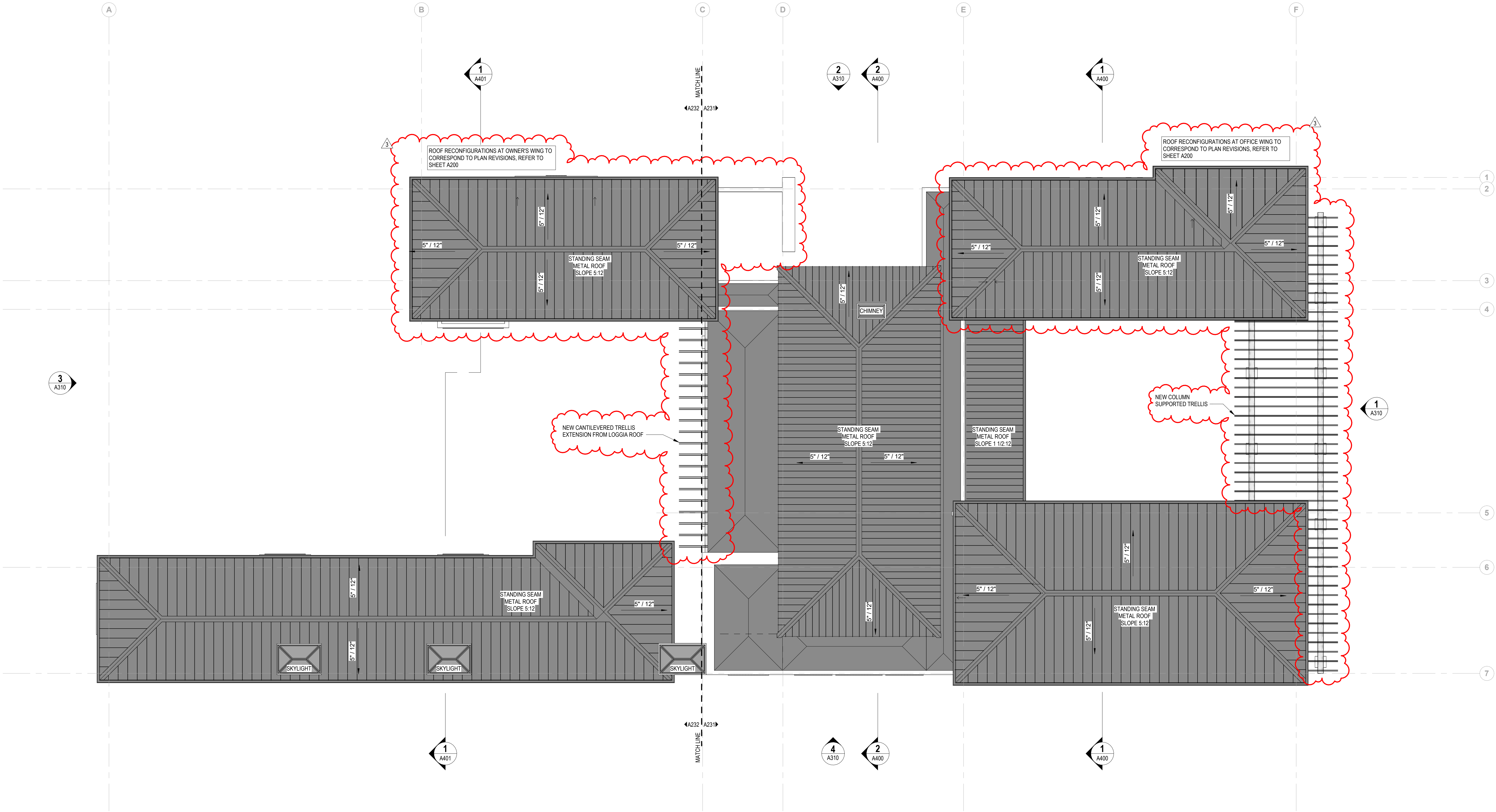
issue date  
02/11/2025

A210



ROOF PLAN NOTES

- ALL ROOF THRU VENTS TO BE ON BACK SIDE OF BUILDING.
- PROVIDE AND INSTALL ICE AND WATER SHIELD AT ENTIRE ROOF DECK, WALL TO ROOF CONDITIONS, ROOF CRACKETS, AND PENETRATIONS PER ROOFING AND UNDERLAYMENT MANUFACTURERS' RECOMMENDATIONS, TYP.
- ALL STEP/EXPOSED FLASHING TO BE PRE-FINISHED, COLOR BY ARCHITECT.
- INDICATE ADDITIONAL ITEMS PENETRATING THE ROOF ASSEMBLY, PROVIDE APPROPRIATE FLASHING.
- SLOPED GUTTERS TO BE PROVIDED AT ALL ROOF EAVES.
- CONCRETE SPLASH BLOCK TO BE PROVIDED AT ALL DOWNSPOUTS.
- NO EAVE OR HIP/RIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OR GAF VERSACHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSACHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.



1 ROOF PLAN

1/8" = 1'-0"

sheet ROOF PLAN

project MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010  
owner COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045  
revision 3  
date 07/29/2025

phase CLIENT MEETING SET  
NOT FOR CONSTRUCTION



issue date 02/11/2025

A230





**A** APPROACH FROM STREET



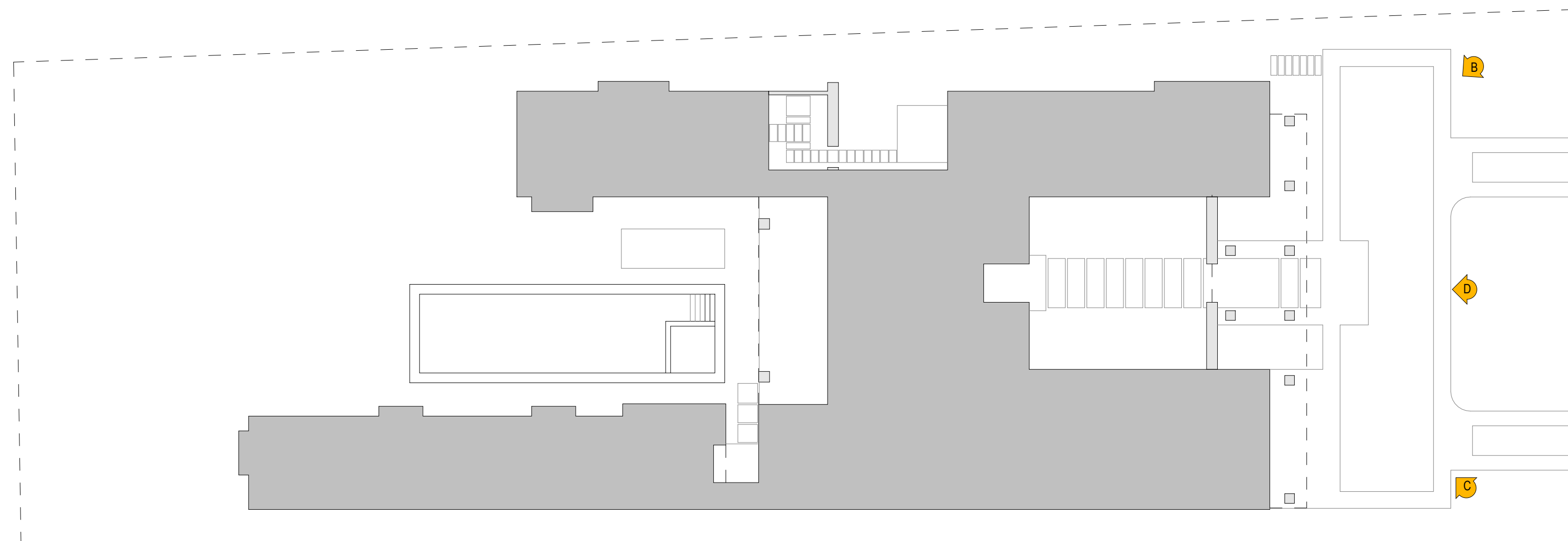
**B** CAR COURT LOOKING SOUTHWEST



**C** CAR COURT LOOKING NORTHWEST



**D** CAR COURT EAST



**1** REFERENCE SITE PLAN  
1" = 20'-0"

PERSPECTIVES

sheet

project #

24045

revision

3

date

07/29/2025

phase

CLIENT MEETING SET

NOT FOR

CONSTRUCTION



issue date

02/11/2025

**A300**

**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
owner COLIN MISTELE AND KATHERINE RAFANELLI





**A** ENTRY COURTYARD



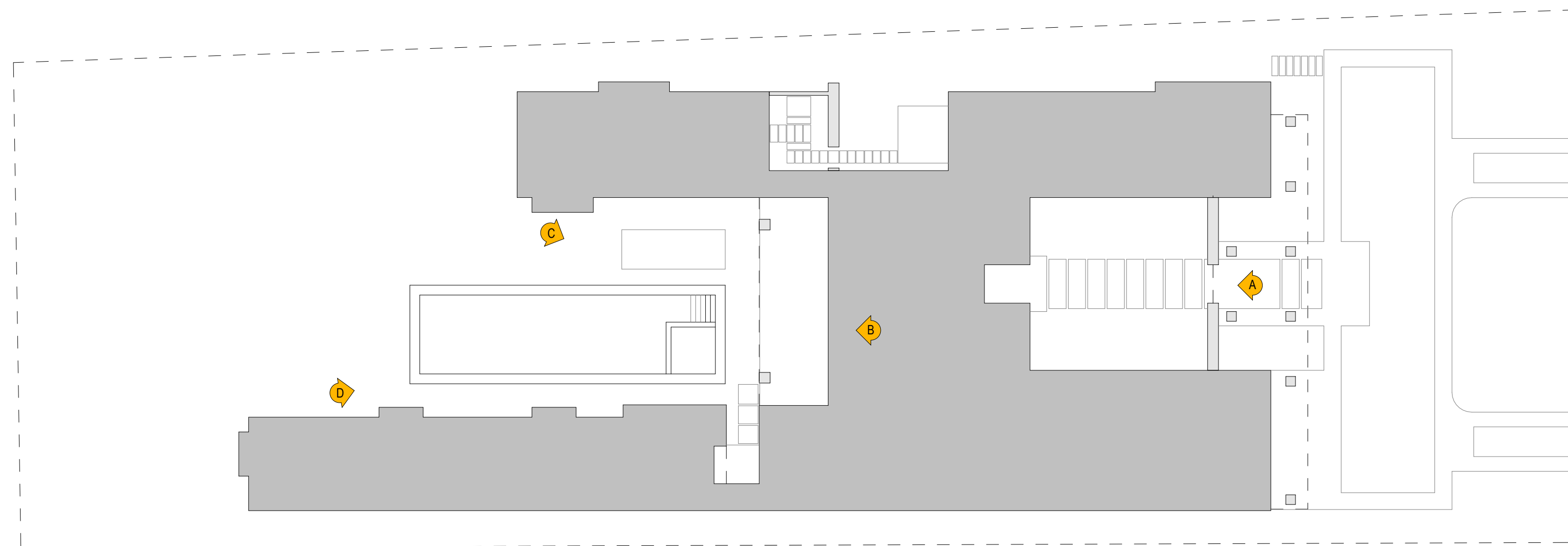
**B** LOGGIA LOOKING TO POOL



**C** POOL COURTYARD LOOKING NORTHEAST



**D** POOL COURTYARD LOOKING SOUTHEAST



**1** REFERENCE SITE PLAN B  
1" = 20'-0"

sheet  
PERSPECTIVES

project  
**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210

owner  
COLIN MISTELE AND KATHERINE RAFANELLI

project # **24045**  
revision **3** date **07/29/2025**

phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION

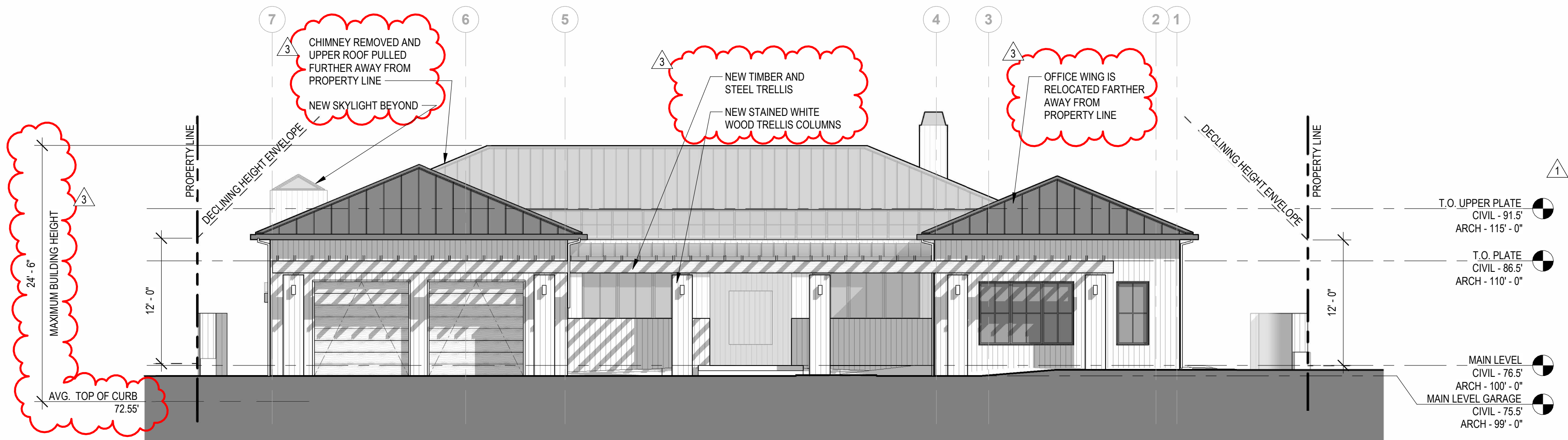


issue date  
**02/11/2025**  
**A301**



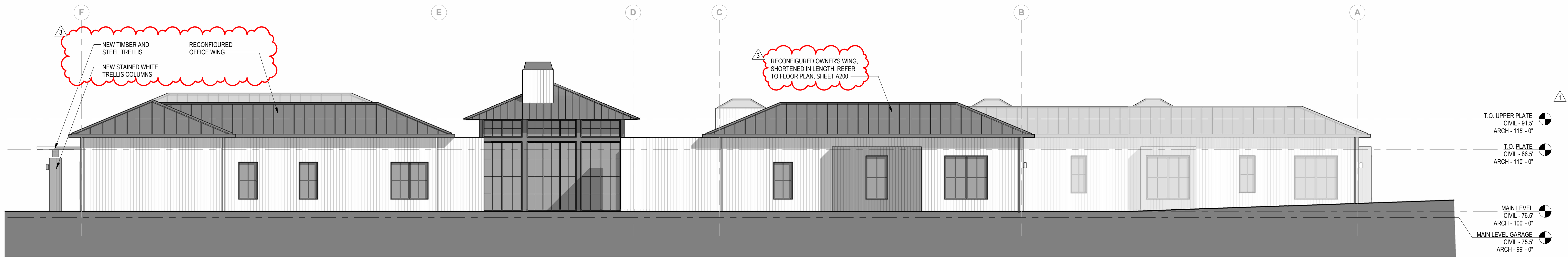
ELEVATION NOTES

1. REFER TO ENLARGED ELEVATIONS SHEETS A311, A312, A313, AND A314 FOR MATERIAL NOTES DIMENSIONS



1 EAST ELEVATION

1/8" = 1'-0"



2 NORTH ELEVATION

1/8" = 1'-0"



3 WEST ELEVATION

1/8" = 1'-0"



4 SOUTH ELEVATION

1/8" = 1'-0"

OVERALL EXTERIOR ELEVATIONS

sheet

project

owner

MISTELE-RAFANELLI RESIDENCE

121 PEPPER AVE. BURLINGAME, CA 94010

APN: 028274210

COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045

revision date

3 07/29/2025

phase

CLIENT MEETING SET

NOT FOR CONSTRUCTION

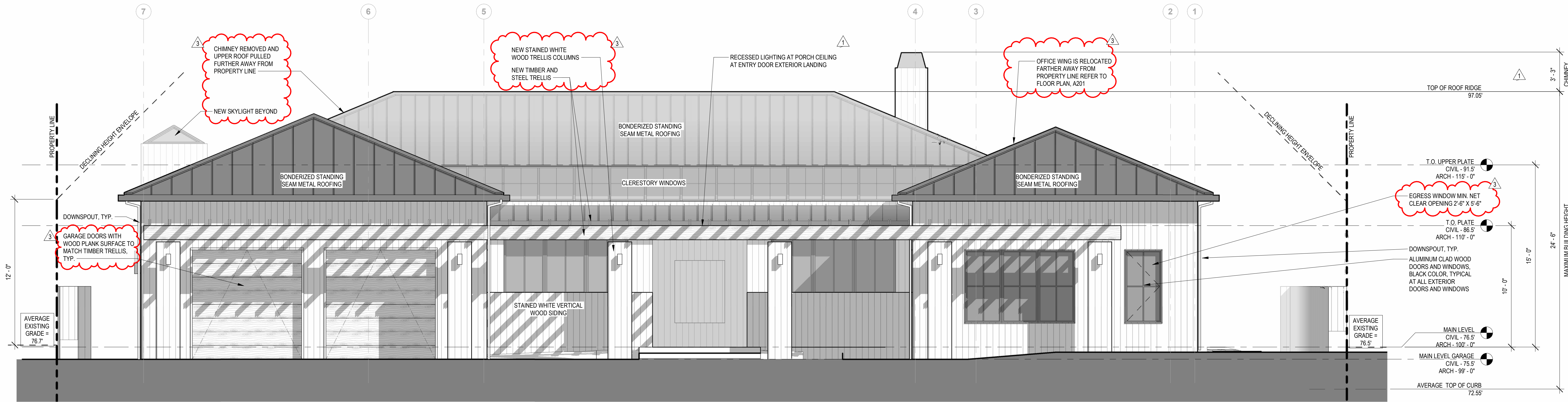


issue date

02/11/2025

A310





### ELEVATION NOTES

- WINDOWS AND EXTERIOR SLIDING DOORS ARE ALUMINUM CLAD WOOD, BLACK COLOR.
- ALL GRIDS AND MUNTINS SHOWN ON WINDOWS AND EXTERIOR SLIDING DOORS ARE TRUE SIMULATED TRUE DEVIDED LITES, BLACK COLOR WITH DIVIDERS AND BLACK SPACER BARS BETWEEN THE GLASS PANE.
- ALL WINDOWS AND GLASS DOORS SHALL HAVE MINIMUM 1 PANE OF TEMPERED GLASS.
- NO EAVE OR HIPRIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- MATERIAL INDICATED AS 'STAINED WHITE VERTICAL WOOD SIDING' SHALL BE 1x8 T&G OR SHIPLAP CEDAR SIDING WITH SEMI-TRANSPARENT STAIN FOR EXPRESSION OF THE WOOD GRAIN CHARACTERISTICS OF THE SIDING.

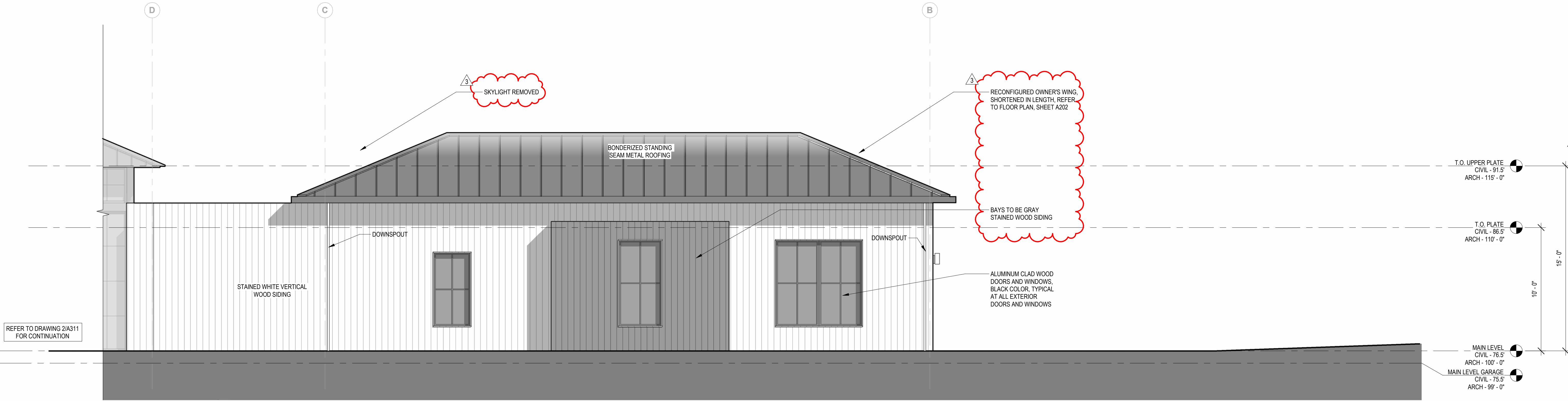
### 1 ENLARGED ELEVATION - EAST ELEVATION

1/4" = 1'-0"



### 2 ENLARGED ELEVATION - OFFICE WING NORTH

1/4" = 1'-0"



### 3 ENLARGED ELEVATION - OWNERS WING NORTH

1/4" = 1'-0"

### EXTERIOR ELEVATIONS

sheet project owner

**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI

project # 24045

revision date  
3 07/29/2025

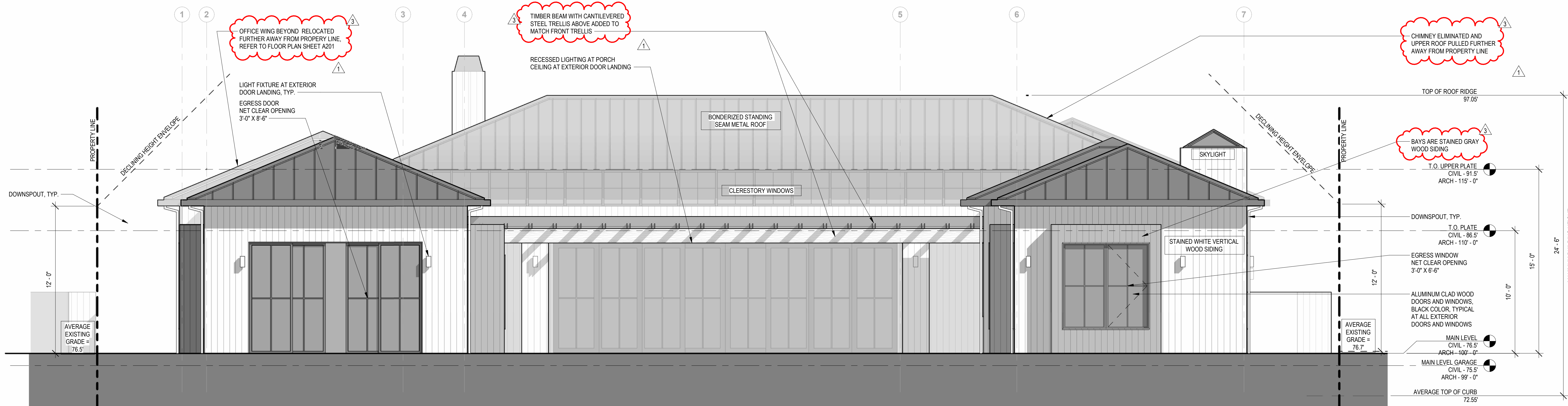
phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



issue date  
02/11/2025

**A311**



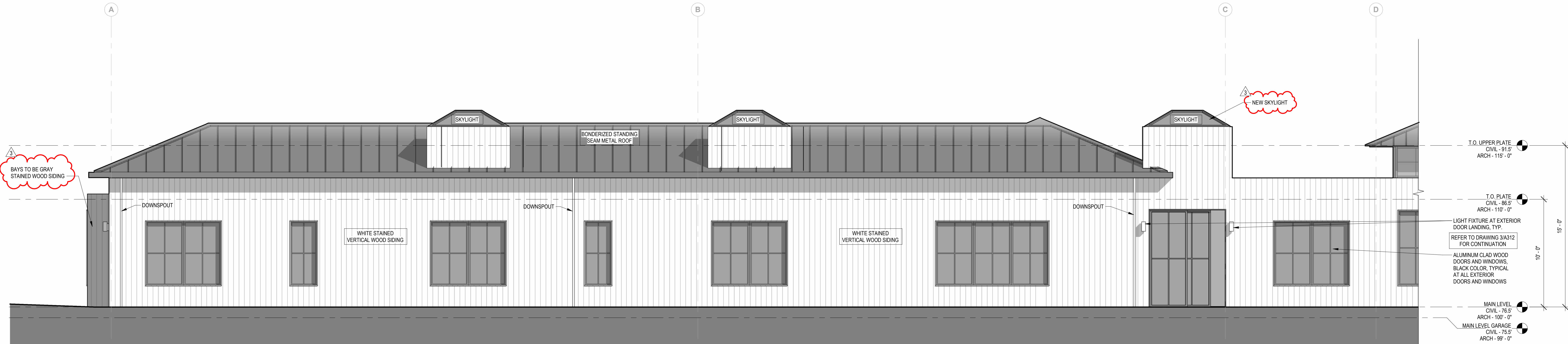


## ELEVATION NOTES

- WINDOWS AND EXTERIOR SLIDING DOORS ARE ALUMINUM CLAD WOOD, BLACK COLOR.
- ALL GRIDS AND MUNTINS SHOWN ON WINDOWS AND EXTERIOR SLIDING DOORS ARE TRUE SIMULATED TRUE DIVIDED LITES, BLACK COLOR WITH DIVIDERS AND BLACK SPACER BARS BETWEEN THE GLASS PANE.
- ALL WINDOWS AND GLASS DOORS SHALL HAVE MINIMUM 1 PANE OF TEMPERED GLASS.
- NO EAVE OR HIPRIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
- SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
- MATERIAL INDICATED AS 'STAINED WHITE VERTICAL WOOD SIDING' SHALL BE 1x8 T&G OR SHIPLAP CEDAR SIDING WITH SEMI-TRANSPARENT STAIN FOR EXPRESSION OF THE WOOD GRAIN CHARACTERISTICS OF THE SIDING.

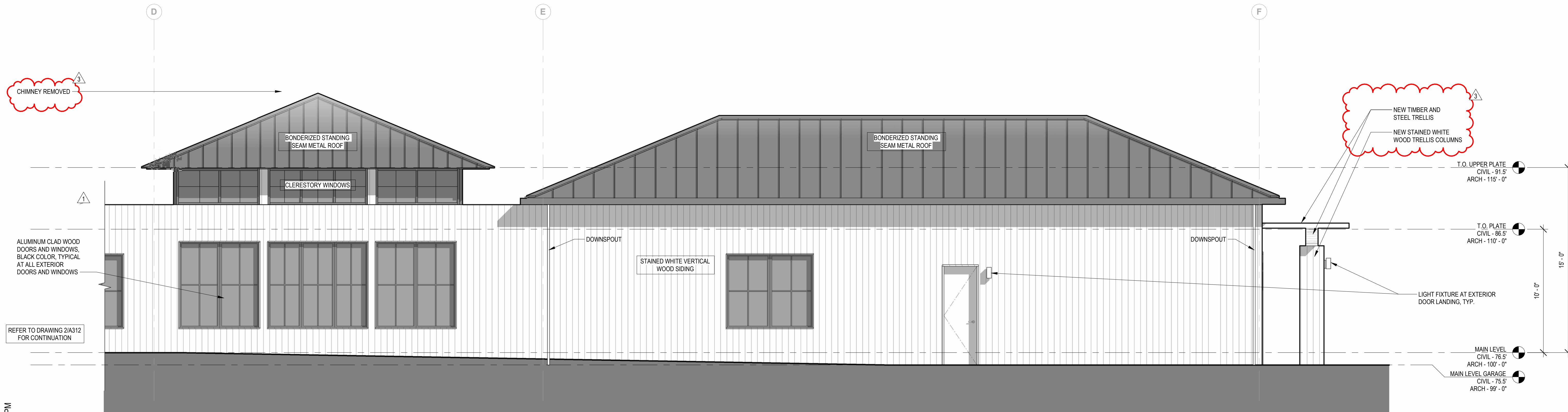
## 1 ENLARGED ELEVATION - WEST ELEVATION

1/4" = 1'-0"



## 2 ENLARGED ELEVATION - KIDS WING SOUTH

1/4" = 1'-0"



## 3 ENLARGED ELEVATION - GARAGE SOUTH

1/4" = 1'-0"

## EXTERIOR ELEVATIONS

sheet project owner

project # 24045

revision date  
3 07/29/2025

phase  
CLIENT MEETING SET  
NOT FOR  
CONSTRUCTION



issue date  
02/11/2025

A312

MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010  
APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI





1. WINDOWS AND EXTERIOR SLIDING DOORS ARE ALUMINUM CLAD WOOD, BLACK COLOR.
2. ALL GRIDS AND MUNTINS SHOWN ON WINDOWS AND EXTERIOR SLIDING DOORS ARE TRUE SIMULATED TRUE DIVIDED LITE, BLACK COLOR WITH DIVIDERS AND BLACK SPACER BARS BETWEEN THE GLASS PANE.
3. ALL WINDOWS AND GLASS DOORS SHALL HAVE MINIMUM 1 PANE OF TEMPERED GLASS.
4. NO EAVE OR HIP/RIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM FINISH IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
5. SLOPED ROOF SHALL BE STEEL, STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSAHOUL OR EQUAL, ACHIEVING A CLASS F FIRE RATED ROOF ASSEMBLY.
6. FLAT ROOF SHALL BE EPDM WITH TWO LAYERS OF GAF VERSAHOUL OR EQUAL, ACHIEVING A CLASS F FIRE RATED ROOF ASSEMBLY.
7. MATERIAL INDICATED AS STAINED WHITE VERTICAL WOOD SIDING SHALL BE 1/2" T&G OR SHIP-LAP CEDAR SIDING WITH 50% TRANSPARENT STAIN FOR EXPRESSION OF THE WOOD'S INHABITANT CHARACTERISTICS OF THE CEDAR.

**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI

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revision	date
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phase

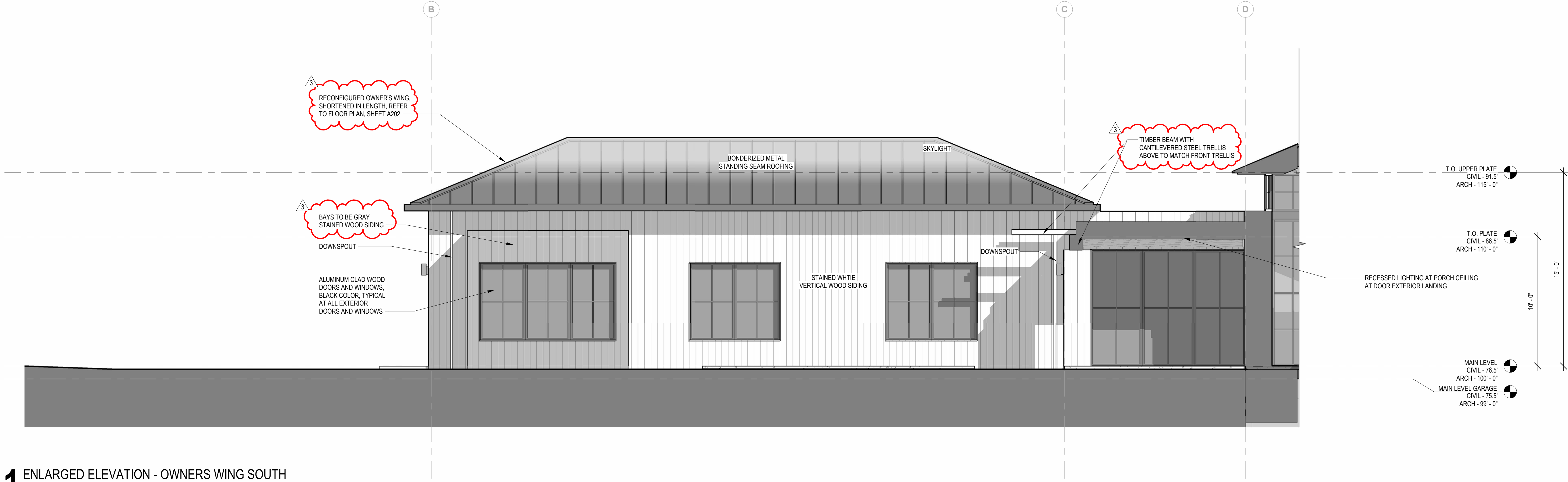
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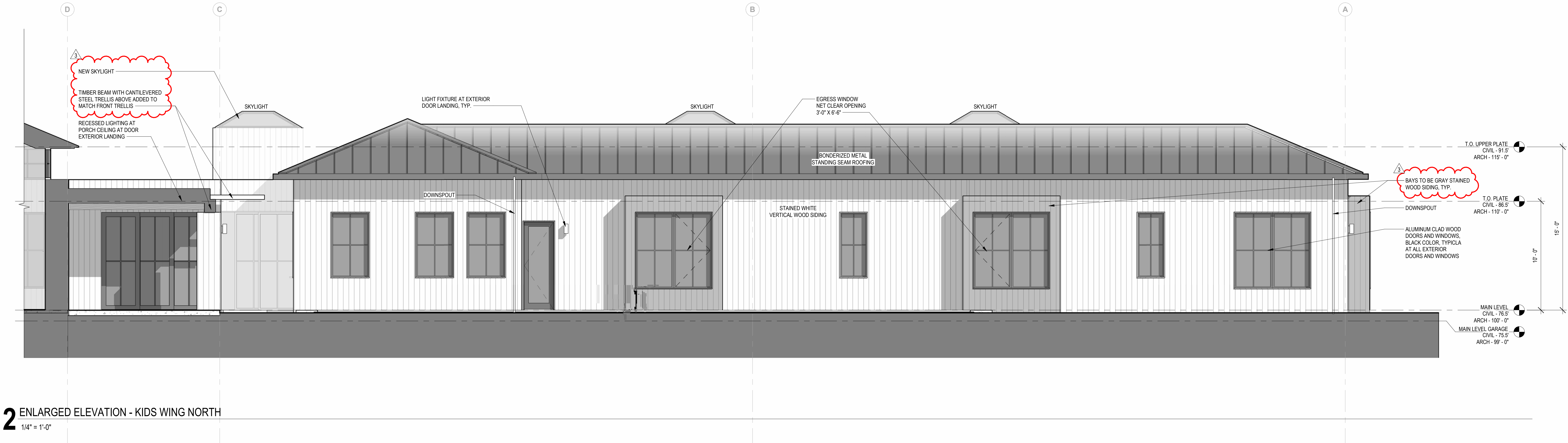


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**A313**





**1** ENLARGED ELEVATION - OWNERS WING SOUTH  
1/4" = 1'-0"



**2** ENLARGED ELEVATION - KIDS WING NORTH  
1/4" = 1'-0"

## ELEVATION NOTES

1. WINDOWS AND EXTERIOR SLIDING DOORS ARE ALUMINUM CLAD WOOD, BLACK COLOR.
2. ALL GRIDS AND MUNTINS SHOWN ON WINDOWS AND EXTERIOR SLIDING DOORS ARE TRUE SIMULATED TRUE DIVIDED LITES, BLACK COLOR WITH DIVIDERS AND BLACK SPACER BARS BETWEEN THE GLASS PANE.
3. ALL WINDOWS AND GLASS DOORS SHALL HAVE MINIMUM 1 PANE OF TEMPERED GLASS.
4. NO EAVE OR HIPRIDGE VENTS TO BE PROVIDED. ROOF ASSEMBLY TO BE NON-VENTED AND INSULATED WITH CLOSED CELL SPRAY FOAM IN CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING.
5. SLOPED ROOFS WILL BE STEEL STANDING SEAM, 0.016 INCH MIN. THICKNESS WITH FIRE RATED UNDERLAYMENT OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
6. FLAT ROOFS WILL BE EPDM WITH TWO LAYERS OF GAF VERSASHIELD OR EQUAL, ACHIEVING A CLASS A FIRE RATED ROOF ASSEMBLY.
7. MATERIAL INDICATED AS 'STAINED WHITE VERTICAL WOOD SIDING' SHALL BE 1x8 T&G OR SHIPLAP CEDAR SIDING WITH SEMI-TRANSPARENT STAIN FOR EXPRESSION OF THE WOOD GRAIN CHARACTERISTICS OF THE SIDING.

## EXTERIOR ELEVATIONS

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**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
COLIN MISTELE AND KATHERINE RAFANELLI

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revision **3** date **07/29/2025**

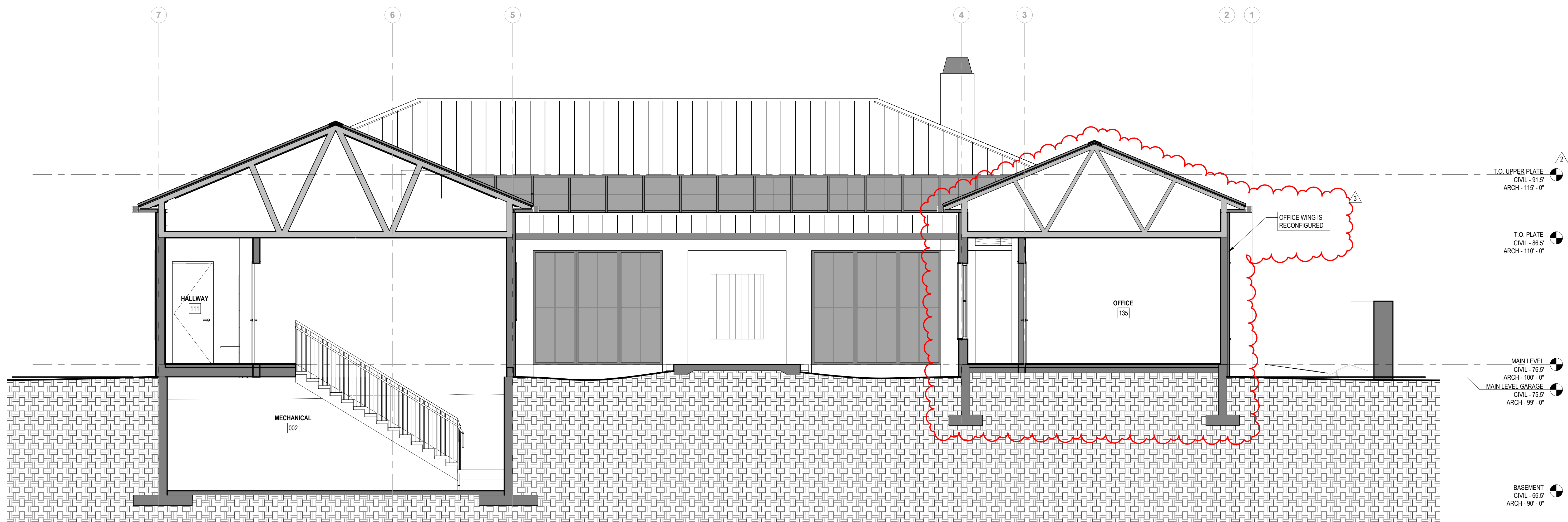
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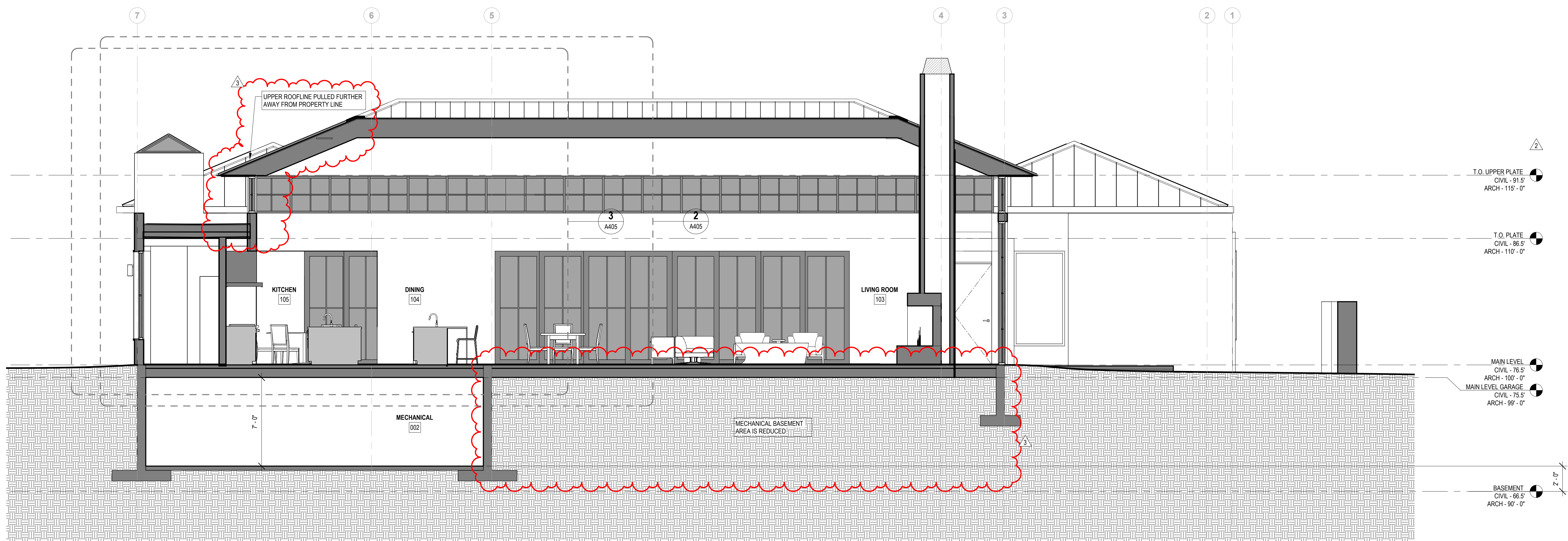
issue date  
**02/11/2025**

**A314**





**1** BUILDING SECTION NORTH-SOUTH 1  
1/4" = 1'-0"



**2** BUILDING SECTION NORTH-SOUTH 2  
1/4" = 1'-0"

BUILDING SECTIONS

sheet  
project  
owner

MISTELE-RAFANELLI RESIDENCE  
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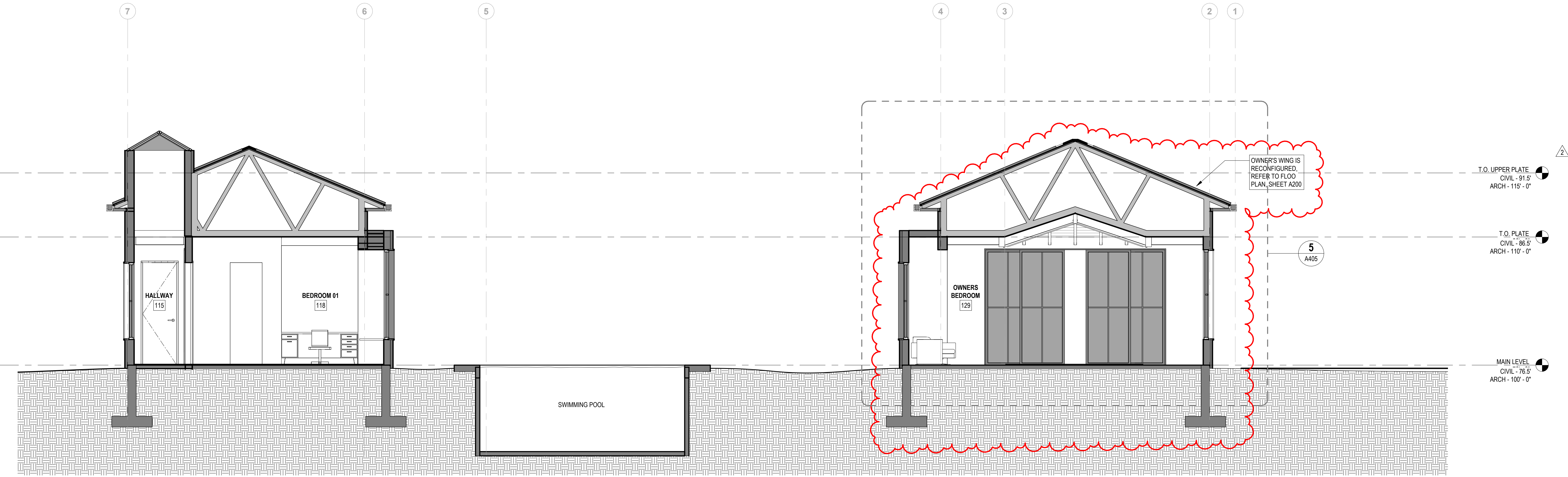
phase  
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NOT FOR  
CONSTRUCTION



issue date  
02/11/2025

A400





**1** BUILDING SECTION NORTH-SOUTH 3  
1/4" = 1'-0"

BUILDING SECTIONS

sheet  
project  
owner

**MISTELE-RAFANELLI RESIDENCE**  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
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CONSTRUCTION



issue date  
02/11/2025

**A401**



LANDSCAPING GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WATERPROOFING AND UNDERGROUND UTILITIES BEFORE CONSTRUCTION BEGINS. NO ENCROACHMENT SHALL BE PERMITTED ON ADJACENT LANDS UNLESS WRITTEN PERMISSION IS OBTAINED FROM THE LAND OWNER AND/OR CITY PLANNING & BUILDING DEPARTMENTS. ALL DISCREPANCIES OR PROBLEMATIC SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER.
3. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES. STAKE NETTING APPROPRIATELY AND PLANT SPECIFIED GROUND COVER.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK AS PER CITY/TOWN REQUIREMENTS.
5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AT THE DRIPLINE AROUND THE TREES. IN THE EVENT THAT TREE ROOTS OVER 2' ARE DISCOVERED, THE ARCHITECT SHALL BE NOTIFIED.
6. REFER TO ARCHITECTURAL & ENGINEERING DRAWINGS FOR ANY CALCULATIONS, DETAILS, AND SPECIFICATIONS REGARDING BUILDING STRUCTURE, FOUNDATIONS, GRADING, SOILS, GAS, & ELECTRICAL.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH SOILS REPORT, POOL & HOT TUB PLANS, GRADING, AND DRAINAGE REQUIREMENTS PER CIVIL ENGINEER.
8. ROUGH GRADING AND FINAL GRADING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
9. REFER TO ARBORIST REPORT FOR ALL EXISTING AND DEMOLISHED TREES.

LANDSCAPING PLANTING NOTES

1. SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: SOIL MIX EQUALING 70% REDWOOD NITRIFIED COMPOST, 30% SANDY LOAM.
2. PLANTING HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (GENERALLY). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH A MIXTURE OF IMPORTED SOIL TO EXISTING SOIL AT A RATIO OF 80/20.
3. SOIL BERMES SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS. CHIPS SHALL BE MINIMUM OF 1-1/2" IN SIZE.
4. ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM (OR EQUIVALENT). APPLICATION SHALL BE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
5. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. THE TYPE AND BRAND CHOSEN BY THE CONTRACTOR SHALL BE APPROVED BY THE ARCHITECT. APPLICATION SHALL BE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
6. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
7. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOQ QUANTITIES PRIOR TO SUBMITTING BID FOR WORK. DOCUMENTATION OF PLANTS INSTALLED AT THE JOBSITE IS REQUIRED, WITH A LETTER PROVIDED TO THE OWNER STATING FINAL QUANTITIES.

HARDSCAPE NOTES

1. PERMEABLE PAVER
- BASIS OF DESIGN
  - MANUFACTURER: BELGARD
  - SERIES: METROPOLITAN
  - COLOR: FOUNDRY
  - SIZE: 24" X 36" X 2-3/8"
  - INSTALLED IN A RUNNING BOND PATTERN
  - INSTALL PER MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS
2. CONCRETE WALKWAYS OR SLABS
- 4" THICK CONCRETE SLAB ON GRADE, POURED IN PLACE.
  - WELDED WIRE MESH IS NOT ALLOWED. REBAR ONLY.
  - OVER 8" OF 3/4" MINUS DRAINAGE GRAVEL
  - OVER NATURAL GRADE OR COMPACTED SUB-GRADE, REFER TO GEO-TECH REPORT
  - COLORING: INTEGRAL COLOR FROM MANUFACTURERS FULL RANGE AND WILL BE SELECTED BASED UPON MOCK UPS BY THE CONTRACTOR.
  - FINISH:
  - MANUFACTURER: GCP APPLIED TECHNOLOGIES
  - TOP CAST TOP SURFACE RETARDER
  - #05: CS POWDER BLUE VIOLET (SAND BLASTED FINISH APPEARANCE)
3. CONCRETE WALKING PLANKS
- 4" THICK CONCRETE PLANKS ON GRADE, POURED IN PLACE.
  - WELDED WIRE MESH IS NOT ALLOWED. REBAR ONLY.
  - OVER 8" OF 3/4" MINUS DRAINAGE GRAVEL
  - OVER NATURAL GRADE OR COMPACTED SUB-GRADE, REFER TO GEO-TECH REPORT
  - COLORING: INTEGRAL COLOR FROM MANUFACTURERS FULL RANGE AND WILL BE SELECTED BASED UPON MOCK UPS BY THE CONTRACTOR.
  - FINISH:
  - MANUFACTURER: GCP APPLIED TECHNOLOGIES
  - TOP CAST TOP SURFACE RETARDER
  - #05: CS POWDER BLUE VIOLET (SAND BLASTED FINISH APPEARANCE)

PLANTING LEGEND

TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	WATER USAGE	GROWTH RATE	NOTES
A	OLEA EUROPAEA	OLIVE TREE	8	LOW	MODERATE	NEW TREE
B	ARBUTUS MENZIESII	MADRONE	9	MODERATE	MODERATE	NEW TREE
C	CINNAMOMUM CAMPHORA	CAMPHOR	1	MODERATE	SLOW TO MODERATE	NEW TREE
	LAGERSTROEMIA INDICA	CREPE MYRTLE	13	LOW	MODERATE	NEW TREE
E-(E)	BETULA PENDULA	EUROPEAN WHITE BIRCH	1			EXISTING TREE
F-(E)	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	1			EXISTING TREE
G-(E)	CEDRUS DEODOR	DEODOR CEDAR	1			EXISTING TREE
H-(E)	BETULA PENDULA	EUROPEAN WHITE BIRCH	1			EXISTING TREE

NOTES:

11.06.100.0: ONE LANDSCAPE TREE FOR EVERY ONE THOUSAND SQUARE FEET OF HABITABLE SPACE FOR SINGLE FAMILY HOMES.  
FLOOR AREA OF PROPOSED RESIDENCE = 7,846 SF  
NUMBER OF TREES REQUIRED = 8

NEW REQUIRED LANDSCAPE TREES TO BE 24" BOX SIZE OR LARGER, AND MAY NOT BE FRUIT, NUT, PALMS, ITALIAN CYPRESS OR JAPANESE MAPLE.  
NEW REQUIRED LANDSCAPE TREES MUST HAVE A MATURE HEIGHT OF OVER 15 FEET AND MATURE WIDTH OVER 10 FEET.  
ALL REQUIRED TREES MUST BE IN GOOD CONDITION AT THE FINAL ARBORIST INSPECTION.  
ALL REQUIRED LANDSCAPE TREES, EXISTING OR NEW, BECOME PROTECTED TREES REGARDLESS OF SIZE AND SHALL BE DISCLOSED UPON SALE OR TRANSFER OF REAL PROPERTY.  
11.06.100.0.1: REPLACEMENT TREES FOR EACH PROTECTED TREE TO BE REMOVED SHALL BE:  
14-19" TRUNK DIAMETER (1) 24" BOX OR (2) 15 GALLON CONTAINERS  
30-45" TRUNK DIAMETER (1) 36" BOX OR (2) 24" BOXES OR (4) 15 GALLON CONTAINERS  
PROPOSED REPLACEMENT TREES FOR REMOVED PROTECTED TREES ARE (4) 24" BOX SIZE NEW TREES, REFER TO ARBORIST REPORT FOR FURTHER REQUIREMENTS

NEW TREES PROPOSED IN LANDSCAPING PLAN = 31

SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	WATER USAGE	GROWTH RATE
1	BUXUS MICROPHYLLA	JAPANESE BOX WOOD	1	MODERATE	MODERATE
2	BUXUS SEMPERVIRENS	EUROPEAN BOX WOOD	1	MODERATE	MODERATE
3	FABACEAE FRUTESCENS	WISTERIA	6	MODERATE	FAST

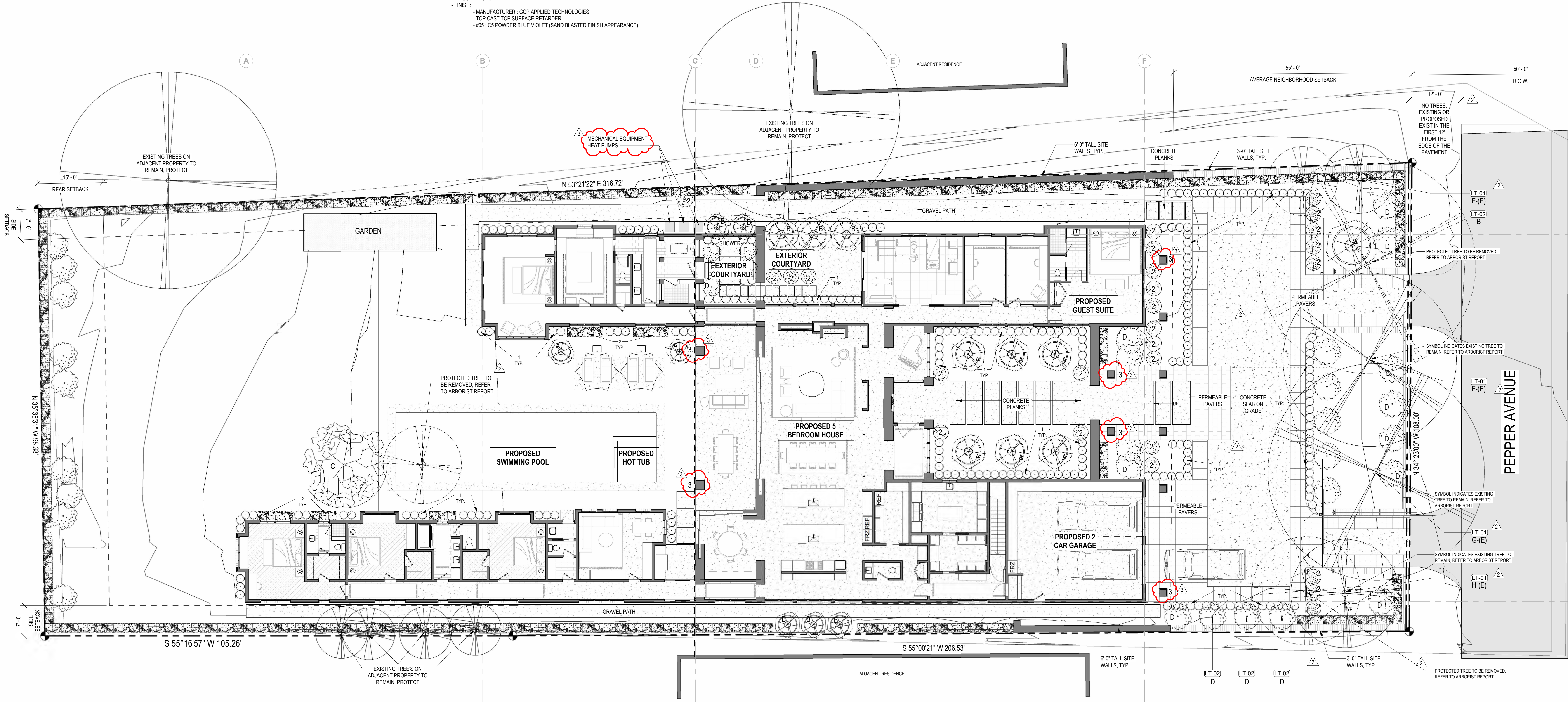
TURF

DWARF FESCUE / DRY BLEND 90/10 - ALL TURF AREAS SHALL BE FERTILIZED AT THE TIME OF INSTALL

KEYNOTES

LT-01	EXISTING TREE TO REMAIN, LANDSCAPE TREE
LT-02	NEW LANDSCAPE TREE

NOTE:  
THIS DRAWING CLOUDED FOR REVISIONS TO LANDSCAPE QUANTITIES. FOR REVISIONS TO ARCHITECTURE AND HARDSCAPE, REFER TO SITE PLAN, A101 AND FLOOR PLAN, A200



sheet SITE LANDSCAPE PLAN  
project MISTELE-RAFANELLI RESIDENCE  
121 PEPPER AVE. BURLINGAME, CA 94010 APN: 028274210  
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L100